



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, October 22, 2020 at 7:00 P.M.**

**This will be a virtual meeting that will be streamed on the internet:
worthington.org/live**

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the October 8, 2020 meeting

B. Architectural Review Board - Unfinished

1. Security Lights – **137 E. Granville Rd.** (Mark Goyer/Sharon Memorial Hall) **AR 37-2020**
2. Redevelopment – **7227 N. High St.** (DRP Worthington LP) **AR 66-2020**

C. Municipal Planning Commission - Unfinished

1. **Planned Unit Development**
 - a. Redevelopment – **7227 N. High St.** (DRP Worthington LP) **PUD 02-2020**

D. Architectural Review Board - New

1. Garage Addition Roof – **690 Evening St.** (Chad Kiner) **AR 69-2020** (Amendment to AR 04 & 45-2020)
2. New ATMs – **800 High St.** (Powerhouse Retail Services/Huntington National Bank) **AR 71-2020**

3. Signage – **6733 N. High St.** (Samantha Elliot/Goddard School) **AR 72-2020**
4. Fencing – **5750 N. High St.** (Meyers + Associates Architecture/St. Michael) **AR 73-2020**
5. New Deck, Addition and Driveway Modifications – **151 E. Granville Rd.** (SBA Studios/Witsken) **AR 75-2020** (Amendment to AR 42-2020)
6. Addition & Renovation Modifications – **50 E. Granville Rd.** (Schorr Architects/Kilbourne Middle School) **AR 76-2020** (Amendment to AR 01-2020)
7. Fence Modifications – **184 E. Granville Rd.** (Ellen Bloch) **AR 77-2020** (Amendment to AR 30-2020)
8. New Roof & Windows – **686 Evening St.** (Mikel Coulter) **AR 74-2020**

E. Other

F. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: R. Lee Brown, Director
Lynda Bitar, Planning Coordinator

DATE: October 16, 2020

SUBJECT: Staff Memo for the Meeting of October 22, 2020

B. Architectural Review Board - Unfinished

1. Security Lights – **137 E. Granville Rd.** (Mark Goyer/Sharon Memorial Hall) **AR 37-2020**

Findings of Fact & Conclusions

Background & Request:

This building was built as a residence in 1861 and used as such until 1946. After WWII, voters approved a War Memorial Levy and the building was purchased and dedicated as Sharon Memorial Hall in 1947. When zoning was established in 1971, the property was zoned R-10, Low Density Residence, which allows for single family dwellings and public and semi-public uses. Many community groups and organizations used the building until 1975, at which time the Sharon Township Trustees moved their offices and police department into the building. The Township moved its operations to E. Wilson Bridge Rd. in 2009 and the building was renovated. Attempts were made by the Sharon Memorial Board, the entity responsible for Sharon Memorial Hall, to find public and semi-public users for the building that would generate revenue and allow maintenance of the building and site. After no users were found, the VM, Veterans Memorial zoning district was created in 2010, the property was rezoned from R-10 to VM, and the space was leased to small office users. Sharon Memorial Hall is listed on the National Register of Historic Places and is a contributing building in the Worthington Historic District.

Two security lights were installed on the east and west sides of the building in June of 2019 in place of fixtures that had not worked for about 15 years. Architectural Review Board approval was not obtained prior to installation. The ARB felt the fixtures were not appropriate due to the bright light source being seen from the street, so tabled the application at its July 9th meeting. Now the applicant is proposing replacement of the fixtures.

Project Details:

1. The applicant is now requesting installation of two full cutoff wall pack fixtures. The housing would be dark bronze and the LED lighting is available in 4000K and 5000K color temperatures.
2. The lights would be installed in the same location as the existing, which is toward the top of the building and with an exposed conduit for the wiring.
3. No residential neighbors have complained about the installation.
4. The applicant is attempting to make entrance and exit from the building safer for tenants and visitors.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Keep lighting at a pedestrian scale along the streetscape. Avoid lighting fixtures mounted high above the ground. Avoid excessive brightness. In recent years great care has been taken by the ARB to assure newly installed lighting fixtures are not overly bright and that the light source is not visible from the right of way.

Recommendation:

Staff is recommending *approval* of the proposed fixtures with 4000K color temperature. Although the exposed conduits and high placement are not ideal, the existing lights have been mounted there for a long time. The proposed cutoff fixtures should make the light source much less visible from the right-of-way.

Motion:

THAT THE REQUEST BY MARK GOYER ON BEHALF OF THE SHARON TOWNSHIP MEMORIAL HALL BOARD FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE LIGHT FIXTURES AT 137 E. GRANVILLE RD., AS PER CASE NO. AR 37-2020, DRAWINGS NO. AR 37-2020, DATED OCTOBER 12, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Redevelopment – **7227 N. High St. (DRP Worthington LP) AR 66-2020**
&

C. Municipal Planning Commission - Unfinished

1. **Planned Unit Development**

- a. Redevelopment – **7227 N. High St. (DRP Worthington LP) PUD 02-2020**

Findings of Fact & Conclusions

Background & Request:

The Worthington Mall (The Shops at Worthington Place) was originally constructed in the mid 1970’s and has been added onto, renovated and reworked many times over the years. The property transferred at the end of 2019, and the owner of the mall property is planning to redevelop the

northern and western part of the property by removing part of the existing mall and adding Class A office, entertainment, hotel/multi-family, retail and restaurant uses with structured parking and open public spaces on the 15.66-acre site. The property owner will be rezoning the site from the C-2 District (Community Shopping Center) to a Planned Use District (PUD) to accommodate the redevelopment of the site in two phases. Staff will provide an update on the changes to the proposal since the previous meeting and will outline items that need to be addressed and discussed.

Existing Conditions & Background:

There is approximately 138,000 sq. ft. of leasable area in the mall today with approximately 790 parking spaces on the mall site. Kroger is approximately 58,000 sq. ft. in size and just finished a \$3.2 million dollar renovation to their store. Approximately 45% of the mall space is not producing revenue and overall is underperforming. Previous improvements and changes in use have enabled the eastern portion of the mall to operate at a higher level. The addition of medical service providers in the mall has also been helpful. The overall performance of the western side of the mall and those with only interior access is where the mall is struggling in today's retail environment. The site also suffers from poor pedestrian and vehicular flow throughout the site.

The City currently has a 7% vacancy rate for office, if you include the Anthem site it bumps the vacancy rate to 17%. The City has approximately 2 million square feet of office space, however only 20,000 sq. ft. of that space is truly Class A. The average age of office space in the City is approximately 45 years old. The remaining office space throughout the City is considered Class B and Class C office space. The largest office space available in Worthington, excluding Anthem is approximately 13,401 sq. ft. in size. We are unable to market ourselves to larger employers that are wanting to come to the City with the limited amount of office space available. The average available office space is approximately 4,923 sq. ft. in size.

There are multiple real estate signs throughout the City offering up space that gives the illusion that there is more space available than there truly is in the City. These signs are typically left as advertisement and to maintain interest in their properties.

The City's rental rate for Class A, Class B and Class C are at a lower rate than what is found in neighboring communities. The average asking rate for rent is \$14.25 sq. ft. (gross rate is \$18.24 sq. ft.) in Worthington. The proposed rental rate for the proposed office would be approximately \$24.00 sq. ft. (gross rate approximately \$34.00 sq. ft.).

Office properties are typically divided into three main categories, Class A, Class B and Class C. While there aren't any all-encompassing rules to these classifications, they are typically based on quality factors such as building age, amenities and aesthetics.

Class A Office Space:

Class A space is comprised of the nicest space in the market. Class A buildings are generally either new developments or properties that have had significant improvements and renovations in recent years. The building's common areas will have high-quality finishes and amenities such as covered parking, fitness centers, leisure areas, restaurants or cafeterias. These buildings are also typically conveniently located, either in the epicenter of central business districts or along major streets, highways or transit centers.

Class B Office Space:

Class B office buildings are going to be slightly lower than Class A in terms of quality. These buildings can be found in major commercial areas but are more commonly found in the suburbs. Age is a common factor contributing to a building being considered Class B, as they are usually older than their Class A counterparts. Oftentimes, a Class B office building was originally Class A, but has been downgraded due to age and deterioration. These properties typically have good amenities, management companies and tenants, and can even be brought up to Class A standards with common area renovations and amenity upgrades. Rental rates for Class B buildings will typically be lower than Class A. The buildings themselves are usually considered average, and the rental rates they draw are average for their markets.

Class C Office Place:

Class C properties are typically very dated, with minimal amenities and located in less desirable locations. These properties are sometimes slow to lease and occupied by tenants requiring value office space. Class C office buildings typically provide a space at below market rates compared to other types of office space. Class C offices can also appeal to small, start-up tenants as it allows them to allocate much of their financial resources towards growth, while keeping a sufficient roof over their heads.

Employers are contemplating a go-back-to-work strategy and workplace adjustments post COVID, the new development of Class A office in a mixed-use development sets the City ahead of the curve.

Project Details:

Phase I:

- Class A Office Space – North Building
 - 100,000 sq. ft. to 125,000 sq. ft.
 - 8-10 stories with a public parking garage on the first 4-5 floors
 - Height 120.6-feet to 145.6-feet
 - 643 garage parking spaces
- Approximately 85,000 sq. ft. of the existing mall will be demolished
 - Atrium of the mall and the northwest portion of the mall will be removed as part of this phase.
- Creating of a new east/west connector south of the proposed new office building for pedestrians and vehicles.
- Creating a new north/south connector in what would have been the original atrium of the mall for pedestrians and vehicles.
- Creating a temporary outdoor public open space area.
- Installation of public amenities
- Refacing the portions of the mall that will now be exposed.
- Restaurant and retail space – Approximately 11,600 sq. ft.
- Realignment of the one-way traffic that is currently only a southbound movement on the eastern portion of the mall. The new northbound movement will allow traffic to go directly north without having to go through the new north/south connector.

Phase II:

- Class A Office Space – South Building
 - 100,000 sq. ft. to 125,000 sq. ft.
 - 8-10 stories with a public parking garage on the first 4-5 floors
 - Height 111.6-feet to 135.6-feet
 - 482 garage parking spaces
- Approximately 35,000 sq. ft. of the existing mall will be demolished
- Boutique Hotel – 120 keys
 - Option for 100-units of multi-family if after 2-years the property owner is unable to find a hotel flag for the site.
 - 8-10 stories
- Restaurant and retail space – Maximum of 30,000 sq. ft.
 - 2-stories
- Permanent outdoor open space
- Installation of public amenities
- Reconfiguration of the roadways for pedestrian and vehicular connections.
- Creating a new east/west pedestrian connector in the current location of the main entrance to the mall.

Project Overview:

The project is designed in two phases. Phase I would include the removal of 85,000 sq. ft. of existing retail space and would include the addition of approximately 100,000 sq. ft. – 125,000 sq. ft. in 8-10 stories. This would be an actual height of 120.6-feet to 145.6-feet in height. There would also be a temporary open space in this phase. Phase I would also see the introduction of a new north/south connector and an east/west connector on the site for pedestrian and vehicular movements on the site. The tenant spaces that have access on the eastern elevation will now have a secondary enclosed walkway that will run parallel to the new north/south connector that runs through the site. This phase also includes an updated traffic pattern on the site that will direct northbound traffic along the eastern side of the mall that is currently a one-way southbound movement to a northbound movement so that those entering the site will not have to navigate through the center of the site to access the parking garage that is included in Phase I. The previous version directed traffic to the middle of the site to the new north/south connector that had a garage entrance on the south elevation of the new building. Possible additional reconfiguration of traffic and pedestrian patterns may occur in the future. There is an existing 30” public waterline that runs east/west on the northern portion of the site along Old West Wilson Bridge Road. The City of Columbus will require that the new office building to be constructed 25-feet from the existing line. This setback requirement has been included in the proposed building setback for the northern building.

Phase II would include the removal of 35,000 sq. ft. of existing retail space and would include the addition of an additional building of 100,000 sq. ft. – 125,000 sq. ft. in 8-10 stories. This would be a height of 111.6-feet in height to 135.6-feet. Phase II would also include the additional retail/restaurant space centered around a new permanent open plaza area and would include a 120-key hotel as part of this phase. There is an option after 2-years of approval for the hotel space to be considered as maximum of 100 units of multi-family. Phase II would also see the removal of the existing area of the mall with the cupola to provide an open-air pedestrian walkway from east

to west that would outlet you at the new public plaza area. This plaza area is intended to be used as patio space for the restaurants and a gathering place that would include public art, benches, trash cans, bike racks and the ability to close the north/south connector for special events.

Current tract coverage is approximately 92%, which is approximately 14.4-acres of imperviousness. The proposed coverage after redevelopment will be approximately 87%, which is 13.6-acres of imperviousness on the site. Additional greenspace is being added as part of the redevelopment of the site.

Updates:

- Development Text – Please see Application & Materials
 - The development text outlines the proposed uses, design regulations, character, building materials, heights of buildings, setbacks, vehicular ingress and egress, pedestrian circulation, screening, lighting, signage, traffic, parking, stormwater, sustainability, utilities, natural features, public space amenities and phasing.
- Materials have been revised to show a softer east/west connector south of the new office building that would connect the eastern parking lot in front of Kroger to the west towards Corporate Hill Drive. The previous plans did not align the roadway in a manner that would permit an easy flow of vehicular traffic and pedestrians.
- The main entrance to the parking garage for the new building has been removed, which will now permit traffic to flow around the eastern side of the mall vs. directing traffic through the middle of the site. This will help with conflicts between pedestrians and vehicles by reducing the amount of traffic funneled to this area.
- The southbound traffic only on the east side of the mall will be reversed to be northbound only, which will permit traffic going towards the office building to be able to go directly to the eastern garage entrance vs. traversing through the middle of the site and/or meandering through the parking lot in front of Kroger.
- Materials have been updated to show the realignment of the Mall Drive as part of the improvements associated with the Holiday Inn site.
- The previous plans in Phase I identified approximately 12,700 sq. ft. of restaurant/retail being added, that has been revised to show 11,600 sq. ft.
- Phase II now includes the creation of a new east/west open-air connector at the location of the mall entrance on the east side of the mall. This will be for pedestrians and will allow you to directly access the future plaza area at the interior of the site. This is also the area that will have the outdoor restaurant seating and other public amenities associated with public plaza. With the removal of the main access to the parking garage from the middle of the site, this will permit the new drive to be more pedestrian friendly and better utilized for special events.
- Updated materials have been provided to better identify site connectivity on the site so that pedestrians, bicyclist, and vehicles can better navigate the site. This includes the reconfiguration of the traffic flow that is currently flowing southbound on the east side of the mall to be reconfigured to flow northbound for better overall traffic flow on the site.
- The site plans now show the installation of a sidewalk along the south side of Old West Wilson Bridge Road and enhanced crosswalks throughout the site.
- It appears that the Phase II office building's upper portion would be setback from the West Wilson Bridge Road above the parking garage, however clarification is needed. This

setback of the upper portion would push the height of the building away from West Wilson Bridge Road. The parking garage would then be at a similar setback and height as apartments and offices to the west along West Wilson Bridge Road. The Heights Apartments are setback 50-feet from West Wilson Bridge Road with a height of approximately 60-feet for the first 75-feet then the building goes up to approximately 74-feet, however there is a grade elevation change and the rear of the building is constructed partially below grade.

- The updated materials identify the following improvements on and off the site:
 - Updated and enhanced signage on the site.
 - Accent paving and enhanced crosswalks are now referenced.
 - Streetscape improvements along West Wilson Bridge Road with street trees and streetlights.
 - Monument walls and project identification at the mall drive realignment with the Holiday Inn site.
 - Improvements at the intersection of Wilson Bridge and High Street, including enhanced brickwork and knee walls similar to what was approved as part of the Holiday Inn redevelopment to match with the knee walls and brickwork found at the Village Green.
 - Possible community event signage similar to what is found at the Village Green or a similar version.
 - Improved wrought iron fencing and street trees along the High Street frontage.
 - Additional mounding and screening improvements to the rear of the Kroger building and along the I-270 frontage at the exit ramp.
 - Extension of the wrought iron fencing and brick columns further north towards the ramps of I-270 and the installation of a new brick gateway feature that would welcome people to Worthington. This would also provide additional screening and backdrop to help screen the dumpsters, storage and loading docks associated with the Kroger.
 - Identifies the Corporate Hill Drive extension that the City is currently undertaking as part of the City's effort to make improvements in the area.
- Phase I office building's parking garage has been revised to not include a vehicular entrance on the south elevation and now shows a possible location for a tree of future public art.
- Phase II office building is still shown in the same location; however, it appears that the office portion of the building has been setback to the northern portion of the parking garage, however clarification is needed.
- The 3D renderings have also been updated to better reflect the actual buildings in the immediate vicinity.
- The 3D renderings have been updated in Phase II to better reflect the placement and height of a hotel on the western portion of the site.
- The 3D renderings have been updated to better reflect what the new western elevation of the mall will look like as part of the Phase I demolition. The renderings do a better depiction of the enclosed walkway that will run parallel to the new north/south connector. This internal walkway will also then weatherproof the western side of the existing mall while providing a covered walkway during inclement weather.

- The 3D renderings provide a better viewpoint of the east/west connection that will be made as part of the Phase II improvements with removing the cupola portion of the roof on the mall.
- Stormwater will continue to be addressed by detention vaults under the parking garage ramps in each phase that will then connect to the existing storm sewer lines on the site.
 - All stormwater will be required to be reviewed and approved by the City and MS Consultants to be in compliance with all local, state and federal requirements for water quantity and quality.
- Parking Analysis reflects the parking needs associated with the mix of uses by phases using the Urban Land Institute Parking Analysis as guidance. This is how the Holiday Inn site was reviewed and approved for parking. Phase I will provide 1,320 spaces and Phase II will provide 494 additional spaces for parking for a total of 1,637 parking spaces on the site, which exceeds the ULI recommendation by 205 spaces. Phase II included the option of apartments if the hotel does not come to fruition as part of the parking analysis.
- A sign package, including the May 8, 2012 retail design standards previously approved for the mall are now included as part of the package. This outlines the guidelines for new signage on the buildings.
- The project would be completed in two phases with Phase I being completed within approximately 30-months from approval.

Staff Comments & Items Needing to be Discussed:

The applicant has been working diligently with City staff over the past several months on their application and materials. The list below appears to be a lot of items that need to be corrected, however many are minor items to be corrected and many are required at the PUD Final Plan and Architectural Review Board approval stage in the development process.

- Sheet C-1 needs to be corrected to reflect the removal of the garage entrance on the southern elevation of the new office building in Phase I.
- Exhibit D1 needs to show the setback along Old West Wilson Bridge as 25-feet.
- Exhibit D1 needs to identify the drive on the eastern side of the mall as northbound only.
- Exhibit D1 and other exhibits show conflicting access points. Some show the removal of the existing access point to Old West Wilson Bridge Road behind the Kroger. Clarification needed.
- Exhibit D2 needs to identify the drive on the eastern side of the mall as northbound only.
- Exhibit D2 and other exhibits show conflicting access points. Some show the removal of the existing access point to Old West Wilson Bridge Road behind the Kroger. Clarification needed.
- Exhibit D3 needs to be updated to reflect the realignment of the Mall Drive with the improvements associated with the redevelopment of the Holiday Inn site.
- The elevations for the new Class A office buildings depict a floor height for the Phase I building as 15-feet, however the floor height for the Phase II building is shown as 14' feet. Both show a garage height of 10-feet. Is there a reason for the different heights?
- Exhibit E-10B & E-10C reference proposed garage parking spaces. Is the parking referenced at 100,000 sq. ft. of office or 125,000 sq. ft. of office?
- Exhibit D6A references existing sidewalks along West Wilson Bridge Road and along Old West Wilson Bridge Road. The legend does not match what is shown on the site plan.

- The site plan also references an existing sidewalk in front of First Financial Bank. There is not an existing sidewalk in this location.
- Exhibit D6A – any future sidewalks along West Wilson Bridge Road and Old West Wilson Bridge Road will need to be a minimum of 5-feet in width.
- A future exhibit showing the location of all proposed stop signs and crosswalk locations will be required.
- Possible sidewalk installation as part of this project in the area in front of First Financial Bank should be discussed.
- Exhibit D6B and the PUD text reference a future east/west access drive in Phase II on the southern end of the property. The footprint of the office building in Phase II may be reduced, however a discussion on how traffic may flow east/west on this portion of the site should be discussed.
- Exhibit D8 – Exhibit D10 conflict in the roadway and crosswalk materials proposed on the site. Clarification is needed.
- Exhibit D8 & Exhibit D10 shows the removal of the existing access point behind Kroger and a new access point to Old West Wilson Bridge Road being inline with the northbound movement of traffic on the eastern side of the mall. Clarification needed.
- Exhibit D15 & E5A reference future onsite and offsite improvements as part of this proposal. Further discussion with the City will be needed on these offsite improvements.
- Exhibit E1 – Phase I building elevation should be updated to reflect a 10-story option with heights.
- Exhibit E1 – Phase I building elevation - possible additional rooftop space if possible, depending on the tenant.
- Exhibit E-1 – Phase I – better understanding of the proposed green wall.
- Exhibit E1 – Phase II building elevation should be updated to reflect a 10-story option with heights. Clarification needed on the difference of 15-feet and 14-feet for office floor heights between Phase I and Phase II office buildings.
- Exhibit E1 – Phase II building has perforated metal screens on the western elevation. Why does this not match with the other elevations of the building?
- Exhibit E1 – Phase II building depicts the building height towards West Wilson Bridge Road, however Exhibit D10 depicts the upper portion of the office building to be setback from West Wilson Bridge Road with just the parking garage part of the structure out by the street. Clarification needed.
- Exhibit E1 – Phase I & Phase II buildings – better idea of what the metal panels and metal louvers will look like.
- Exhibit E2 references a Brick_04 that appears to be a solid blue/gray. Where is this brick proposed to be used on the site?
- Exhibit E3 shows a small green planting strip between the new north/south connector and the pedestrian sidewalks. What is proposed for this area, and do we believe it will be able to survive?
- Exhibit E3 depicts new materials for the roadway and crosswalks. Clarification needed on what this will be once installed.
- Exhibit E3 needs corrected to correctly show the realignment of Mall Drive with the Holiday Inn site.

- Exhibit E3 depicts two access points between the Kroger and the new office building in Phase I. Clarification needed.
- Exhibit E3 depicts a concrete area between Old West Wilson Bridge Road and the new office building in Phase I. Clarification needed.
- Exhibit E3 needs to identify proposed crosswalks on the site to match Exhibit D10.
- Exhibit E3 – all mechanical equipment will need to be adequately screened when each building requests ARB approval.
- Exhibit E4 depicts the Phase II office building setback from the main body of the parking garage. The previous elevations do not match. Clarification needed.
- Exhibit E4 – a better understanding of what the existing portions of the mall will look like once the roof is removed and the east/west pedestrian connector is installed.
- Exhibit E4 shows what appears to be the old cupola from the mall as a focal point by the southern edge of the Phase I office building. Clarification needed.
- Exhibit E4 shows the proposed hotel. Additional information is needed to the overall architectural character of this building and the associated heights.
 - Additional renderings are needed.
- Additional 3-D renderings are needed showing what the site would look like coming from the west to east along West Wilson Bridge Road and along the western part of the site in the location of the proposed hotel.
- Exhibit E4 – Phase II building depicts ground floor commercial space along the northern portion of the first floor of the parking garage. Clarification needed.
- Exhibit E4 – discussion needed on the proposed materials for the streets, crosswalks and public plaza areas.
- Exhibit E4 depicts the opening of the east/west pedestrian connector, however information is needed on what this area will look like once the roof and cupola are removed.
- Exhibit E4 – a better understanding of the interior walkway that will run parallel to the new north/south connector.
- Exhibit E4 also depicts the greenspace area between the new roadway and the pedestrian walkways. A better understanding of what this will be and how it will be maintained should be discussed.
- Exhibit E4 shows multiple locations for possible public art as focal points on the site in the public area. Discussion around possible public art should be discussed at some point in the overall process.
- Exhibit E5A – additional discussion around offsite improvements should be discussed. Several of the proposed images match with previous plans that have been adopted by City Council, however City funding has not been available. Discussion with the City should continue on these offsite improvements and any grant opportunities to cover the cost of these improvements should be explored.
 - City staff will continue to work with the applicant on any offsite improvements associated with the redevelopment of the site.
- Exhibit E-7A, E-7B, E-8A and E-8B needs to be revised to reflect the removal of the drive access to the new parking garage from the new north/south connector.
- Exhibit E-10B & E-10C needs to be revised to reflect the removal of the drive access to the new parking garage from the new north/south connector.

- ULI Shared Parking Analysis – Exhibit E-10A & E-10B – The Phase I ULI peak ratio references 3.36 for office space, whereas Phase II references 3.21 for office space. Clarification needed.
- There is the possible scenario of a future restriping of the 348 parking spaces in front of Kroger that may provided an additional 40+ parking spaces and/or room for an actual north/south 2-way drive along the eastern side of the mall.
 - There may be an opportunity to add additional tree islands throughout this area of the parking lot, however it may not be realistic. This should be discussed; however, it can be addressed with future applications.
- Traffic Study – Still needed and is underway by the applicant.
 - This will be required to be reviewed and approved prior to MPC making a formal recommendation to City Council. The Traffic Study may influence the amount of office/commercial space permitted in Phase II of the redevelopment.
- Signage Package – Clarification needed on whether the proposed sign package is just for the new buildings or just the office buildings to be constructed on the site.
 - Is there a proposed maximum size? The Wilson Bridge Road Corridor Guidelines reference a maximum size of 200 sq. ft. for businesses occupying more than 25% of a building facing I-270.
 - The HN & HIGH NORTH logos on the buildings are considered signs.
- Clarification needed concerning dumpster locations on the site. All dumpsters will be required to be completely screened from view.
- Additional information is needed concerning the removal of the roof and cupola in Phase II to create an open air east/west connector. How will this fit with the overall architecture of the mall. Conceptual information related to how the eastern elevation of the mall will be modified during Phase II would be appropriate. Any future modification or change will still require ARB approval; however, this may help everyone better understand how the different phases will interact with each other on the site.
- Screening and landscaping throughout the site.
- Lighting
- Stormwater will continue to be addressed by detention faults under the parking garage ramps in each phase that will then connect to the existing storm sewer lines on the site.
 - All stormwater will be required to be reviewed and approved by the City and MS Consultants to be in compliance with all local, state and federal requirements for water quantity and quality.
 - An Operation & Maintenance Plan will be required and will be required to be recorded with the Franklin County Recorder.
- Discussion related to possible sustainable practices that might be able to be incorporated into each phase of the redevelopment of the site.
- Discussion related to the overall architectural character and design of the entire site.
 - There have been previous discussions that the Wilson Bridge Road corridor is an area that could deviate from the Worthington Design Guidelines. The majority of the Wilson Bridge Road corridor is located outside of the Architectural Review District. Just the parcels that front on High Street are located in the District. We have previously deviated from the Design Guidelines as it pertains to the mall site, however a greater discussion should occur.

- Proposed Public Space Amenities – Locations to be determined
 - Park Benches
 - Trash Receptacles
 - Bicycle Racks
 - Pet Waste Receptacles
 - Shade Structures
 - Public Art/Sculptures
 - Lighting
 - Seating Areas
 - Enhanced Crosswalks & Pathways
 - Decorative Landscaping
- Discussion related to offsite improvements along Old West Wilson Bridge Road, North High Street and West Wilson Bridge Road.
 - The applicant is in discussion with City staff on possible improvements that would complement the redevelopment of the site and be in compliance with existing plans.
 - The City has a Corridor Enhancement Plan that was adopted by City Council in 2015 giving direction for streetscape improvements.
- Locations of fire hydrants, FDCs and a fire flow analysis will eventually be needed for the Division of Fire & EMS Division.
- A travel exhibit will be required to show that the City’s Division of Fire & EMS equipment can navigate the site.
- Additional 3D renderings that provide an objective sense of what the topography will look and feel like from multiple directions has been requested.
- An animated version of what the perspective would feel like as a pedestrian or those traveling to the site has been requested.
 - The applicant may have something to share at the time of the meeting.

Worthington Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

1. Scale, Form & Massing: Simple geometric forms and uncomplicated massing tend to make buildings more user-friendly and help to extend the character of Old Worthington into the newer development areas. Inclusion of sidewalks, pedestrian-scaled signage, and planting and lawn areas will help communicate a sense of a walkable pedestrian scale. Carefully designed building facades that employ traditional storefronts -- or similarly sized windows on the first floor -- will help make new buildings more pedestrian-friendly.
2. Setbacks: Parking areas should be located toward the rear and not in the front setbacks if at all possible. Unimpeded pedestrian access to the front building facade from the sidewalk should be a primary goal. Building up to the required setback is desirable as a means of getting pedestrians closer to the building and into the main entrance as easily as possible.
3. Roof Shape: Generally, a traditional roof shape such as gable or hip is preferable to a flat roof on a new building. Roof shapes should be in scale with the buildings on which they are placed. Study traditional building designs in Old Worthington to get a sense of how much of the facade composition is wall surface and how much is roof.
4. Materials: Traditional materials such as wood and brick are desirable in newer areas, but other materials are also acceptable. These include various metals and plastics; poured concrete and concrete block should be confined primarily to foundation walls. Avoid any

use of glass with highly reflective coatings. Some of these may have a blue, orange, or silver color and can be as reflective as mirrors; they generally are not compatible with other development in Worthington. Before making a final selection of materials, prepare a sample board with preferred and optional materials.

5. Windows: On long facades, consider breaking the composition down into smaller “storefront” units, with some variation in first and upper floor window design. Use traditional sizes, proportions and spacing for first and upper floor windows. Doing so will help link Old Worthington and newer areas through consistent design elements.
6. Entries: Primary building entrances should be on the street-facing principal facade. Rear or side entries from parking lots are desirable, but primary emphasis should be given to the street entry. Use simple door and trim designs compatible with both the building and with adjacent and nearby development.
7. Ornamentation: Use ornamentation sparingly in new developments. Decorative treatments at entries, windows and cornices can work well in distinguishing a building and giving it character, but only a few such elements can achieve the desired effect. Traditional wood ornamentation is the simplest to build, but on new buildings it is possible to use substitute materials such as metal and fiberglass. On brick buildings substitute materials can be used to resemble the stone or metal ornamental elements traditionally found on older brick buildings. As with all ornamentation, simple designs and limited quantities give the best results.
8. Color: For new brick buildings, consider letting the natural brick color be the body color, and select trim colors that are compatible with the color of the bricks. Prepare a color board showing proposed colors.
9. Signage: While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the “monument” type; they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.
10. Sustainability: The City of Worthington and its Architectural Review Board are interested in encouraging sustainable design and building practices, while preserving the character and integrity of the Architectural Review District. Energy conservation methods are encouraged. Landscape concepts often complement energy conservation and should be maintained and replenished. Utilize indigenous plant materials, trees, and landscape features, especially those which perform passive solar energy functions such as sun shading and wind breaks. Preserve and enhance green/open spaces wherever practicable. Manage storm water run-off through the use of rain gardens, permeable forms of pavement, rain barrels and other such means that conserve water and filter pollutants. Bike racks and other methods of facilitating alternative transportation should be utilized. Streetscape elements should be of a human scale. Make use of recycled materials; rapidly renewable materials; and energy efficient materials. Use of natural and controlled light for interior spaces and natural ventilation is recommended. Minimize light pollution.

Wilson Bridge Road Corridor Study

The Wilson Bridge Road Corridor Study, adopted in 2011, makes recommendations for the Wilson Bridge Road corridor from the Olentangy River to the west to the Railroad Crossing to the east. The Study recommends the need to promote the redevelopment of the Wilson Bridge Road Corridor into a mixed-use area that will generate new economic growth within the City. These requirements are intended to foster development that strengthens land use and economic value; encourage a mix of uses; enhance livability of the area; to augment pedestrian and bicycle connections; and to promote construction of high-quality buildings and public spaces that create and sustain long-term economic vitality.

The 2011 Wilson Bridge Road Corridor Study identifies this area as Mixed-Use with a mix of retail and office and a recommended height of 5-6 stories in height in the area.

Wilson Bridge Corridor Districts

Chapter 1181 was adopted by City Council in 2016 to facilitate implementation of the Wilson Bridge Road Corridor Study, which promotes the redevelopment of the Wilson Bridge Road Corridor into a mixed-use area that will generate new economic growth within the City. These requirements are intended to foster development that strengthens land use and economic value; to encourage a mix of uses; enhance the livability of the area; to augment pedestrian and bicycle connections; and to promote construction of high-quality buildings and public spaces that help create and sustain long-term economic vitality.

The area was recommended for WBC-3 Mixed Use that would allow for a mix of retail and offices uses both vertically and horizontally with a maximum height of 4-stories. Retail uses are encouraged on the first floor of multi-floor developments. Pedestrian and public spaces are encouraged. Some residential uses may be appropriate in this area.

Comprehensive Plan Update & 2005 Strategic Plan for Worthington

States that retail development trends appear to be shifting toward mixed-use, adaptive reuse, and entertainment-oriented uses.

Increase Commercial Office Space:

Worthington's office space currently consists of 4% of the total land use. Because the income taxes generated from these office uses are crucial to the City's financial stability, great efforts should be made to encourage the private market to add additional commercial office space within the City. This can be accomplished by converting some land to office use and by allowing increased densities on office sites. This can also be accomplished by keeping vacancy rates low and by encouraging home-based offices and telecommuting in the City. Recommendations include:

- Encourage the renovation and redevelopment of the existing highway office properties to make them more competitive and attractive in the market. Increased densities through expansion and use of structured parking (parking garage) should be promoted.
- Support and work to meet the needs of companies in the business incubators, such as the Worthington Commerce Center.
- Promote the addition of amenities and services around the existing commercial areas to make their location more attractive.

- Work to attract work-at-home employees but develop a system to monitor/capture the income tax from these home office locations.

Freeway Commercial Area:

- Promote the improvement of the Worthington Square area, including redevelopment of the west side. Encourage a mix of uses including urban village residential development based on a town center design with streets that create synergy with the mall and street level retail. New development in this location will improve this retail node and return regional focus to the mall and highway commercial area.
- Consider allowing phased redevelopment of existing office space – such that new structures are placed on the site adding to or replacing the existing building. This will be facilitated by the inclusion and integration of structured parking. Phasing may create situations where the site does not meet parking code, but this is acceptable on a temporary basis.

[Chapter 1174 - Planned Unit District - PUD](#)

The purpose of Planned Unit Development is to promote variety, flexibility and quality for the development of properties in the City of Worthington. Planned Unit Development allows for more creative planning and design and enables a greater range of uses than traditional Zoning regulations. Planned Unit Development allows for the design and mix of uses necessary to meet changing economic and demographic demands; permits implementation of development standards, plans, studies, and guidelines adopted by the City Council; and provides the opportunity to retain and enhance the character of the City, and the health, safety and general welfare of the inhabitants.

City Initiatives

The City has been evaluating the Old West Wilson Bridge Road and Corporate Hill intersections for quite some time and are in the process of designing improvements in this area. This includes the possible extension of Corporate Hill Drive to Old West Wilson Bridge Road. Additionally, as part of our continued efforts to look at traffic in this area, we have our traffic consultant Carpenter Marty evaluating short, medium- and long-term opportunities to improving traffic flow at the Wilson Bridge and High Street intersection. We expect this study to be completed during the project review and will help inform and guide decision making.

Recommendation:

Staff is recommending ***tabling*** of these applications to give the applicant time to address staff comments and gather additional input from the Board & Commission members and the community.

D. Architectural Review Board - New

1. Garage Addition Roof – **690 Evening St.** (Chad Kiner) **AR 69-2020** (Amendment to AR 04 & 45-2020)

Findings of fact & Conclusions

Background & Request:

This house was built in the early 1900's and is a two-story Colonial Revival style house. Approval was granted in 2015 and 2016 by the ARB to allow renovation of the house and replacement of the garage. Earlier this year the ARB approved plans to construct an addition at the rear of the garage that would function as an enclosed sport court.

This application would change the roofing on the addition.

Project Details:

1. The garage addition was approved to be 33' wide, and ~31.6' deep, located 10.2' from the rear property line.
2. The roof was supposed to match the asphalt shingles on the house and garage, but that roofing is no longer available. Instead, the owner would like to install standing seam metal roofing that is 16" wide and would be Charcoal gray.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

There are recommendations in the Worthington Design Guidelines for new outbuildings to use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Recommendation:

Staff is recommending *approval* of this application. Rather than trying to match the asphalt shingles with a different product, the proposed roofing should be compatible and is appropriate for this type of structure in the District.

Motion:

THAT THE REQUEST BY CHAD KINER FOR APPROVAL TO AMEND CERTIFICATE OF APPROPRIATENESS NOS. AR 04 & 45-2020 WITH A CHANGE TO THE ROOFING ON THE GARAGE ADDITION AT 690 EVENING ST., AS PER CASE NO. AR 69-2020, DRAWINGS NO. AR 69-2020, DATED OCTOBER 1, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. New ATMs – **800 High St.** (Powerhouse Retail Services/Huntington National Bank) **AR 71-2020**

Findings of Fact & Conclusions

Background & Request:

The signage and ATMs (with signage) for the Huntington Bank site were changed in 2011 to reflect the new brand for the bank. With this application new drive-thru and walk-up ATMs are proposed and the applicant would like to modify the signage.

Project Details:

1. The walk-up ATM is on the south side of the building. The new surround would be of a similar size to the existing. Non-illuminated push through acrylic lime green logo and white lettering are proposed at the top of the surround, with a curved lime green line and “Welcome” in white below. Lime green is also proposed around the remainder of the surround. The drawing indicates the green is non-illuminated but then goes on to say they would be lit with LEDs. It is unclear what is intended. Also, it is not clear if the black awning would remain.
2. For the drive-thru, the cabinet appears to be smaller than the existing. The topper is proposed with the same logo and lettering and a green line and “Welcome” below, however, internal illumination is proposed for those elements. In addition, green logos are proposed on both sides.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Guideline recommendations for signage include being efficient in using signs. Try to use as few and as small signs as are necessary to get the business message across to the public. Signage, including the appropriateness of signage to the building, is a standard of review per the Architectural District ordinance.

Staff Analysis:

- The proposed ATMs incorporate a lot of the lime green color that was not approved in 2011. The extensive use of color is not appropriate in Old Worthington.
- The walk-up unit should not have green around the outside.
- Internal illumination is not necessary on the drive-thru unit. Also, the logos on the sides should not be allowed – variances would be necessary for additional wall signs.

Recommendation:

Staff is recommending *modification* of this application to allow only what was approved in 2011 which was basic signage on the front of the toppers and no additional lime green or logos. Basic signage is acceptable for ATMs but additional signage in the way of bright colors and illumination is not necessary or appropriate in the District. Once people are on the bank site it is not difficult to find the ATMs so it seems the proposed is meant to advertise off site.

Motion:

THAT THE REQUEST BY POWERHOUSE RETAIL SERVICES FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW ATMS AT 800 HIGH ST. AS PER CASE NO. AR 71-2020, DRAWINGS NO. AR 72-2020, DATED OCTOBER 5, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Signage – **6733 N. High St.** (Samantha Elliot/Goddard School) **AR 72-2020**

Findings of Fact & Conclusions

Background & Request:

The Architectural Review Board, Municipal Planning Commission and ultimately City Council approved the construction of a new 8,565 sq. ft. Goddard School on a newly created 1.013-acre parcel that was originally part of the 4-acre lot owned and operated by Schoedinger Funeral and Cremation Services and the Commission approved a Conditional Use Permit to operate a preschool in the C-3 Zoning District. The building is currently being constructed and the owner is now requesting approval of wall and freestanding signs.

Project Details:

1. Signage is proposed on the gable above the front door of the new building. A 3' x 3' round HDU logo with a blue background and a white horse head design applied to the front would be in the peak of the gable. At the bottom of the gable, "THE GODDARD SCHOOL" in individual 15" high blue HDU letters is proposed.
 - The sign areas would be 9 square feet for the logo and 26 square feet for the lettering but would constitute two wall signs where only one sign is allowed.
 - If measured as one sign, the Code requires measurement by use of a rectangle around the outside limits of a sign. Such sign would be about 140 square feet in area which is larger than would be allowed.
2. The proposed freestanding sign would consist of a double faced 8' wide x 3'4" high HDU 8" wide cabinet painted white with blue lettering and a logo etched into the background. The bottom ~8" would be a blue band with a white vinyl phone number and web address stuck to the background. On the side of the sign, which would face N. High St., address numbers are proposed. The plan indicates an 8.7' wide x 2'2" high stone base with a stone cap. Location shows the sign foundation being 1' from the right-of-way. The Code requires signs be 10' from the right-of-way.
 - The proposed sign is about 26.6 square feet per side for a total of 53.3 square feet of sign area. If the decorative supporting structure were no wider than 8' and no higher than 2' its area would not have to count toward sign area. Because it is larger, total sign area would be ~48 square feet per side for a total of 96 square feet of sign area.
3. Allowable sign area:
 - Total = 100 square feet
 - Freestanding sign = 60 square feet (or 30 square feet per side)
 - Wall sign = 100 minus freestanding sign area

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Exposed raceways or wiring are not desirable. The Architectural District Ordinance calls for design and materials to be compatible.

Worthington Sign Code – Chapter 1170

1170.04 MEASUREMENT.

- (a) Sign area is calculated by totaling all display areas of a sign, including sign faces, molding and framing, but excluding supporting members less than or equal to twenty-four inches in width.
- (b) Planters or other decorative supporting structures shall be excluded in the computation of sign area unless the structure exceeds two feet in height or eight feet in length, in which case the entire structure shall be included in the computation of sign area.
- (c) The area for wall-mounted signs which consist of individually mounted letters, numbers or other symbols on a fascia or wall shall be the area of a rectangle circumscribed around the letters, numbers or other symbols.

1170.05 COMMERCIAL AND INDUSTRIAL DISTRICT REQUIREMENTS.

- (a) Sign area. Allowable permanent sign area for any single business shall be limited according to the widths of the building or part of the building occupied by such enterprise. For the purposes of this section, width shall be measured along the building face nearest parallel to the street line. In the case of a corner lot, either frontage may be used in determining maximum area for signage. The area of all permanent signs for any single business shall be equivalent to one and one-half square feet of sign area for each lineal foot of width of the building or part of the building, but shall not exceed a maximum area of 100 square feet per business.
- (b) Wall-mounted signage. Each business shall be permitted one wall-mounted sign.
- (c) Freestanding Signage. There shall be no more than one freestanding sign per parcel. No part of any freestanding sign shall exceed an above-grade height of fifteen feet. Freestanding signs shall not be larger than sixty percent (60%) of the total sign area allowed for under Section 1170.05 (a). Freestanding signs shall be located not closer than ten feet to a public right of way or thirty-five feet to an adjoining property line.

Staff Analysis:

- 1. An effort should be made to conform to all Code requirements. If the applicant feels that is not possible, variances would be needed by way of an Amendment to Development Plan.
- 2. Rather than include the phone number and website on the freestanding sign, the address should be in the bottom blue band rather than on the edge of the sign.
- 3. The decorative base should be constructed with brick to match the building rather than stone.

Recommendation:

Staff is recommending modification of the proposed signs based on the above analysis.

ARB Motion:

THAT THE REQUEST BY SAMANTHA ELLIOT FOR A CERTIFICATE OF APPROPRIATENESS TO ADD SIGNAGE FOR THE GODDARD SCHOOL AT 6733 N. HIGH ST., AS PER CASE NO. AR 72-2020, DRAWINGS NO. AR 72-2020, DATED OCTOBER 8, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Fencing – **5750 N. High St.** (Meyers + Associates Architecture/St. Michael) **AR 73-2020**

Findings of Fact & Conclusions

Background & Request:

St. Michael Catholic Church has operated an elementary school for many years and would like to partially enclose the site with fencing for the safety of the children.

Project Details:

1. The proposed fencing would be along the eastern property line to the Selby Blvd. parking lot; along the 135’ wide northern edge of that parking lot; and returning south to the eastern wall of the building.
2. A 6’ high black wrought iron picket fence is proposed with two horizontal rails at the top and one at the bottom. A green semi-transparent wind screen would be added to the 220’ of fencing along the east property line, which also is lined with existing vegetation. The 45’ section that returns to the building would include a 24’ wide mechanical sliding gate with “Saint Michael” lettering and a depiction of the saint between the words. Also, a section of fencing that is collapsible for fire and emergency access would be included.

Land Use Plans:

Worthington Architectural District Ordinance

Fences have long been used to mark property boundaries, to restrict access to properties by people and animals and for decorative purposes. They serve these traditional purposes in Worthington and can add to the character of a neighborhood when they are well executed and properly cared for. Fencing should be open in style; constructed with traditional materials; 3’ to 4’ in height; in the back yard; and of simple design, appropriate for the house style. Consider using natural plant materials instead of fences.

Recommendation:

Staff is recommending *approval* of this application. Although fencing is recommended to be no higher than 4’ in the Architectural Review District, exceptions have been made for school uses. The proposed style is very open except for the stretch with the wind screen, which is the least visible section of fencing from the right of way.

Motion:

THAT THE REQUEST BY ST. MICHAEL CHURCH FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW FENCING AT 5750 N. HIGH ST., AS PER CASE NO. AR 73-2020, DRAWINGS NO. AR 73-2020, DATED OCTOBER 9, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

5. New Deck, Addition and Driveway Modifications – **151 E. Granville Rd.** (SBA Studios/Witsken) **AR 75-2020** (Amendment to AR 42-2020)

Findings of fact & Conclusions

Background & Request:

The two-story house on this property was constructed in 1880 on a 66’ wide x ~345’ deep property that is adjacent to the Sharon Memorial Hall and the American Legion. A request to construct a new rear addition, paint the house, and modify the front porch was approved at the Boards meeting on July 9th.

This request involves the addition of a rear deck, and door, window and driveway modifications.

Project Details:

1. A deck is now proposed to the rear of the house and west of the addition. The existing covered steps would be removed, and the door would be changed to a window. Two existing double-hung windows to the rear are now shown as replaced with patio doors providing access to the deck. The windows, siding and door styles would match those on the existing house. Steps are proposed on the rear and west sides of the deck, which would be constructed of Timbertech material.
2. Expansion of the driveway to the south to line up with the garage, and east to line up with the house is proposed.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Decks and patios should be limited to the rear of buildings. Decks should be built of wood and kept low to the ground. Finishes should be either paint or an opaque stain to match the color of the building or its trim. Patios may be constructed of concrete, stone or brick. Consider the style of the house when designing decks and patios, since some styles and some designs are not compatible.

Parking areas should be located as far to the rear of a property as possible. Avoid locating parking in front yard areas. Side yards may be appropriate for parking, but it should be located as far to the rear as possible and screened from the street with landscaping, fencing or walls. Consider small-sized “pea” gravel, brick or simulated brick or stone as paving materials.

Recommendation:

Staff is recommending *approval* of this application as the proposed plans are appropriate for the District.

Motion:

THAT THE REQUEST BY SBA STUDIOS ON BEHALF OF ANNE WITSKEN TO MODIFY CERTIFICATE OF APPROPRIATENESS AR 42-2020 BY ADDING A DECK AND MODIFYING THE HOUSE AND DRIVEWAY AT 151 E. GRANVILLE RD. AS PER CASE NO. AR 75-2020 DRAWINGS NO. AR 75-2020, DATED OCTOBER 9, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

6. Addition & Renovation Modifications – **50 E. Granville Rd.** (Schorr Architects/ Kilbourne Middle School) **AR 76-2020** (Amendment to AR 01-2020)

Findings of Fact & Conclusions

Background & Request:

(James) Kilbourne Middle School was constructed in 1938 and is a contributing building in the Worthington Historic District. The two-story brick building has many decorative features that contribute to the Georgian styling of the building. The eastern portion of the building was added in 1965 and an addition to the gym was constructed on the east side in 1994. Other than those additions, the approved projects over the years have involved maintenance of the building and site.

The ARB approved an addition on the east side of the building to accommodate additional classroom and cafeteria space, and a new location for the school office at its February 27, 2020 meeting.

This application is a request to modify the windows and add a door.

Project Details:

1. The shape and basic style of the proposed windows still match those on the existing school. All windows are proposed with a stone sill, a brick soldier course above, and a keystone. The windows are now proposed to be fixed with two-planes rather than double-hung.
2. A door is needed on the west façade of the addition for roof access to mechanical units.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Observe the size, proportions, and spacing of windows on Old Worthington buildings. Use these as a guide in developing a new building design to enhance the new structure’s compatibility with existing buildings.

Recommendation:

Staff is recommending *approval* of this application as the proposed changes are appropriate. Although they would be fixed, the proposed windows being offset would still give the look of windows that would open.

Motion:

THAT THE REQUEST BY SCHORR ARCHITECTS ON BEHALF OF THE WORTHINGTON SCHOOLS TO AMEND THE PREVIOUS CERTIFICATE OF APPROPRIATENESS FOR AN ADDITION AT KILBOURNE MIDDLE SCHOOL AT 50 E. GRANVILLE RD., AS PER CASE NO. AR 76-2020, DRAWINGS NO. AR 76-2020, DATED OCTOBER 9, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

- 7. Fence Modifications – **184 E. Granville Rd.** (Ellen Bloch) **AR 77-2020** (Amendment to AR 30-2020)

Findings of Fact & Conclusions

Background & Request:

This house was originally built in 1930 and is two-stories with a gabled roof and a one-story addition to the rear. In June of 2015, approval was granted to construct a 9' x 9' addition with a deck at the northeast corner of the house, and amendments were approved later that year and in March of 2016. In September of 2018 the Board approved a planter on the eastern edge of the deck, and string lighting for the deck. In 2019 a shed was approved in July; retaining walls in the front, a patio to the rear, and painting were approved in September; and a railing for the front porch was approved in October. The painting project led to replacement of the siding. In December a proposed rear yard fence was denied. Not all of the approved projects were constructed, and the house was sold. The new owner received approval in May to install fencing around a portion of the rear yard.

This is a request to modify that approval by allowing the fence to extend further to the rear.

Project Details:

- 1. A fence to enclose the rear yard is proposed that would extend to the 30' rear setback.
- 2. The proposed style continues to be a 48" high black metal picket fence.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style. Design and materials should be compatible with the existing structure.

Recommendation:

Staff is recommending approval of this application. The proposed fence complies with the Design Guidelines.

Motion:

THAT THE REQUEST BY ELLEN BLOCH TO AMEND CERTIFICATE OF APPROPRIATENESS AR 30-2020 BY CHANGING THE EXTENT OF PROPOSED FENCING AT 184 E. GRANVILLE RD. AS PER CASE NO. AR 77-2020, DRAWINGS NO. AR 77-2020, DATED OCTOBER 9, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

8. New Roof & Windows – **686 Evening St.** (Mikel Coulter) **AR 74-2020**

Findings of fact & Conclusions

Background & Request:

This house was constructed in 1955 and is a contributing property in the Worthington Historic District. The garage also contributes to the District. This request is for approval to change part of the roof and the garage windows.

Project Details:

1. The main gable of the house runs north-south, and there is a shed roof dormer on the northern two-thirds of the rear of the roof. The entire roof consists of asphalt shingles. The owner would like to change the roofing on the shallower dormer roof to black EPDM, which is a synthetic rubber roofing membrane.
2. The garage has sliding windows on the north and east sides of the garage. White double-hung windows are proposed in their place.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Repair and retain existing traditional roofs such as wood shingle or slate. Compatibility of design and materials, exterior detail and relationships, and window treatment are standards of review in the Architectural District ordinance. Older outbuildings, sheds, and garages should be retained and repaired. They add variety and visual interest to the streetscape and are part of Worthington's character.

Recommendation:

Staff is recommending *approval* of this application as the shallow roof in the rear cannot be easily seen. New windows would not change the character of the garage.

Motion:

THAT THE REQUEST BY MIKEL COULTER FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A NEW ROOF ON THE REAR OF THE HOUSE AND REPLACE THE GARAGE WINDOWS AT 686 EVENING ST. AS PER CASE NO. AR 74-2020 DRAWINGS NO. AR 74-2020, DATED OCTOBER 9, 2020, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 37-2020
Date Received	06-16-2020
Fee	\$2.00
Meeting Date	07-09-2020
Filing Deadline	
Receipt #	

1. Property Location Sharon Township Memorial Hall
2. Present/Proposed Use Memorial to ALL Veterans
3. Zoning District w/ Emphasis to Local/Worthington
4. Applicant Sharon Township Memorial Hall, Veterans
 Address 137 East Dublin Granville Rd. Worthington
 Phone Number(s) Mark Goyer - 614.370.0424 / Valerie Kerbler
 Email Valerie Kerbler - valeriestar@614.558.8395
sbcglobal.net
5. Property Owner As Above
 Address 11
 Phone Number(s) 11
 Email 11 Mark Goyer - markgoyer1020@yahoo.com
6. Project Description Repair/ Replace 2 Security Lights
N.E. Corner & N.W. Corner of Building
7. Project Details:
 - a) Design Security - outside - light fixture
 - b) Color Black/ Chrome
 - c) Size 5" x 8"
 - d) Approximate Cost \$300.00 Expected Completion Date 21 JUNE 2019

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Mark Goyer
 Applicant (Signature)

16 JUNE 2020
 Date

N/A
 Property Owner (Signature)

 Date

Abutting Property Owners List for
137 E. Granville Rd.

Leasure Blackston Post	239 American Legion Trs.	700 Morning St.	Worthington, OH 43085
Daniel and Rachel Gibson		701 Morning St.	Worthington, OH 43085
James and Carol Masters		160 E. Granville Rd.	Worthington, OH 43085
Jeffrey Deville		132 E. Granville Rd.	Worthington, OH 43085
Barbara Myers		138 E. Granville Rd.	Worthington, OH 43085
John & Allison Chapman		144 E. Granville Rd.	Worthington, OH 43085
Sandra Masters		152 E. Granville Rd.	Worthington, OH 43085
Anne Witsken		151 E. Granville Rd.	Worthington, OH 43085
Timothy & Sherril Berridge		686 Morning St.	Worthington, OH 43085
Daniel & Rachel Gibson		PO Box 1284	Worthington, OH 43085
Glenn Laine & Gari Aber		707 Morning St.	Worthington, OH 43085
JC Rice		119 E. Granville Rd.	Worthington, OH 43085
Ryan & Katharine Coffman		120 E. Granville Rd.	Worthington, OH 43085

Addendum: Architectural Review Board Application

16 June 15, 2020

Re: Sharon Township Memorial Hall 700 Morning Street Worthington, OH 43085

PROJECT DESCRIPTION: "Repairing 2 Outside Security Lights" One, NE Side of Hall, other NW Side of Hall

Dear A.R.B. Members:

About 2 years ago, the Sharon Township Memorial Board had received some complaints of poor exterior lighting out front of our building from our patrons and tenants. This was a concern for us, since many of our patrons are elderly, especially from the local V.F.W. Chapter and the District Boy Scout Council, both that meet at Sharon Township Hall in the evenings.

For unknown reasons, previous Board Member Administrators, never felt the need to have these Security Lights working properly. Our best guess, is that these Security Lights have not been operable 15 Plus years. We hired Electrical Energy Systems of Galena, Ohio, owner Chris Boling, to come and fix our problem. At this time as a Board, we had no idea that this would be something that the A.R.B. should be made aware of. We were thinking of just needing a "new light bulb." Well, because of the age and deterioration of the Security Light, it was suggested from our Contractor, the Light Appliance itself, needed to be replaced. We asked our Contractor to go ahead and replace with a "like" item as well as "like" Light Coverage at the exact same locations." The Contractor strongly suggested going with an LED Bulb due to increased energy savings. Work was completed 21 June 2019.

Since June 2019, to this date, we have yet to receive any types of complaints from any of our neighbors, about any excess brightness of lights. We have even had the opportunity to inquire with some of our neighbors of the change; no complaints. A couple homeowners even said that they like the new lights, has no issues with them, whatsoever. Blue Star Mothers, an organization that sends Care Packages to active duty personnel overseas, thinks the new lights are great! They say that they feel more secure during the evenings, making deliveries, being able to park safely in the NE parking area.

Please let us know if any additional information is needed or if you have any questions. Thank you all for your consideration! FYI: Sharon Hall just completed a major replacement of replacing the large Front Porch, Handrails and West Sidewalks, cost was \$24K, completed for the safety and well-being of our patrons/visitors. Building Permits and A.R.B. were both consulted and approved by City of Worthington.

Again, Thank you!

Sincerely,

Mark Goyer, Sharon Township Hall Board Member 614.370.0424 markgoyer1020@yahoo.com

Valerie Kerbler, Sharon Township Hall Finance Director 614.558.8395 valeriestar@sbcglobal.net

Enclosures: A.R.B. Application, 4 Color Pictures w/Descriptions

New fixtures proposed

CITY OF WORTHINGTON

DRAWINGS NO. AR 37-2020

DATE 10/12/2020

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

137 E. Granville Rd.



LEDWPFC Series 50 & 80 Watt LED Full-Cutoff Wall Pack



Project:	
Type:	
Catalog #:	

#151.95 Each
Plus tax
in 4K or 5K



STANDARD



The LEDWPFC Series is a rugged, durable LED wall pack that provides full cutoff (i.e., zero uplight and low glare at high angles). It is perfect for outdoor perimeter and area lighting, especially in settings required dark-sky compliance. With a die cast aluminum housing and a polycarbonate lens, the LEDWPFC Series will stand up to many years of punishing environmental conditions. High-efficacy, long-life LEDs provide both energy and maintenance cost savings compared to traditional, HID wall packs.

FEATURES

- Available in 4000k (neutral white) and 5000k (cool white) color temperatures.*
- Long-life LEDs provide 76,000 hours of operation with at least 70% of initial lumen output (L₇₀).**
- LEDWPFC50 provides 5,656 lumens and 120 lumens per watt (LPW) at 4000k, or 5,798 lumens and 123 LPW at 5000k.*
- LEDWPFC80 provides 8,789 lumens and 113 LPW at 4000k, or 9,128 lumens and 117 LPW at 5000k.*
- Full cutoff (zero lumens above the 90°, horizontal plane, and low glare in the 80° to 90° plane). BUG upright rating is U0.
- Uniform illumination with no visible LED pixilation.
- Universal 120-277 AC voltage (50-60Hz) is standard.
- 0-10vdc dimming capability is standard on LEDWPFC80.
- Power factor > 0.90.
- Total harmonic distortion < 20%.
- Color rendering index > 80.
- Die cast aluminum housing with durable, dark bronze, powder coat paint.
- Polycarbonate lens with seamless, silicone gasket to prevent leaks.
- Removable, threaded plugs for side attachment of ½" rigid electrical conduit, or for button photocells.
- Easy installation in new construction or retrofit.

* Contact factory for other color temperatures and lumen packages.
** L₇₀ hours are IES TM-21-11 calculated hours.

WARRANTY & LISTINGS

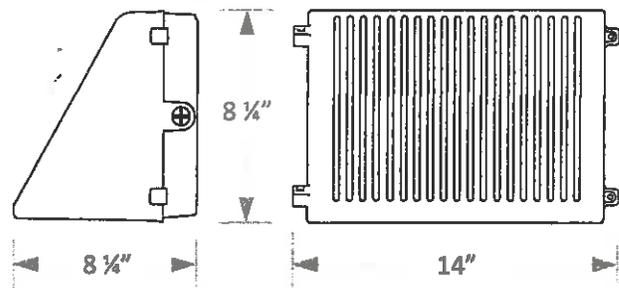
- cULus listed for wet locations (-20°C to 40°C / -4°F to 104°F).
- IP65 rated.
- DLC standard approved.
- Complies with FCC Part 15 class B.
- Complies with EN61000-4-5, surge immunity (1kV minimum).
- Complies with EN61000-4-2 level 2 electrostatic discharge (4kV).
- 5-year warranty on all electronics and housing.

CITY OF WORTHINGTON

DRAWINGS NO. AR 37-2020

DATE 10/12/2020

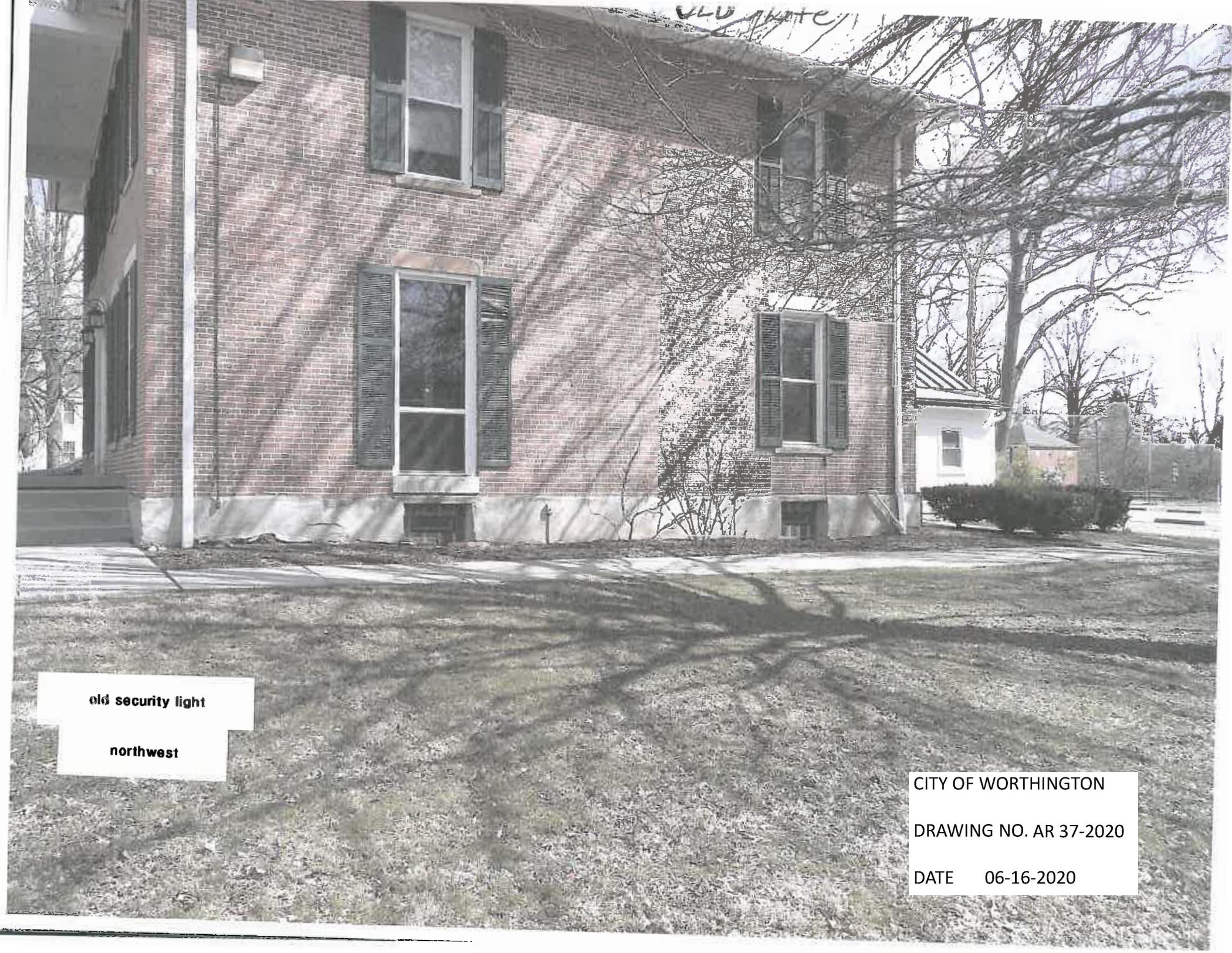
DIMENSIONS



Weight: 6.8 lb.

ORDERING INFORMATION

Model	Luminaire Watts	Luminaire Lumens	Lumens Per Watt	Color Temperature
LEDWPFC50W-4K	47	5,656	120	4K = 4000k
LEDWPFC50W-5K	47	5,798	123	5K = 5000k
LEDWPFC80W-4K	78	8,789	113	4K = 4000k
LEDWPFC80W-5K	78	9,128	117	5K = 5000k



OLD NOTE

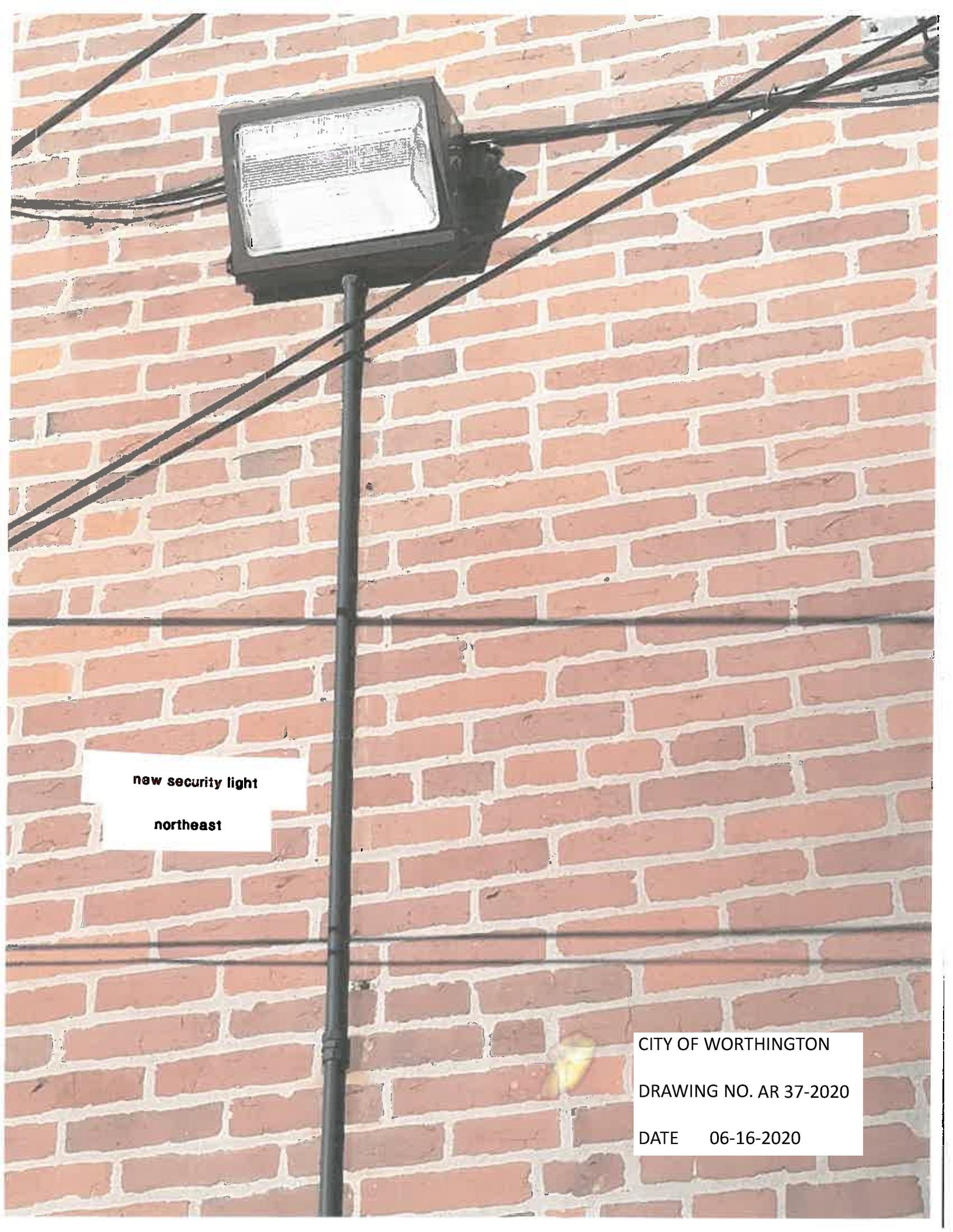
old security light

northwest

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020



new security light

northeast

CITY OF WORTHINGTON

DRAWING NO. AR 37-2020

DATE 06-16-2020

New
Life



new security light
northwest

CITY OF WORTHINGTON
DRAWING NO. AR 37-2020
DATE 06-16-2020

High North



CITY OF WORTHINGTON

DRAWINGS NO. AR 66-2020
PUD 02-2020

DATE 10-09-2020

PLANNED UNIT DEVELOPMENT

North High Street & Wilson Bridge Road(West)

CITY OF WORTHINGTON, OHIO

TABLE OF CONTENTS

TAB 1: APPLICATION FOR AMENDMENTS

- Application

TAB 2: DEVELOPMENT PLAN TEXT

- PUD-Planned Unit Development

EXHIBITS:

TAB 3

- A-1: Surrounding Property Owners

TAB 4

- B-1: Legal Description and Survey

TAB 5

- C-1: Topo Survey/Title Sheet

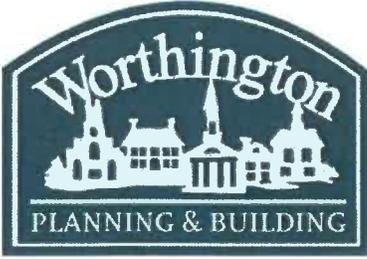
TAB 6

- D-1: Site Plan Phase 1 (need to delineate permanent open space from temporary open space)
- D-2: Site Plan Phase 2
- D-3: Demolition Plan Phase 1
- D-4: Demolition Plan Phase 2
- D-5: Neighborhood Connectivity
- D-6A: Site Connectivity Phase 1
- D-6B: Site Connectivity Phase 2
- D-7: Overall Landscape Plan (tbd)
- D-8: Phase 1 Landscape Plan
- D-9: Phase 1 Open Space Plan
- D-10: Phase 2 Landscape Plan
- D-11: Phase 2 Open Space Plan
- D-12: Old Wilson Bridge Road Landscape Plan (tbd)
- D-13: High Street Landscape Plan (tbd)
- D-14: Placeholder
- D-15: Illustrative Site Plan

Tab 7

- E-1: North Class A Office Exterior Elevations
- E-2: Material list and board
- E-3: Phase 1 Architectural Renderings
- E-4: Phase 2 Architectural Renderings
- E-5A: High Street Gateway (proposed in partnership with Worthington)
- E-6: Placeholder
- E-7A: Preliminary Grading Plan Phase 1
- E-7B: Preliminary Grading Plan Phase 2
- E-8A: Preliminary Utility Plan Phase 1
- E-8B: Preliminary Utility Plan Phase 2
- E-9: Traffic Study (In Process)
- E-10: Preliminary Parking Demand Study
- E-11: Mutual Access and Parking Agreements
- E-12: Office Sign Detail
- E-13: Retail Sign Detail

Tab 1



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case #
Date Received
Fee
Meeting Date
Filing Deadline
Receipt #

1. Property Location Shops At Worthington Place 7227 North High Street, Worthington, OH 43085

2. Present/Proposed Use Shopping Center/Class A Mixed Use

3. Zoning District Wilson Bridge Corridor

4. Applicant DRP Worthington LP

Address 5310 Harvest Hill Rd, Dallas, TX 75230

Phone Number(s) 214-891-3222 214-558-0555

Email david@directretailpartners.com

5. Property Owner Same as above

Address

Phone Number(s)

Email

6. Project Description redevelopment of existing shopping center to Class A mixed use

7. Project Details:

a) Design Please see detailed rezoning PUD submittal

b) Color

c) Size

d) Approximate Cost Expected Completion Date

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

9/7
Date

Property Owner (Signature)

9/7
Date



City of Worthington

PLANNED UNIT DEVELOPMENT PRELIMINARY PLAN APPLICATION

Case # _____
Date Received _____
Fee _____
Meeting Date _____
Filing Deadline _____

1. Property Location 150 West Wilson Bridge Road
2. Present Zoning C-2 Present Use Shopping Center
3. Proposed Use PUD Mixed Use
4. Applicant DRP Worthington LP
Address 5310 Harvest Hill Rd, Dallas, TX 75230
Home Phone 214-891-3222 Work Phone 214-558-0555
Email david@directretailpartners.com
5. Property Owner DRP Worthington LP
Address Same as above
Home Phone _____ Work Phone _____
Email _____
6. Project Description Redevelop existing shopping center to Class A mixed use center

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

Date

Property Owner (Signature)

Date



DIRECT RETAIL

partners

September 4, 2020

Mr. Lee Brown
Director of Planning
City of Worthington
374 Highland Ave
Worthington, OH 43085

Dear Mr. Brown,

Direct Retail Partners is presenting its application for rezoning of the property currently known as The Shops of Worthington (The Shops). This letter serves as the detailed supporting statement.

The subject property is 15.66 +/- acres located northwest of the intersection of North High Street and West Wilson Bridge Road in the City of Worthington (the "Property") and is located in the Wilson Bridge Corridor Architectural District. The Property is bordered on the east by Kroger and North High Street, and on the north by Old Wilson Bridge Road and several commercial office buildings that are predominately 3 stories in height. On the west the Property is bordered by The Shops at Worthington Apartments which are 5-6 stories in height. On the south, the Property is bordered by Wilson Bridge Road and several small commercial buildings. Buildings in the area predominately utilize facades that are a mix of brick and siding.

The Property is currently zoned C-2 "Community Shopping Center" known as The Shops at Worthington Place (The Shops). The current indoor mall is the primary structure on the Property.

Current Condition

The Shops have approximately 138,000 square feet of leasable space. Approximately 45% of this space is economically vacant. Overall the mall is performing as a C/D class mall (mall classifications are typically classified as A, B, C or D with D being the lowest classification).

The previous owner refreshed the eastern portion of the mall in an attempt to make it more outward facing primarily by adding direct exterior access to the store fronts. This has enabled the restaurants on the eastern side of the mall to perform at or above levels expected of healthy retail. Additionally, some space was converted for use by medical service providers and has also been successful.

Unfortunately, the performance of retailers on the western side of the mall and those with interior access only is dismal. The poor performance of these tenants is the result of an outdated design that limits visibility and creates a poorly defined vehicular and pedestrian

flow throughout the Property. Without significant design improvements, it is anticipated that the interior corridor of the mall will need to be closed to eliminate the financial drain on overall operations.

The performance of The Shops is following a clear national downward trend for malls. Indoor malls have seen declining performance and increased rate of closure since the late 1990s. This trend accelerated during the Great Recession of 2008. Prior to Covid, this trend was expected to result in the closure of up to 1/3 of US malls by 2030. Covid has accelerated this downward trend and it is now anticipated that up to 1/3 of all US malls will close by the end of 2021. Malls most likely to close are those categorized as C and D level.

Factors driving the decline of US malls, including The Shops, have been widely reported on and include the movement of retail sales online, the poor financial condition and/or bankruptcies of large and small leading retailers (JCPenney, Lord & Taylor, Chicos, Jos A. Banks etc.) and consumer demand for unique shopping, dining and entertainment experiences.

Although the performance of The Shops, is in general performing well below levels needed for financial stability, the property has clear areas of distinction:

- Performance of restaurants on the eastern side of the mall and medical services demonstrate clear market demand for these services;
- Location at High Street and Interstate 270 is highly visible and easily accessed by residents of Worthington and greater Columbus;
- Strong Class A Office market in Columbus area that has proven resistant to the negative impact of Covid

Proposed Revitalization

Indoor malls that are in superior locations and markets like The Shops have been successfully revitalized by converting them to mixed use “live, work, play” developments.

Conversion to mixed use requires the addition of elements often missing from traditional malls including office, residential, publicly accessible open space and superior vehicular and pedestrian circulation. In the case of The Shops, the prior owner began the conversion process by improving the eastern side of the mall to allow for direct access and adding multi-family residential to the western edge in 2015. The Shops still lacks open space and struggles with vehicular and pedestrian flow. However, without a component that will bring a significant level of new users to the property, it would not be financially viable to improve these elements.

Several revitalization scenarios were analyzed including increasing use of existing space for medical service providers or adding a significant Class A office component to the site. Medical service providers, while attractive, would not provide the financial returns needed to revitalize the property.

Adding Class A office is the best use of the site for Worthington and the property owner for the following reasons:

- Demand for Class A office space in Columbus is robust even with the impact of Covid. High profile tenants looking for new Class A office space remain active in the market and their space requirements reflect any anticipated impact of Covid.
- Lack of suitable Class A Office space in Worthington
- High level of additional income and other taxes generated by Class A office tenants and properties. (Impacts of Covid on office space demand were included in our analysis).

A review of high-profile national tenants targeting the Greater Columbus area indicates Class A office space must:

- Allow for highly collaborative work environments with abundant natural light;
- Provide walkable access to restaurants, entertainment and outdoor spaces;
- Providing a residential component is highly desirable.

Office space fitting these requirements does not exist in close proximity to The Shops.

To allow for revitalizing The Shops in a manner consistent with the requirements of Class A Office tenants, Direct Retail Partners is proposing to rezone the property from the C-2, Community Shopping Center, to a PUD, Planned Unit Development District as provided by Chapters 1174 of the Codified Ordinances of the City of Worthington.

Using a PUD will provide the creativity and flexibility needed to establish a mixed-use development that blends existing restaurant, medical services and residential multifamily with modern Class A office. This will allow Worthington to attract large, national high-profile employers as well as established local small and midsized employers.

At completion the development will include:

- Class A office building (up to 125,000 square feet) with podium parking on the north abutting Old Wilson Bridge Road,
- Class A office building (up to 125,000 square feet of office and retail)with podium parking on the south along Wilson Bridge Road
- Boutique hotel (100 rooms) or 100 units of multifamily consistent with the adjacent existing multifamily and additional retail/commercial buildings (up to 30,000 square feet) on the western edge of the property
- Existing retail space of 55,000 square feet (120,000 square feet of existing space will be removed).
- Central outdoor plaza which serves all components of the development
- Improved vehicular and pedestrian circulation

The proposed development is estimated to added \$1 million or more in income tax collections as well as additional property tax revenue (the revitalization is anticipated to add approximately \$95 million in value) and improved sales tax collections.

Revitalization Elements

Rebranding

The current branding is consistent with a traditional retail mall. The property will be rebranded as High North to convey the development's premier position in the Greater Columbus Class A Office market.

Architecture

The proposed architectural style blends the traditional architecture of Worthington with the contemporary style demanded by highly desirable national Class A office tenants. High North will utilize brick and stone materials and elements traditionally found in Worthington architecture at the pedestrian level. As the pedestrian level retail transitions upward to the office space, a modern architecture style will be utilized in order to meet the demands of Class A office tenants.

Parking for the Class A office buildings will be provided by podium parking structures under the office building. The parking structures will also be available to meet the parking needs for the existing retail and restaurant space, the proposed hotel and additional retail/commercial buildings as needed. These parking structures will use brick and stone materials and more traditional Worthington elements.

The height of the office buildings and parking will be a maximum of 10 total stories. The height of the office component is within the 5-6 stories anticipated in the Wilson Bridge Corridor Plan. Unfortunately, the lack of suitable land in the Wilson Bridge Corridor for parking requires the needed parking to be placed under the office building. This brings the total height to 10 stories.

Open Space and Site Circulation

The opening of The Shops (originally Worthington Square) came shortly after the completion of the I-270 outer loop in the early 1970's. Like all suburban malls of the time, it was a destination to be driven to, parked at, and experienced indoors. Over the years, The Shops have undergone several expansions and modifications including the recent attempts to become outward facing. Almost 50 years after inception, the site has become cumbersome to navigate in a vehicle and challenging at best as a pedestrian.

The current movement towards health and wellness encourages spending much more time on foot and outdoors. This movement has resulted in the redevelopment of many indoor malls around the country to adapt to these trends. Frequently used elements include removing roofs over common areas, upgrading and diversifying landscaping, providing open shaded spaces and outdoor amenities and the incorporation of non-retail tenants. The almost unanimous result has been reinvigorated "Places" where people can shop, dine, recreate and in many cases work and live.

As previously stated, our proposal anticipates the incorporation of non-mall tenants such as office, hotel, and family recreation. A high priority for these users includes outdoor space and amenities that are within walking distance. The portion of The Shops we are retaining includes some of these desirable retail and restaurant amenities.

We cannot gain more vehicular access points to the development, so we have concentrated our efforts on providing more fluid, intuitive vehicular movement within the development, in particular to new, highly visible parking garages that will service both new and existing tenants. Our experience has been that if you can navigate a site without having to stop or slow down to locate your destination, a higher volume of traffic can be accommodated, and traffic flow is smoother.

Several options to improve pedestrian circulation are being proposed. Safety, both from vehicles and visibility will be paramount. All new sidewalks will be separated from drives by landscaping and will be wide enough to include lighting, benches, shade, and comfortable pedestrian passage. Existing sidewalks, to the extent possible will be modified to include the same elements so that no matter where you are there is continuity between, and access to any other destination within the development.

The focal point will be the outdoor public plaza. While the Plaza is the featured amenity for High North tenants, our goal is that this plaza will become the destination High North is known for and the associated retail, restaurant and entertainment tenants become some of the most sought-after amenities for the community. The design for the Plaza will include landscaping, shade, places to sit, places to rest, places to stroll, places to gather, places to experience and places to photograph. Our goal is that it is invigorating because you experience it in a variety of different ways.

Construction and Phasing

The proposed new development will utilize land that is currently surface parking. Additionally, approximately 120,000 square feet of the existing mall will be demolished to provide additional needed land.

The project will be completed in two phases. The first phase will include the northern Class A Office building as well as a temporary public open space area. (A portion of temporary public open space will be utilized for permanent commercial buildings in Phase 2. The remainder will become the open-air plaza). Phase 1 will also include the construction of the new north/south and east/west streets which will service the northern office building and improve site circulation and access to the western side of the development. Once tenant acquisition is completed for the northern office building, the construction of the first phase, is anticipated to be completed within 24 months.

The second phase will include the southern Class A Office building, completion of permanent public open space area and the commercial buildings on the western portion of the property. Construction of Phase 2 commercial buildings will be market driven with the final configuration, building size and number being driven by tenant demand and specification. The build out of Phase 2 will likely place over several years.

Direct Retail Partners is excited to work with Worthington on the revitalizing this property to establish a premier Class A Office mixed-use development. My team is available to address any questions or comments you may have.

Sincerely,

A handwritten signature in blue ink, appearing to read 'David Watson', with a stylized, cursive flourish extending to the right.

David Watson,
Managing Principal,
Direct Retail Partners

CC:
Matt Greeson
David McCorkle

Tab 2

High North At Worthington Mixed Used Development

Development Text
October 9, 2020

I. Introduction

The subject property is 15.66 +/- acres located northwest of the intersection of North High Street and Wilson Bridge Road in the City of Worthington (the "Property") and is located in the Wilson Bridge Corridor and the Architectural Review District. The Property is bordered on the east by Kroger and North High Street, and on the north by Old Wilson Bridge Road and several commercial office buildings that are predominately 3 stories in height. On the west the property is bordered by The Heights at Worthington Place apartments which are 4 - 6 stories in height. On the south, the property is bordered by Wilson Bridge Road and several small commercial buildings. Buildings in the area predominately utilize facades that are a mix of brick and siding.

The property is contained in one Franklin County tax parcel, 100-006788-00 (15.668 acres). The Property is currently zoned C-2 "Community Shopping Center" known as the Shops at Worthington Place, and was re-platted from three parcels to one in 2019 when the applicant purchased the property. The current indoor mall is the primary structure on the property.

The request is to rezone the property from the C-2, Community Shopping Center, to the PUD, Planned Unit Development District as provided by Chapters 1174 of the Codified Ordinances of the City of Worthington (the "Code"). The proposed use is mixed use which will allow the establishment of Worthington as a premier Class A office location for large and mid-sized employers in a desirable live, work and play environment.

Use of PUD zoning allows for a creative, flexible design as stated in the Code, Section 1174.01 PURPOSE.

“(a) The purpose of Planned Unit Development is to promote variety, flexibility and quality for the development of properties in the City of Worthington. Planned Unit Development allows for more creative planning and design and enables a greater range of uses than traditional Zoning regulations. Planned Unit Development allows for the design and mix of uses necessary to meet changing economic and demographic demands; permits implementation of development standards, plans, studies, and guidelines adopted by the City Council; and provides the opportunity to retain and enhance the character of the City, and the health, safety and general welfare of the inhabitants.”

At completion the development will include:

- Class A office building (up to 125,000 square feet) with podium parking on the north, a
- Class A office building with podium parking on the south (up to 125,000 square feet)
- Boutique hotel (120 rooms) or 100 units of multifamily consistent with the adjacent existing multifamily and additional retail/commercial buildings (up to 30,000 square feet) on the western edge of the property
- Existing retail space of 55,000 square feet (120,000 square feet of existing space will be removed)
- Central outdoor plaza
- Pedestrian circulation that allows easy navigation of the entire development

- Enhanced vehicular circulation created by adding new north/south and east/west roads

The architectural style blends the traditional architecture of Worthington with the contemporary style demanded by highly desirable national tenants. To achieve this, development standards contained in Code Section 1181, Wilson Bridge Corridor, of the Code have been modified with specific standards contained in Section II of this PUD.

Amenities included in the plaza, other open space and pedestrian pathways will include lighting, benches, shade and unique gathering spaces. The pathways will also provide pedestrian access to the new office buildings and retail buildings as well as existing retail shops and restaurants and apartments.

New development will utilize land that is currently surface parking. Additionally, approximately 120,000 square feet of the existing mall will be demolished to provide additional needed land. On net and 215,000 square feet of commercial space will be added to High North. Demolition plans are provided **Exhibit D-3 and D-4**. **Exhibit E-4** depicts the western portion of the existing retail space after demolition and reconstruction.

Parking for the Class A office buildings will be provided by podium parking structures under the office building. The parking structures will also be available to meet the parking needs of the existing retail space as well as proposed hotel and additional retail/commercial buildings when the parking needs are not met with the remaining surface parking.

The project will be completed in two phases. The first phase will include the northern Class A Office building as well as temporary public open space areas (note: a portion of the temporary public open space will be utilized for permanent commercial buildings in Phase 2 as depicted in **Exhibit D-9**) Phase 1 will also include the construction of a new north south street to service the northern office building and the western side of the development and a new east west street to improve vehicle circulation.

The second phase will include the southern Class A Office building, completion of permanent public open space area and the commercial buildings on the western portion of the property as depicted in **Exhibit D-2**. Construction of Phase 2 commercial buildings will be market driven with the final configuration, building size and number being driven by tenant demand and specification. The build out of Phase 2 may take place over several years.

At full buildout the impervious coverage of the site will be 13.6 acres of the site, or 86.7%. This represents an improvement from the current condition; impervious coverage is currently impervious coverage is 14.4 acres or 91.7%.

The full build out site plan, is shown on **Exhibit D-2** in this Preliminary Development Plan.

II. Development Standards

A. Proposed Uses:

1. WBC-3 Mixed Use as defined by Chapter 1181.06(c) as follows, An area along the WBC that allows for a mix of retail and office uses both vertically and horizontally. Permitted uses include C-1 Neighborhood Commercial, C-2 Community Shopping Center and C-3 Institutions and Offices as listed in Chapter 1147.
2. Hotel and medium density apartment (AR-3) are permitted uses subject to the following conditions:

- i. Generally located in the area designated as hotel/multifamily on **Exhibit D-2**
- ii. Multifamily units will be 100 units or less.
- iii. Multifamily final plans cannot be applied for until after 2 years from date of PUD approval.

B. Design Regulations

C. Character

The proposed architectural character of the subject property honors Worthington's heritage while building a premier mixed-use project that ensures the ongoing viability of the existing and future retail space. More importantly the goal of this mixed use development is to provide Worthington with the ability to substantially expand its employer/employee base by targeting large national and international employers.

Achieving this goal requires an architectural character that blends Worthington's established architecture with contemporary Class A office architecture. At the pedestrian level, High North shall maintain the warmth of Worthington through the use of traditional building materials and familiar architecture elements. As the project builds upward, the Class A Office buildings, transition into a contemporary style that meets the needs and profile of premier, Class A office tenants. Renderings from various points along North High Street, Wilson Bridge Road and 270 are contained in **Exhibits E3-E6**.

- i. The predominate building materials,
 - a. Existing/remaining retail/commercial building – brick, siding and masonry
 - b. New/phase 2 retail/commercial – brick, siding and masonry
 - c. Class A Office Buildings and Parking Structures – brick, metal, pre-cast stone
 - d. Hotel – brick, siding and other masonry
 - e. Multifamily – brick, siding
- ii. The architectural character is illustrated in the Architectural Renderings (**Exhibits E3 - E6**) included with the Preliminary Plan materials. This project requires review and approval of the Worthington Architectural Review Board (the "ARB"), and the applicant is committed to working collaboratively with the ARB to achieve the desired aesthetic and quality for this prominent area of the City.
- iii. Office Building height will be limited to 10 total stories including the parking structure. Parking structure floor to floor height is 10 feet on average; Office floor to floor height is 15 feet.
- iv. Hotel and multifamily height will be limited to 10 stories.
- v. New retail buildings will be limited to 2 stories.
- vi. The ground floor of the office buildings may contain retail, office, restaurant or recreation uses.
- vii. The Property shall be developed in substantial conformity with the setbacks and other standards depicted on the Site Plan, included herewith as **Exhibits D-1 and D-2**.
- viii. Vehicular ingress and egress is depicted in **Exhibits D-1, D-2 and D-6**

- ix. Pedestrian circulation throughout the property is depicted in **Exhibit D-6**. Pedestrian flow throughout the property is created throughout the property through the use of
 - a. Enhanced crosswalks (details are in process)
 - b. Wayfinding signage
 - c. Lighting
 - d. Benches and shade structures
 - e. Central north/south boulevard will be pedestrian oriented in substantial conformance with **Exhibit D-X(in process)**.

2. Screening

- i. Landscaping and screening shall be installed in substantial compliance with the Landscape Plans included herewith as **Exhibits D-7 through D-13**
- ii. Tract coverage: Total tract coverage will be in substantial compliance with the Site Plan attached as **Exhibit D-2**.

3. Lighting:

All parking lot lights and building wall-mounted lights shall be in substantial compliance with **Exhibit D-14(in process)**. Decorative light poles shall be not higher than 15 feet, and the concrete bases shall not be exposed.

4. Graphics/Signage

- a. Signage for the existing retail/commercial buildings that remains, the new free-standing retail buildings and ground floor retail contained in the office buildings will comply with the sign requirements in **Exhibit E-13**.
- b. Signage for the Class A Office Buildings:
 - i. Total sign area per facade of the office space will be limited to 300 square feet;
 1. No single wall sign shall exceed 200 square feet
 2. No more than two wall signs per facade will be allowed
 - ii. Total sign area per facade of the parking garages will be limited to 550 square feet;
 - iii. Wall signs will be allowed on all facades
 - iv. Further details are contained in **Exhibit E-12**.

5. Traffic & Parking

a. Traffic

Access to the property shall be as depicted on the Site Plan, **Exhibit D-1 and D-2** and the Site Connectivity **Exhibit D-6A and B**. Sidewalks shall be installed throughout the Property as depicted on **Exhibit D-6A and B**. This provides for pedestrian connectivity to existing sidewalks along the southern and eastern perimeter of the property and with connectivity provided to and through the property in various locations.

- i. A traffic impact study was completed and is contained in **Exhibit E-9** (in process).
- ii. An east/west access drive on the southern end of the property that provides access to the proposed signalized entrance on West Wilson Bridge Road will be established. Final configuration will be determined by the Phase 2 final plan that provides for the construction of the southern office building.

iii. Mutual access agreements are required between current and future tracts and adjacent properties in the areas depicted in **Exhibit E-11 (in process)**

b. Parking:

Parking areas including structured parking shall be located and developed in substantial compliance with the setbacks and other standards depicted on the Site Plan attached as Exhibit **D-1 and D-2**.

i. Parking requirements are in compliance with Urban Land Institute guidance. A preliminary parking study is included as **Exhibit E-10**. The parking study will be updated when final plan(s) that include either of the office buildings or a hotel or multifamily use

ii. Shared parking agreements are required between current and future tracts and adjacent properties in the areas depicted in **Exhibit E-11(in process)**

6. General Requirements

a. Environment

i. Stormwater Drainage

Preliminary engineering and feasibility studies were conducted for the proposed development of the Property, attached, as **Exhibit E-7A and B** Preliminary Grading Plans. Stormwater runoff will be mitigated in accordance with all Worthington requirements, and approved by its engineering or consulting engineering staff.

ii. Sustainability

Currently, the existing site has no infrastructure to support stormwater quality or detention. Infrastructure will be installed to address this deficiency to clean and detain the run-off before entering the public system as established in Exhibit E-7A and B. The major infrastructure element includes underground storm water detention placed under the parking structure of the North Office Building. Additionally, the existing site's impervious coverage is in excess of 90%. Impervious coverage is being reduced by reducing surface parking and implementing an open-air plaza.

b. Utilities & Facilities

The development will be serviced by the existing available City of Worthington water and sewer lines, **Exhibit E-8A and B**.

b. Natural Features

This property is without natural features.

c. Public Space Amenities

Public Space Amenities are provided and incorporated as depicted on **Exhibits D-7 through D-13**. Construction of public space amenities will be completed in accordance with the phasing plan outlined in section 7 and **Exhibits D-1 and Exhibits D-2**.

- i. Temporary public open space; Phase 1
 - 1. Benches
 - 2. Trash receptacles
 - 3. Pet waste station
- ii. Outdoor Plaza; Phase 2
 - 1. Shade structures
 - 2. Main focal element
 - 3. Benches
 - 4. Trash receptacles
 - 5. Lighting
 - 6. Pet waste station
- iii. Old Wilson Bridge Road (in process)
- iv. North High Street (in process)
- v. West Wilson Bridge Road (in process)
- vi. Amenities found throughout the development (completed as indicated in the phasing plan; see section 7 and **Exhibit D-1 and D-2**)
 - 1. Enhanced pedestrian pathways and crosswalks
 - 2. Seating areas.
 - 3. Decorative landscaping.
 - 4. Bicycle Parking
 - 5. Pet waste station.
 - 6. Trash receptacles.

7. Development Phasing

The development will be completed in two phases as depicted in the Site Plans and Demolition Plans **Exhibits D-1 through D-4**. Market conditions and demand will drive the timing and final site plan of the second phase of the development including the specific timing of phase two initiation, sequencing, size and number of specific buildings and completion as well as final configuration of the buildings in Phase 2.

- a. At the conclusion of tenant acquisition the construction of the Northern Office Building (Phase I) will be completed within 30 months
- b. Public Open Space Phasing
 - i. Phase 1 Temporary Open Space
 - 1. Temporary Open Space will be completed within 6 months of the issuance of a certificate of occupancy of the northern office building
 - 2. If Phase 2 has been initiated prior to or during the timeline in item b.i.1 above, Worthington Director of Planning and Building may authorize extension of completion of the temporary open space,
 - ii. Phase 2 Plaza/Open Space
 - 1. Plaza and open space shall be completed within six months of certificates of occupancy being issued for the southern office building and the hotel or additional apartment units.

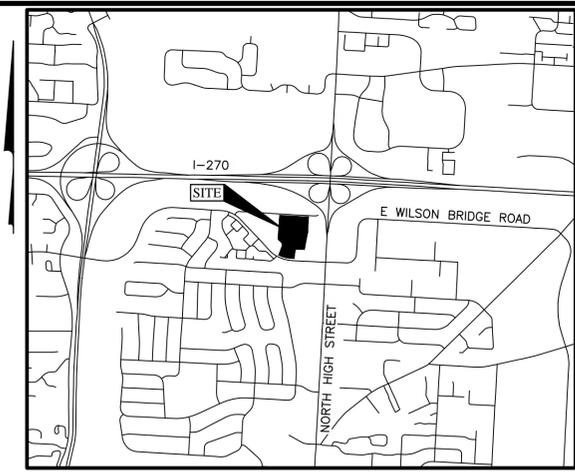
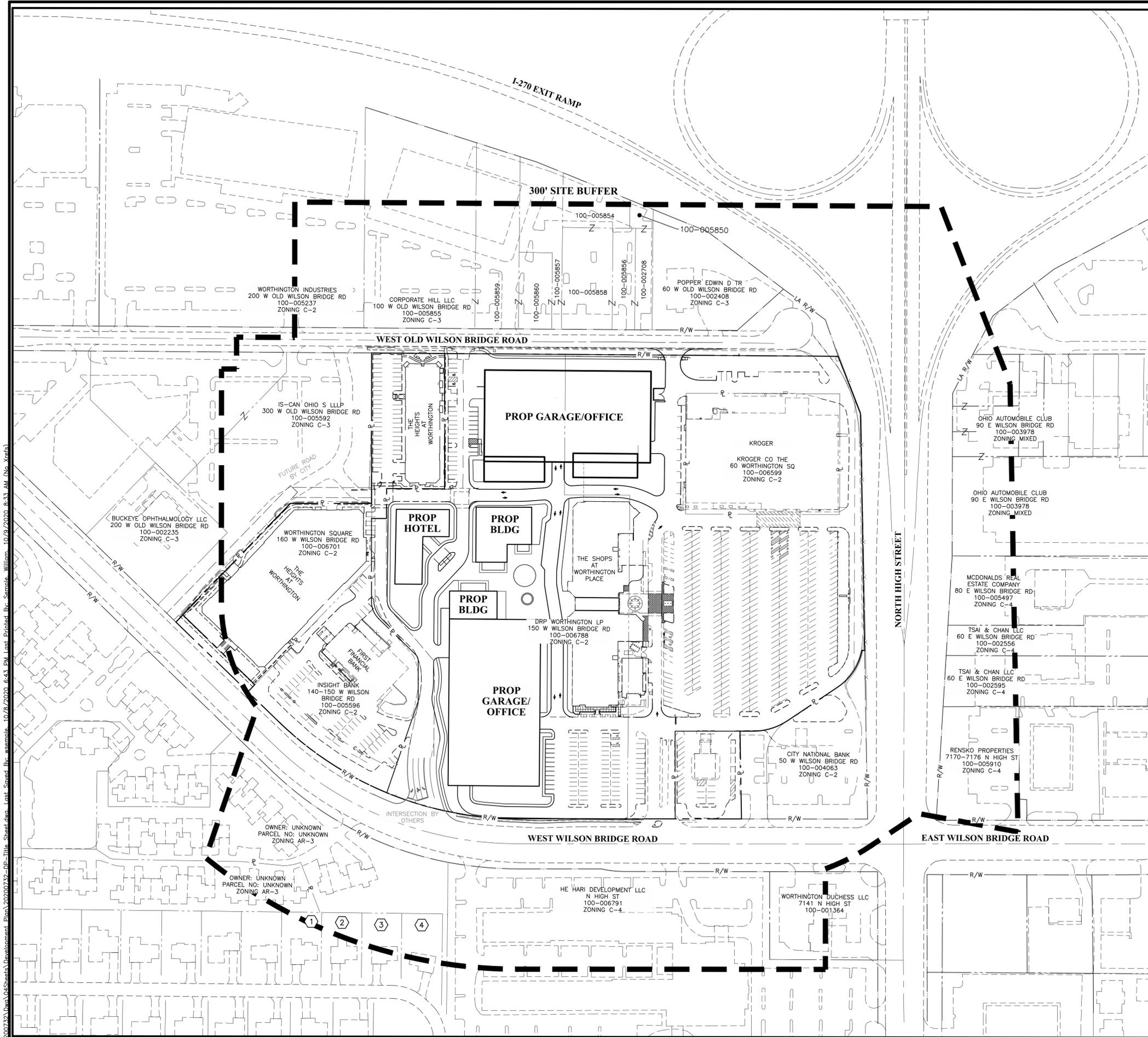
Tab 3

Abutting Property Owners List for
7227 N. High St.

Corporate Hill LLC	470 Old Worthington Rd.	Westerville, OH 43082
Worthington Industries, Inc.	200 W. Wilson Bridge Rd.	Worthington, OH 43085
Edwin D. Popper Tr.	539 Old Farm Rd.	Columbus, OH 43213
Is-Can Ohio X LLLP	2600 Corporate Center Dr., Suite 175	Columbus, OH 43231
Worthington Square Acquisition LLC	555 Metro Pl. N Ste. 600	Dublin, OH 43017
Ohio Automobile Club	90 E. Wilson Bridge Rd.	Worthington, OH 43085
McDonald's	80 E. Wilson Bridge Rd.	Worthington, OH 43085
Tsai & Chan LLC	15 W. 6th St., Suite 2400	Tulsa, OK 74119
Buca Di Beppo	60 E. Wilson Bridge Rd.	Worthington, OH 43085
Rensko Properties LLC	8333 N. High St.	Columbus, OH 43235
BP	7141 N. High St.	Worthington, OH 43085
Worthington Duchess LLC	447 James Parkway	Heath, OH 43056
He Hari Development LLC	600 Enterprise Dr.	Lewis Center, OH 43035
Stephen Lewis	126 Saint Andre St.	Worthington, OH 43085
Insight Bank	150 W. Wilson Bridge Rd.	Worthington, OH 43085
Chase Bank	50 W. Wilson Bridge Rd.	Worthington, OH 43085
The Kroger Co.	4111 Executive Parkway	Westerville, OH 43081
Kroger	60 W. Wilson Bridge Rd.	Worthington, OH 43085
Cast Away Realty LLC	42-40 Bell Blvd Suite 200	Bayside NY 11361
Jonathan & Maryellen McLaughlin	160 Greenglade Ave.	Worthington, OH 43085
Chad & Elyce Cucksey	150 Greenglade Ave.	Worthington, OH 43085
Curtis & Alicia Barden	140 Greenglade Ave.	Worthington, OH 43085
Shellie & Andrew Smith	130 Greenglade Ave.	Worthington, OH 43085

Tab 4

Tab 5



LOCATION MAP
Not to Scale

DEVELOPER
Direct Retail Partners
5310 Harvest Hill Road, Suite 250
Dallas, Texas 75230

ARCHITECT
O'Brien Architects
5310 Harvest Hill Road, Suite 250
Dallas, Texas 75230

ENGINEER/SURVEYOR
EM&T, Inc.
5550 New Albany Road
Columbus, Ohio 43054

LANDSCAPE ARCHITECT
POD Design
100 Northwoods Blvd, Suite A
Columbus, Ohio 43235

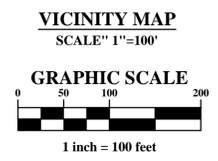
PROPERTY TABLE

1	MCLAUGHLIN JONATHAN 160 GREENGLADE AV 100-004986
2	CUCKSEY SHAD M 150 GREENGLADE AV 100-004987
3	BARDEN CURTIS A 140 GREENGLADE AV 100-004988
4	SMITH SHELLIE L 130 GREENGLADE AV 100-004989

SITE STATISTICS

SITE INFORMATION	
Proposed:	Mixed Use Development
Parcel:	100-006788
Existing Zoning:	C-2 (Community Shopping Center)
Proposed Zoning:	PUD
SITE AREA CALCULATIONS	
Total Site Area:	±15.7 Ac
EXISTING	
Impervious Area:	14.4 Ac
Pervious Area:	1.3 Ac
PHASE 1	
Impervious Area:	13.7Ac
Pervious Area:	2.0 Ac
PHASE 2	
Impervious Area:	13.6 Ac
Pervious Area:	2.1 Ac

ZONING LEGAL DESCRIPTION
All of Lot 3A of the subdivision entitled "Replot of Lot 2A of Shops at Worthington Place", of record in Plat Book 126, Page 12.



PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
October 9, 2020

REVISIONS

MARK	DATE	DESCRIPTION

DIRECT RETAIL PARTNERS

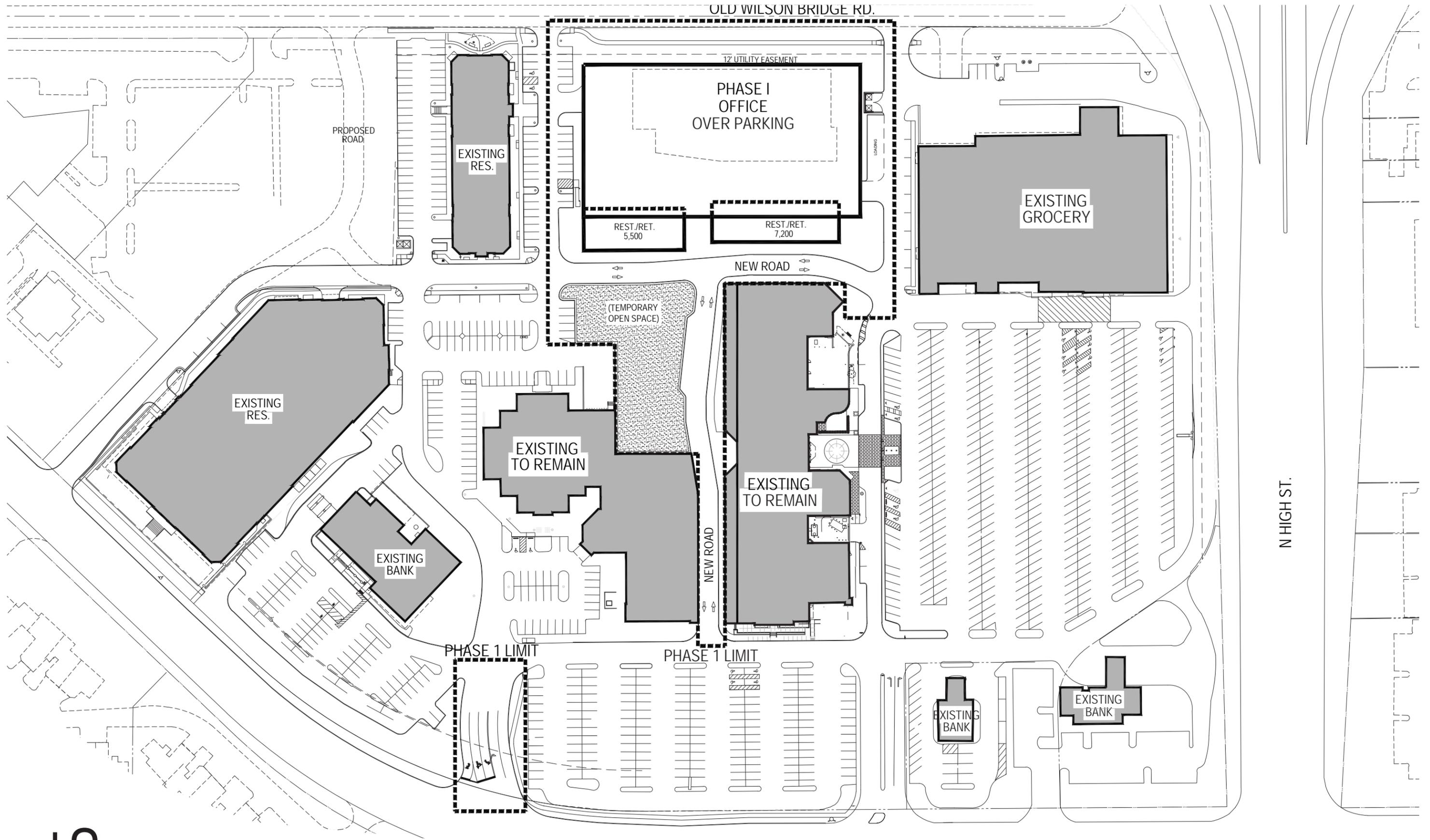
CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
DEVELOPMENT PLAN FOR
THE OFFICES AT HIGH NORTH
PHASE 1 & 2
TITLE SHEET

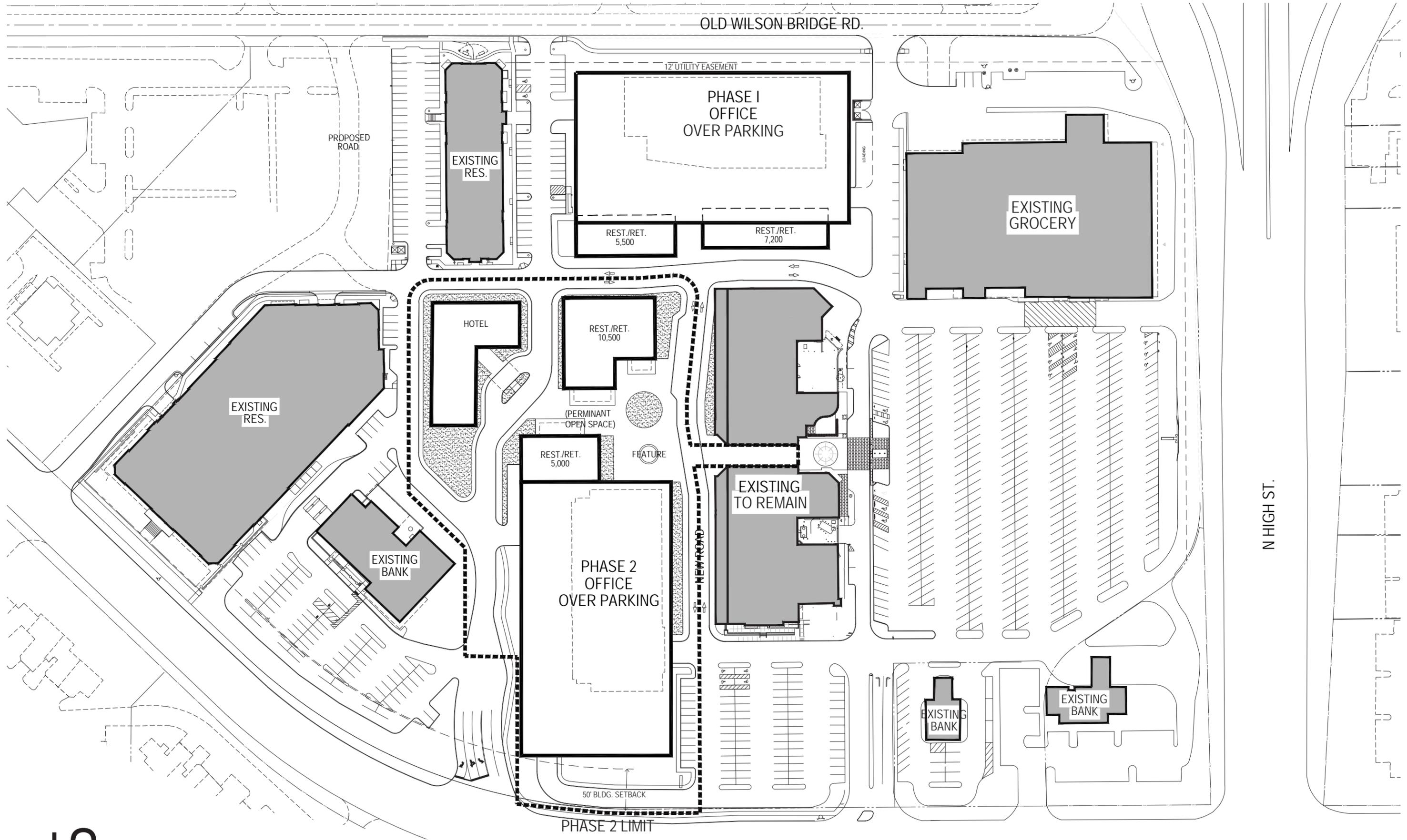


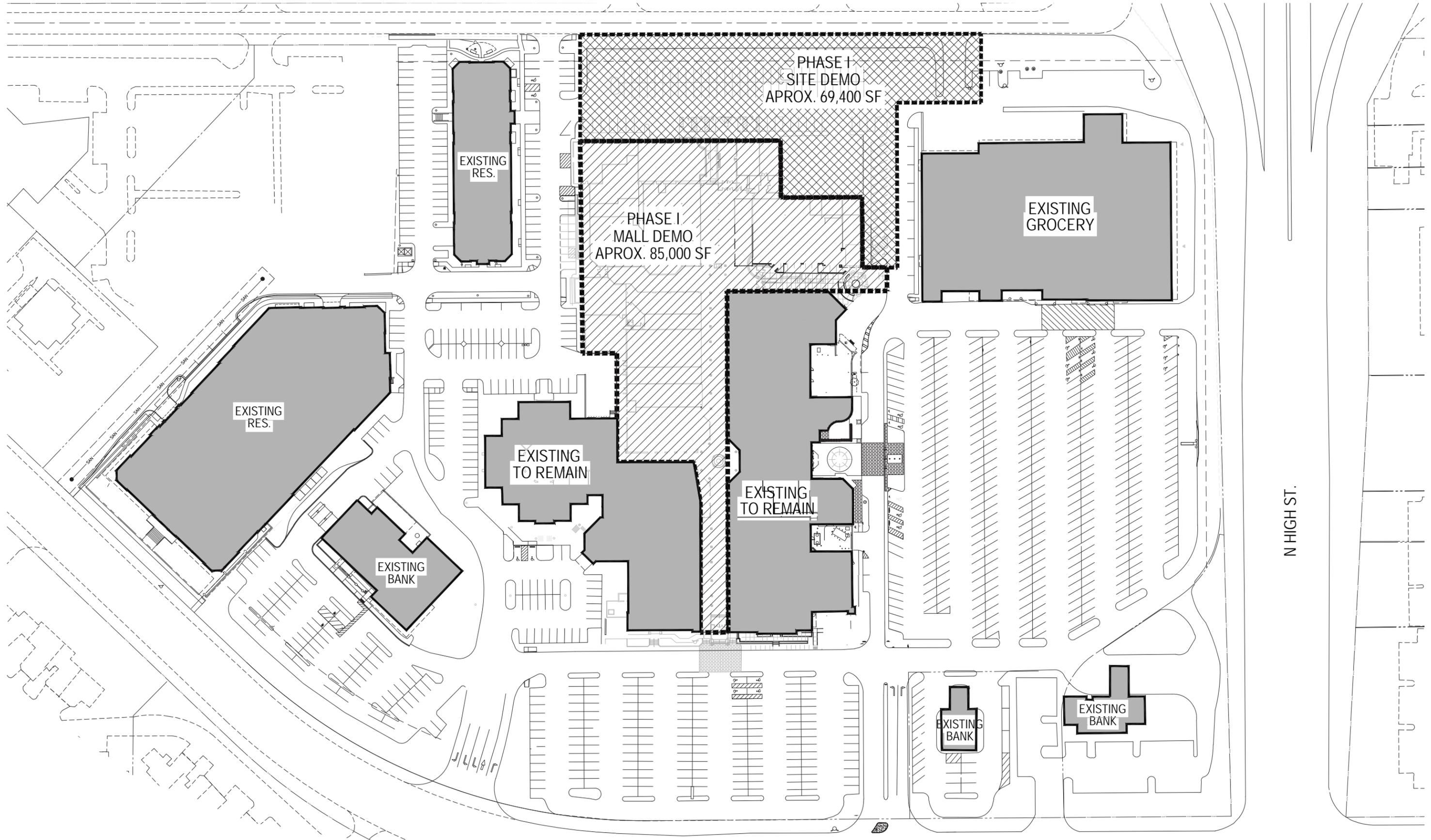
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JOB NO.	2020-0732
SHEET	C-1

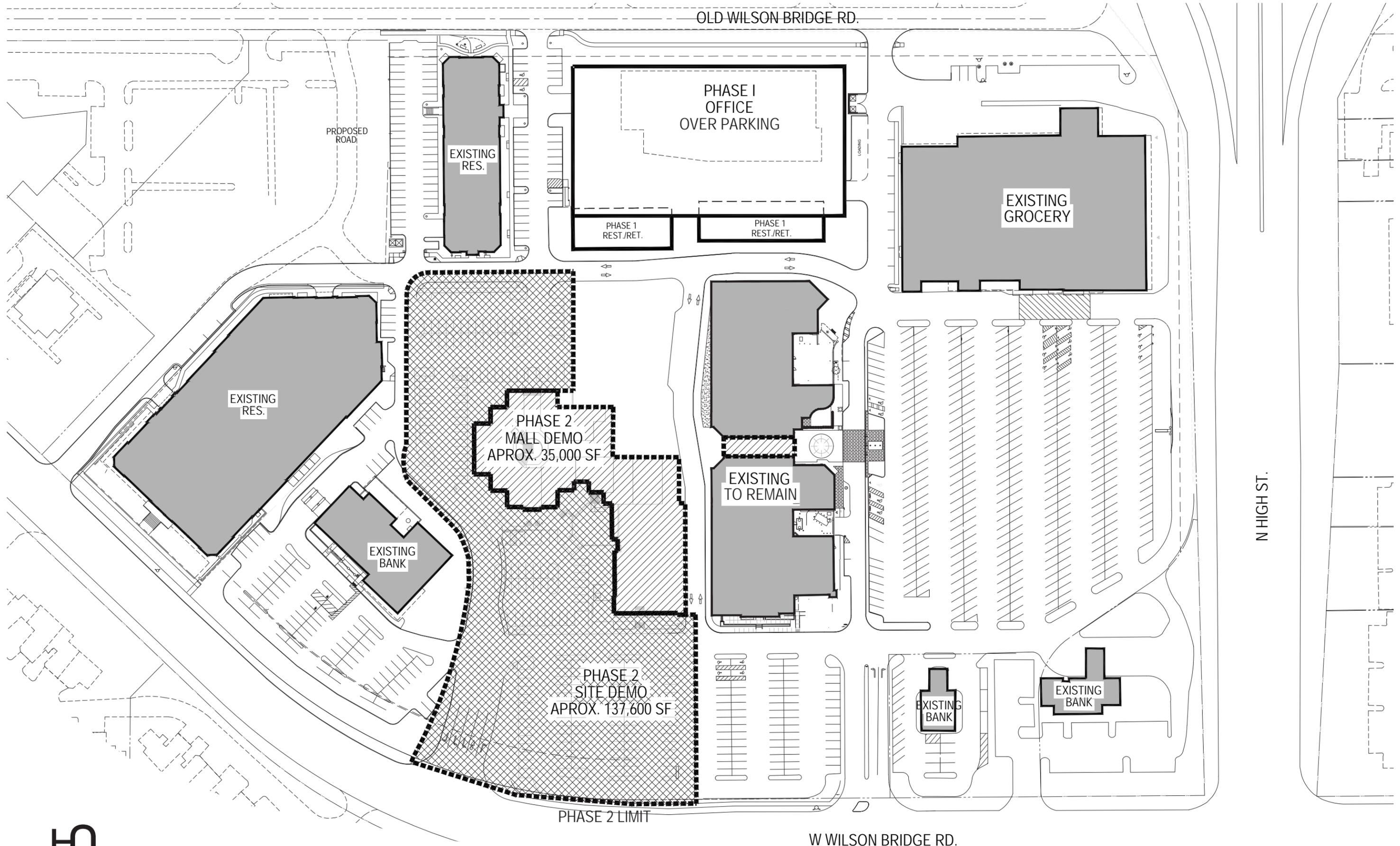
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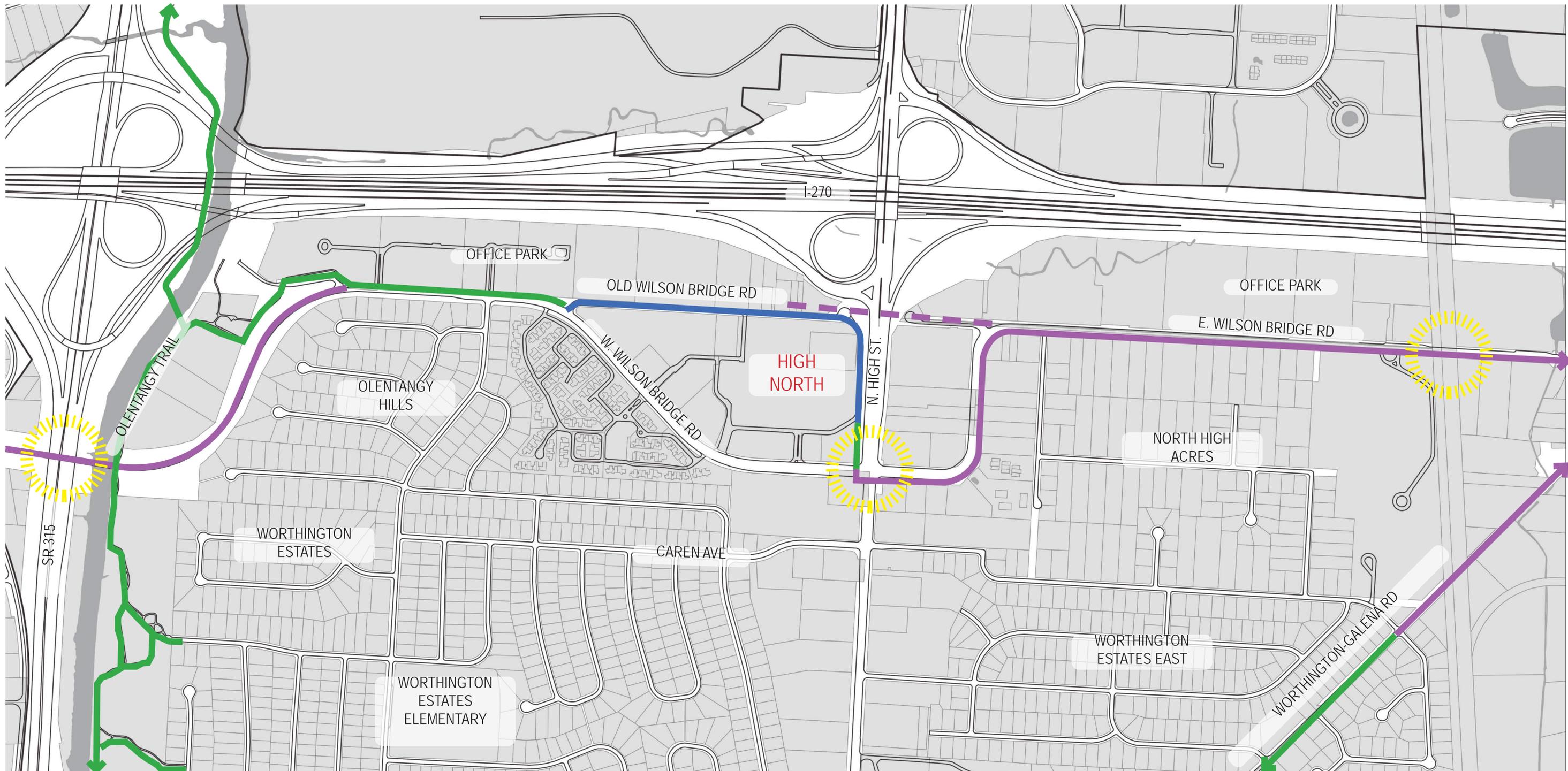
Tab 6





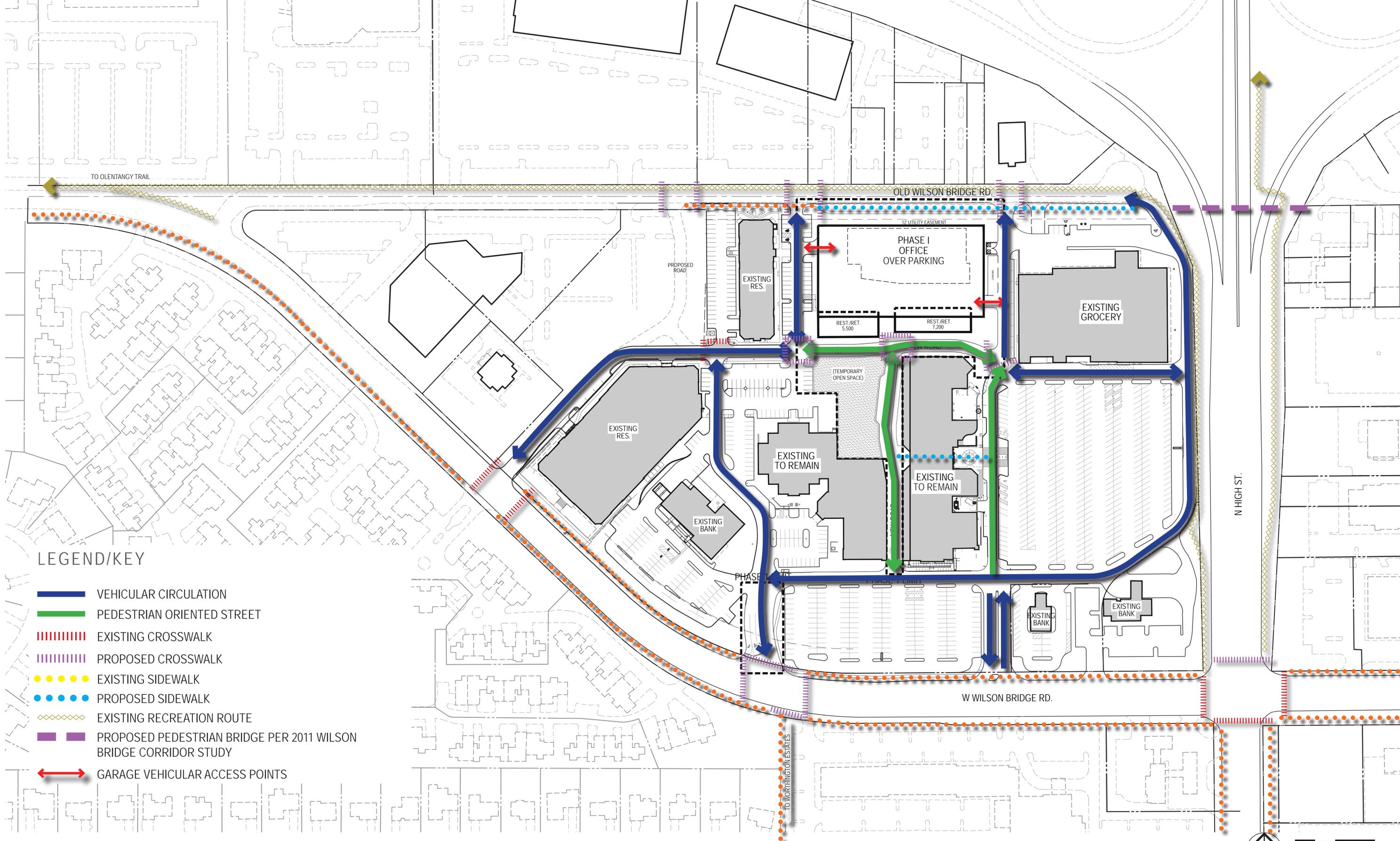






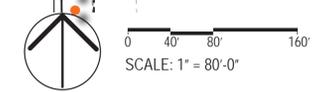
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-  EXISTING RECREATION PATH
 -  PROPOSED RECREATION PATH (WORTHINGTON)
 -  PROPOSED PEDESTRIAN BRIDGE (WORTHINGTON)
 -  EXISTING RECREATION ROUTE ON STREET
 -  GATEWAY TO WORTHINGTON

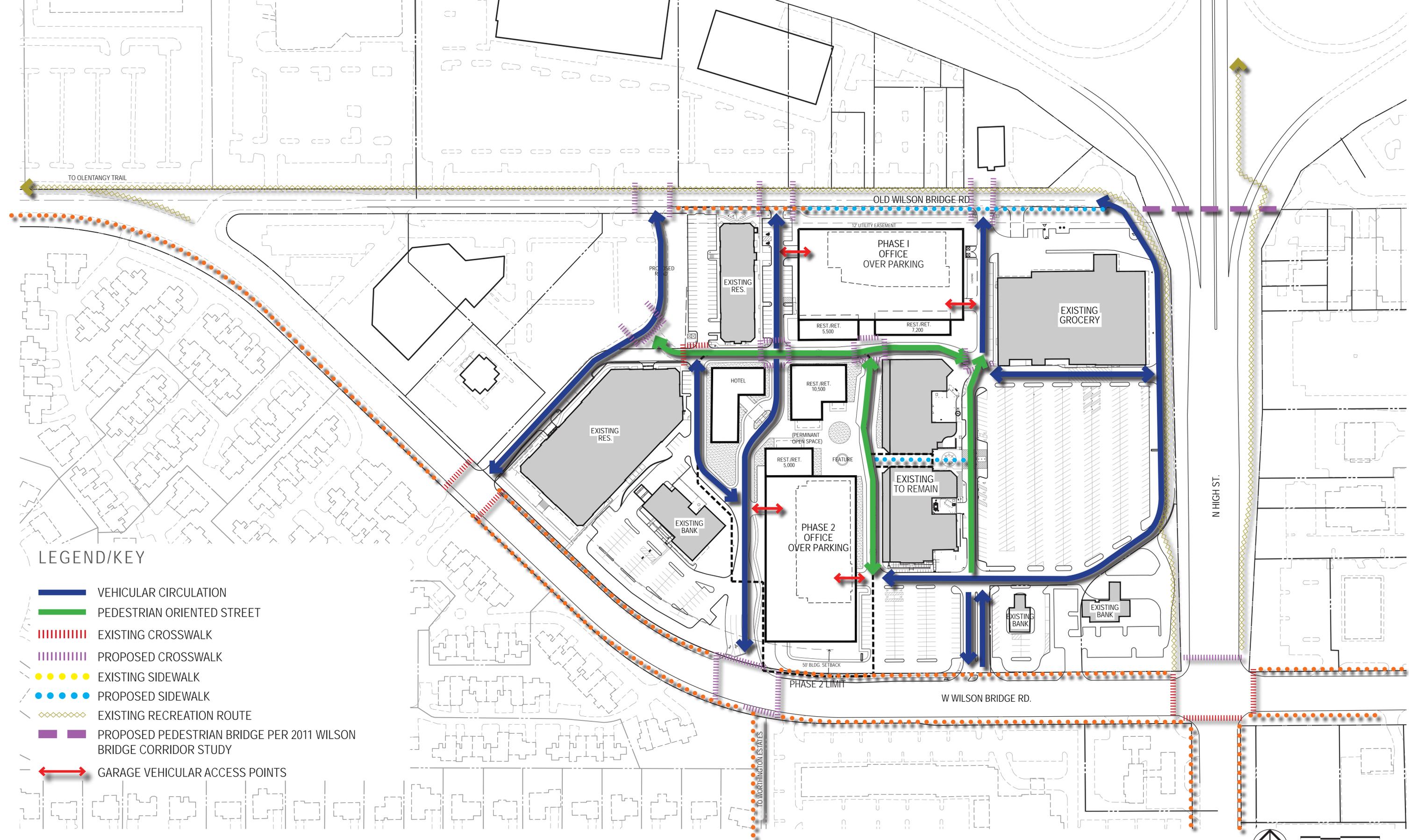




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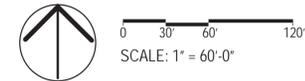
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- PEDESTRIAN ORIENTED STREET
- EXISTING CROSSWALK
- PROPOSED CROSSWALK
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING RECREATION ROUTE
- PROPOSED PEDESTRIAN BRIDGE PER 2011 WILSON BRIDGE CORRIDOR STUDY
- GARAGE VEHICULAR ACCESS POINTS

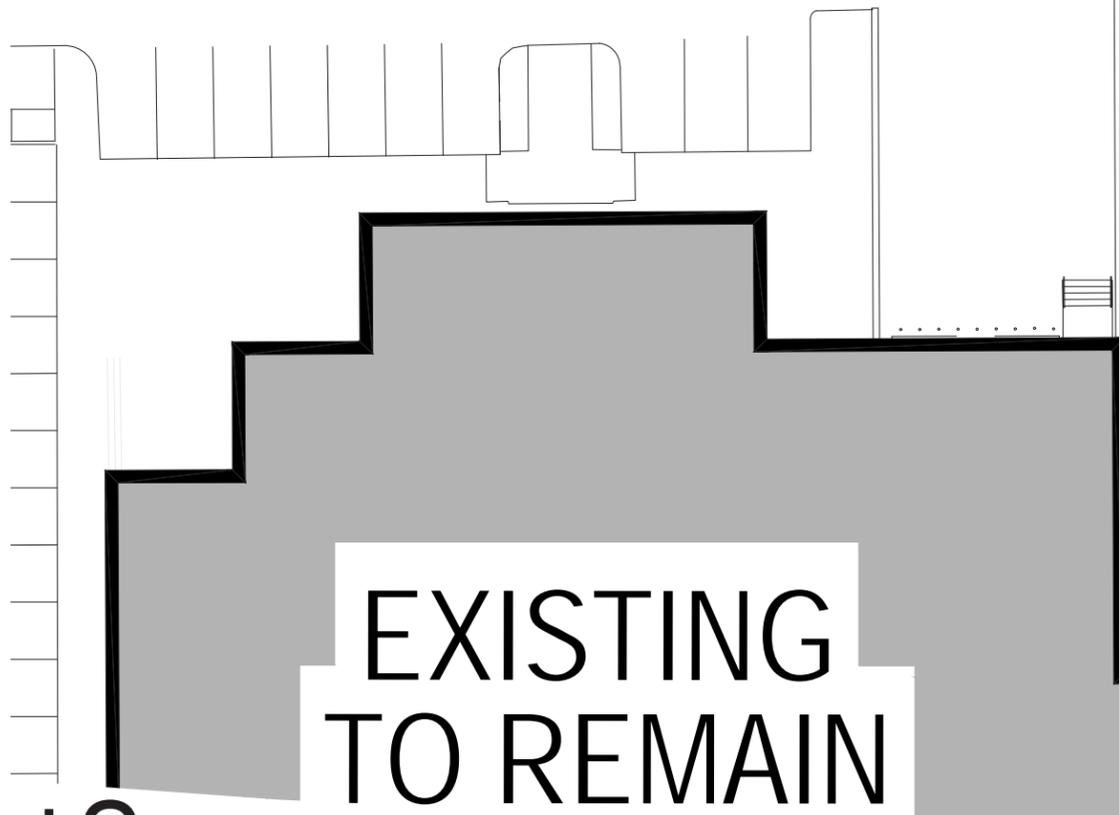
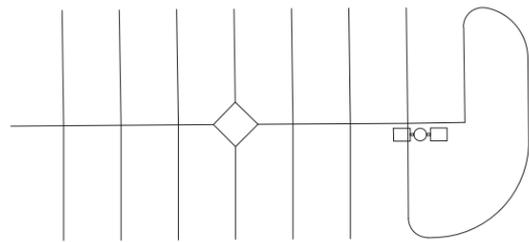
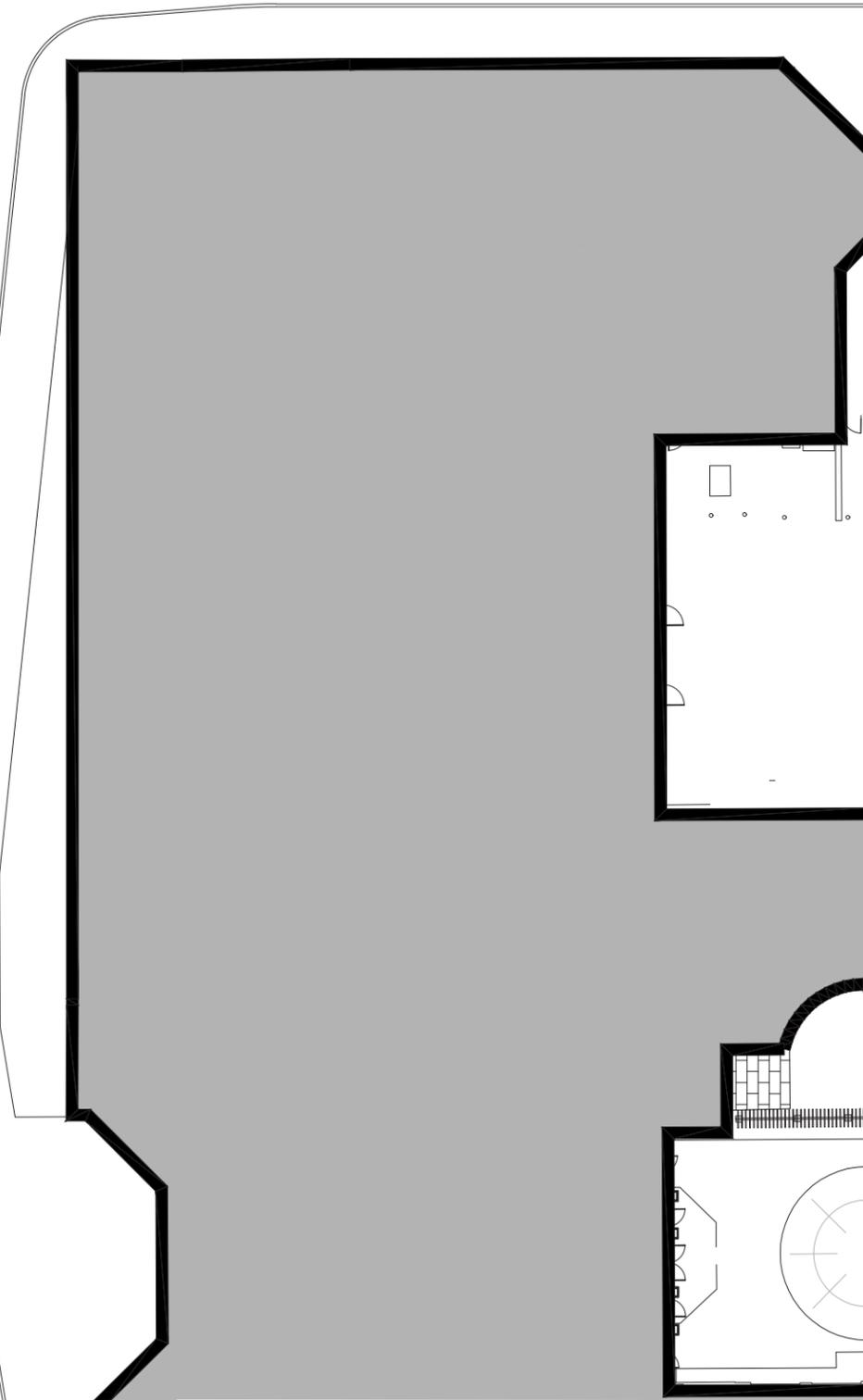
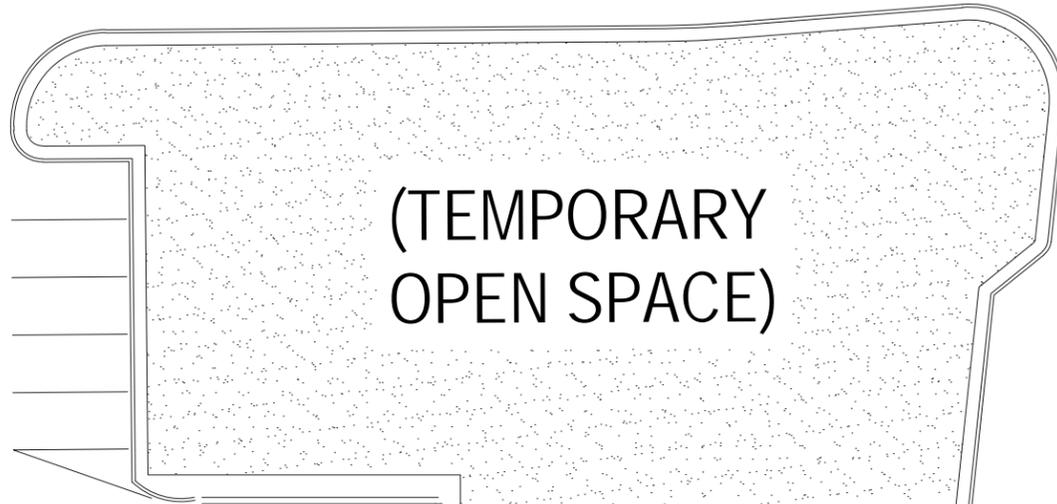
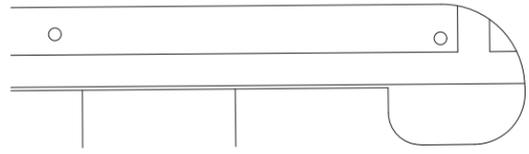
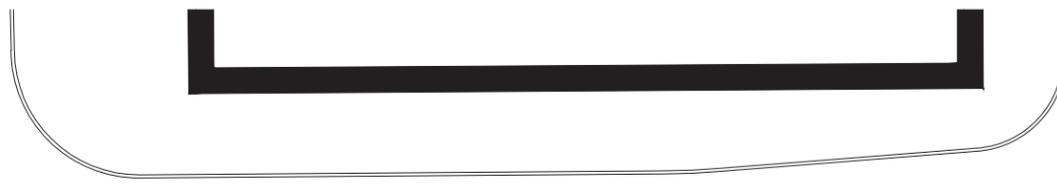
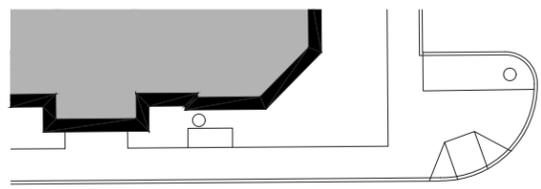




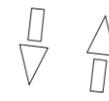
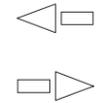
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- VEHICULAR CIRCULATION
- PEDESTRIAN ORIENTED STREET
- EXISTING CROSSWALK
- PROPOSED CROSSWALK
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING RECREATION ROUTE
- PROPOSED PEDESTRIAN BRIDGE PER 2011 WILSON BRIDGE CORRIDOR STUDY
- GARAGE VEHICULAR ACCESS POINTS





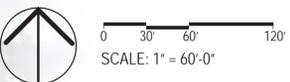
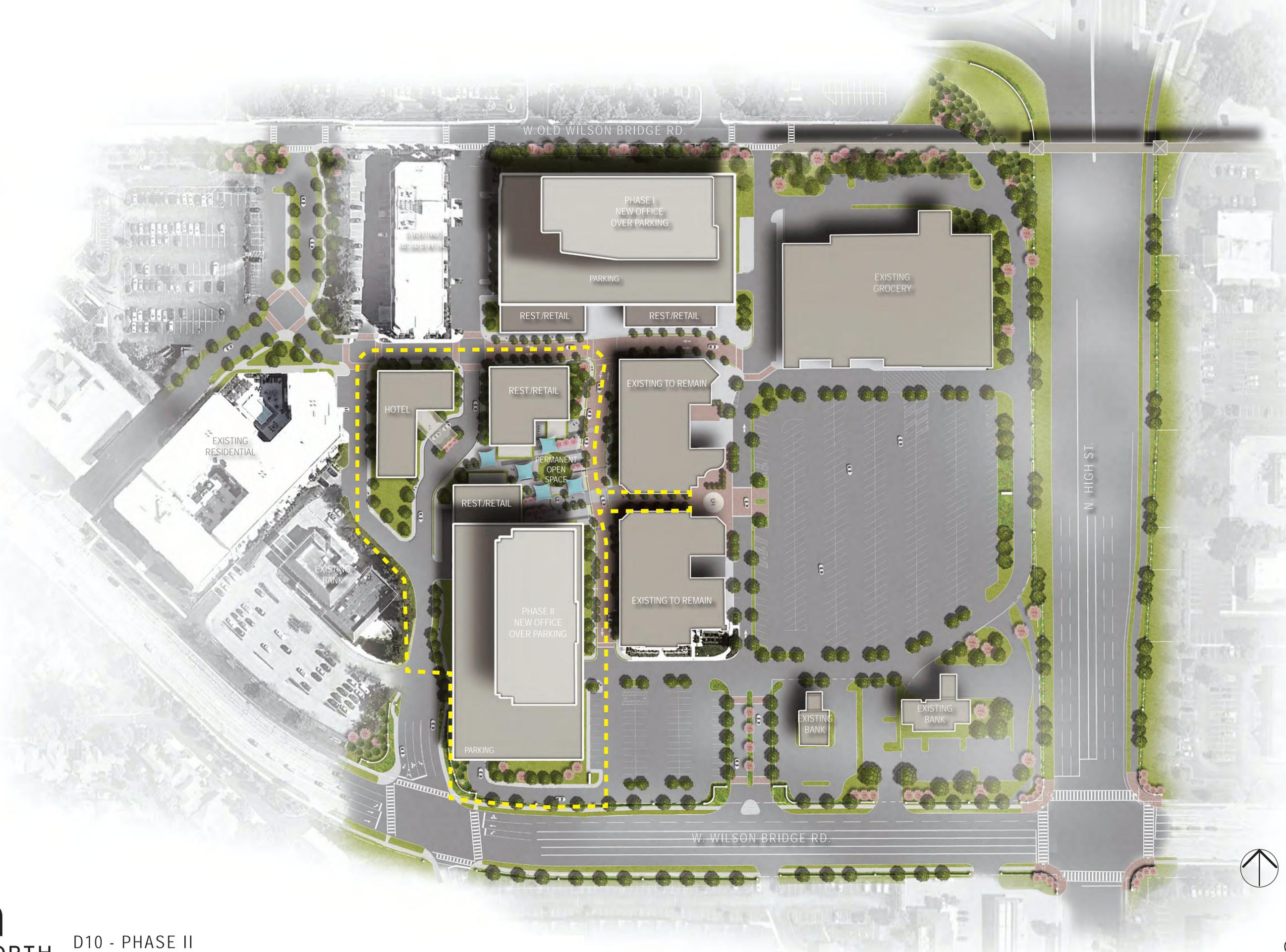
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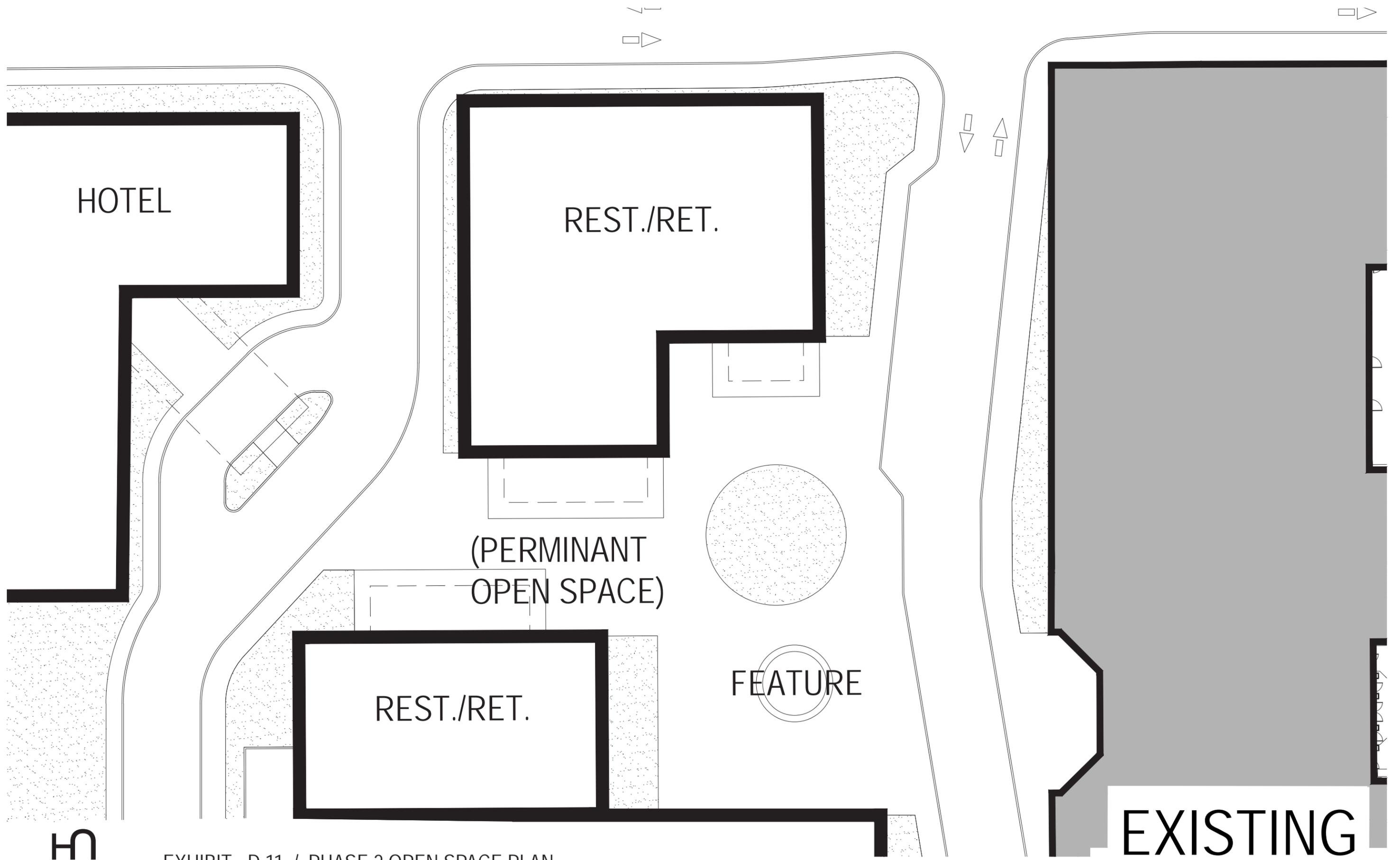


(TEMPORARY OPEN SPACE)

FEATURE

EXISTING TO REMAIN





RELOCATED CORPORATE HILL ROAD PER CITY OF WORTHINGTON

W. OLD WILSON BRIDGE RD.

MOUNDING & SCREENING

MONUMENT WALL

FUTURE PEDESTRIAN BRIDGE PER 2011 WILSON BRIDGE CORRIDOR STUDY

PHASE I NEW OFFICE OVER PARKING

EXISTING GROCERY

PARKING

REST./RETAIL

REST./RETAIL

TYPICAL HIGH STREET ENHANCEMENTS (BOTH SIDES)

HOTEL

REST./RETAIL

ACCENT PAVING, TYP.

PROPOSED PEDESTRIAN PASSAGE

UPDATED SIGNAGE

EXISTING RESIDENTIAL

PERMANENT OPEN SPACE

REST./RETAIL

EXISTING TO REMAIN

N. HIGH ST.

PHASE II NEW OFFICE OVER PARKING

PARKING

UPDATED SIGNAGE

EXISTING BANK

EXISTING BANK

ENHANCED PAVING & MONUMENTATION, TYP.

REALIGNED ENTRY DRIVE

MONUMENT WALLS & PROJECT IDENTIFICATION

TYPICAL WILSON BRIDGE ENHANCEMENTS (BOTH SIDES)

W. WILSON BRIDGE RD.

IMPROVED PROJECT ENTRY

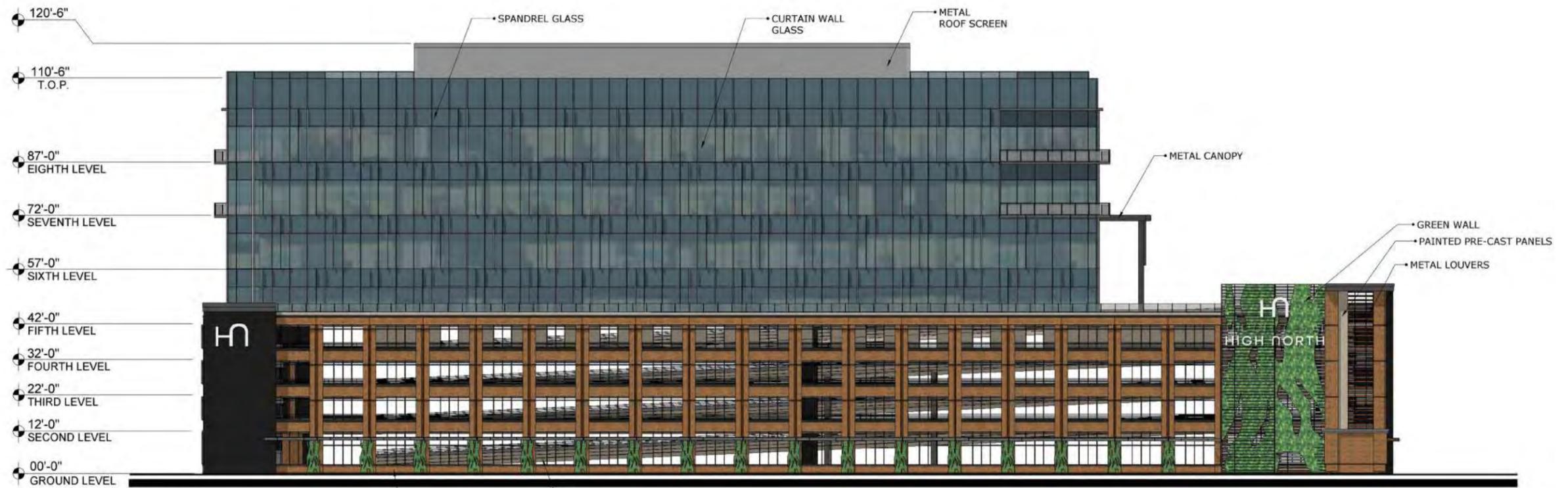
POSSIBLE COMMUNITY BULLETIN BOARD



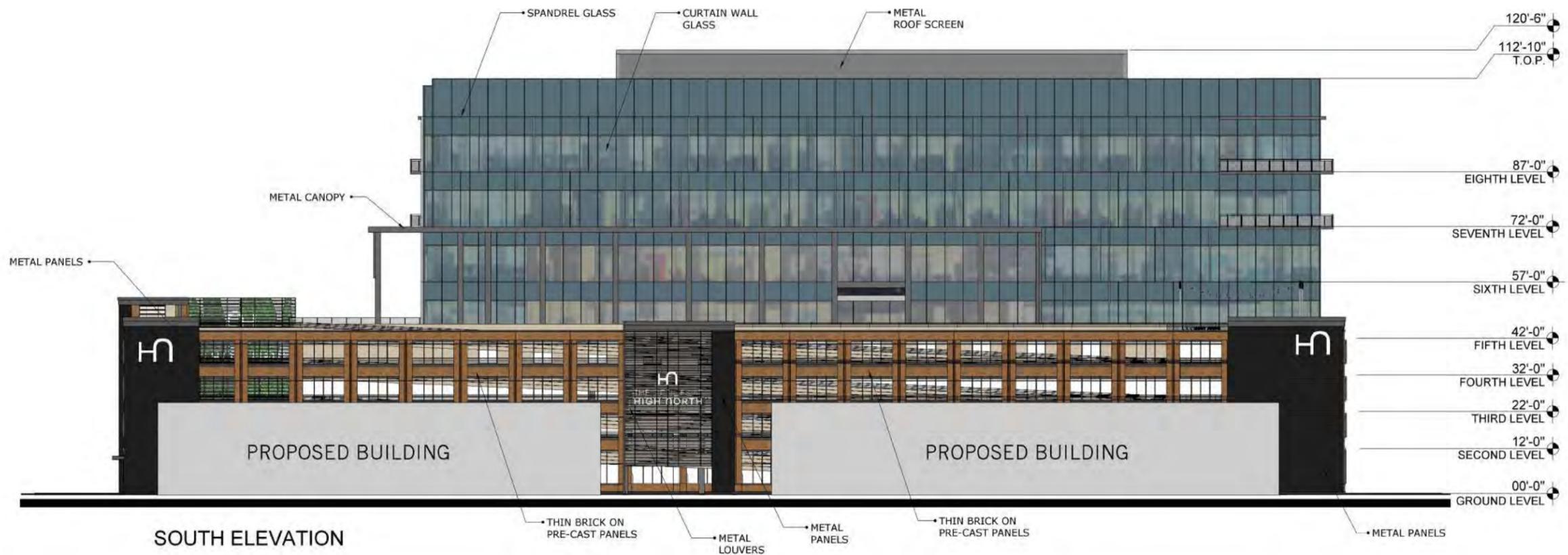
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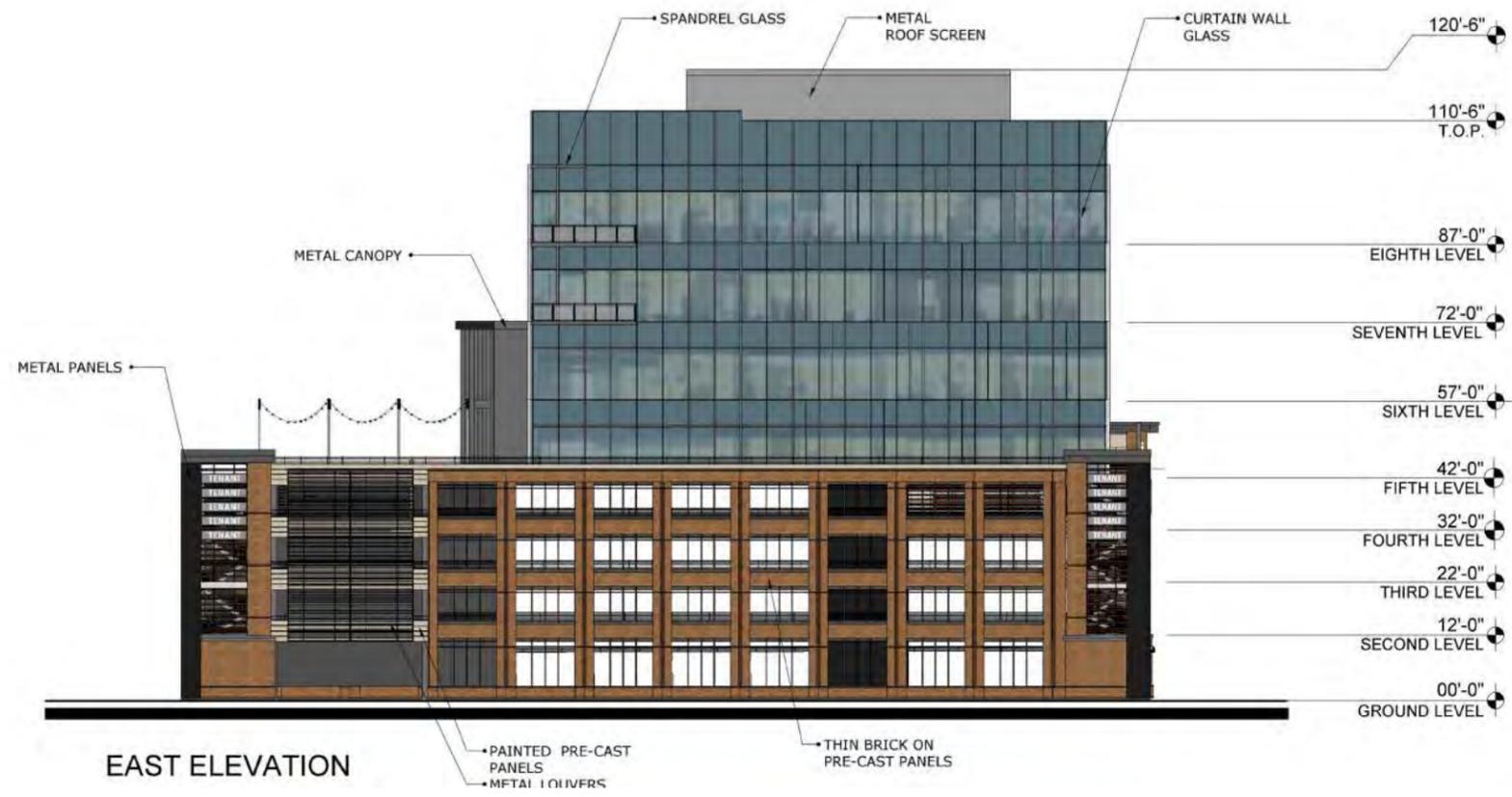
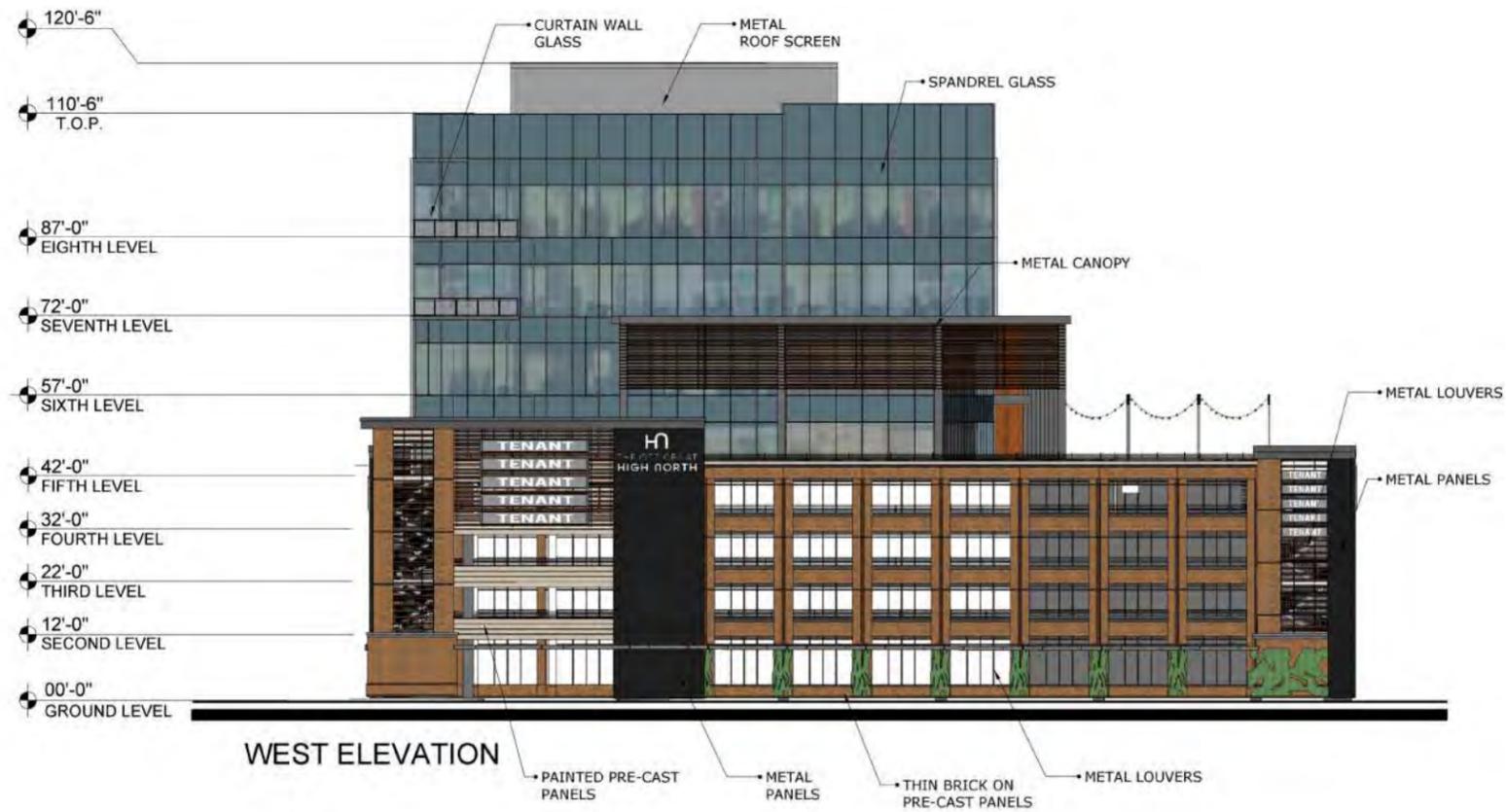
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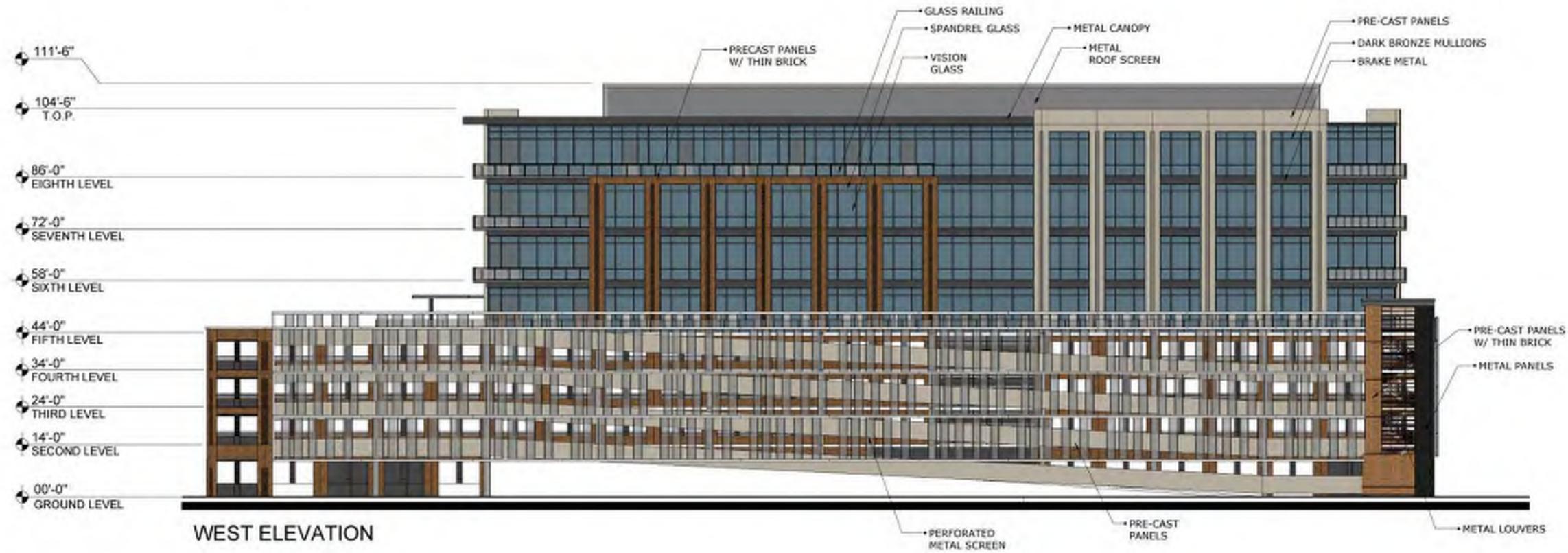
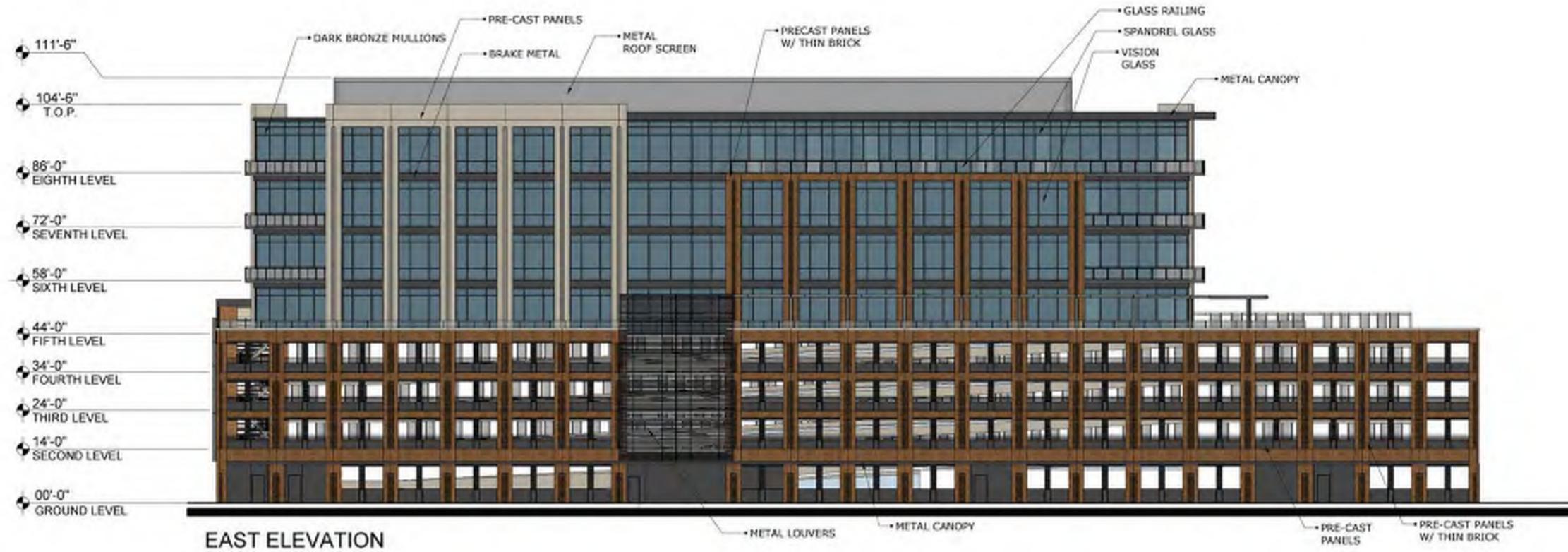


NORTH ELEVATION



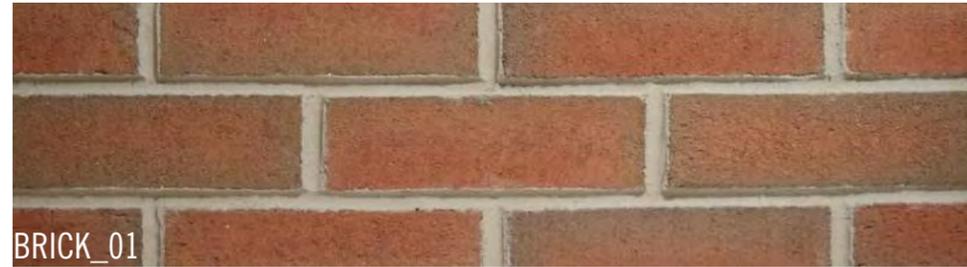
SOUTH ELEVATION



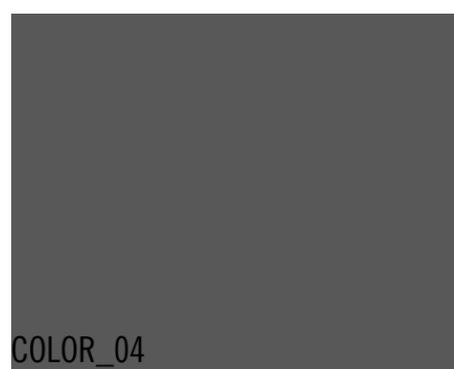
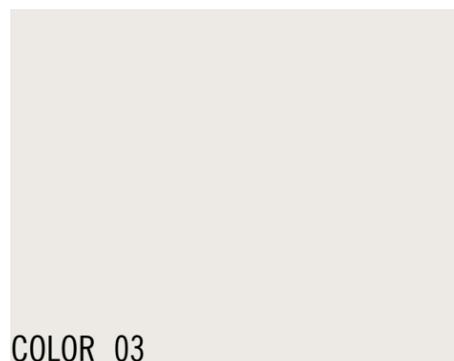




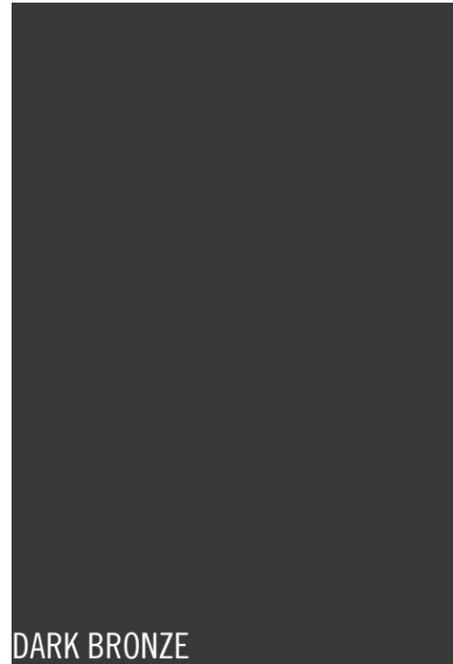
BRICK



PAINT COLORS



MULLIONS



Soffits



PRECAST PANELS



METAL PANELS







































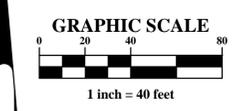
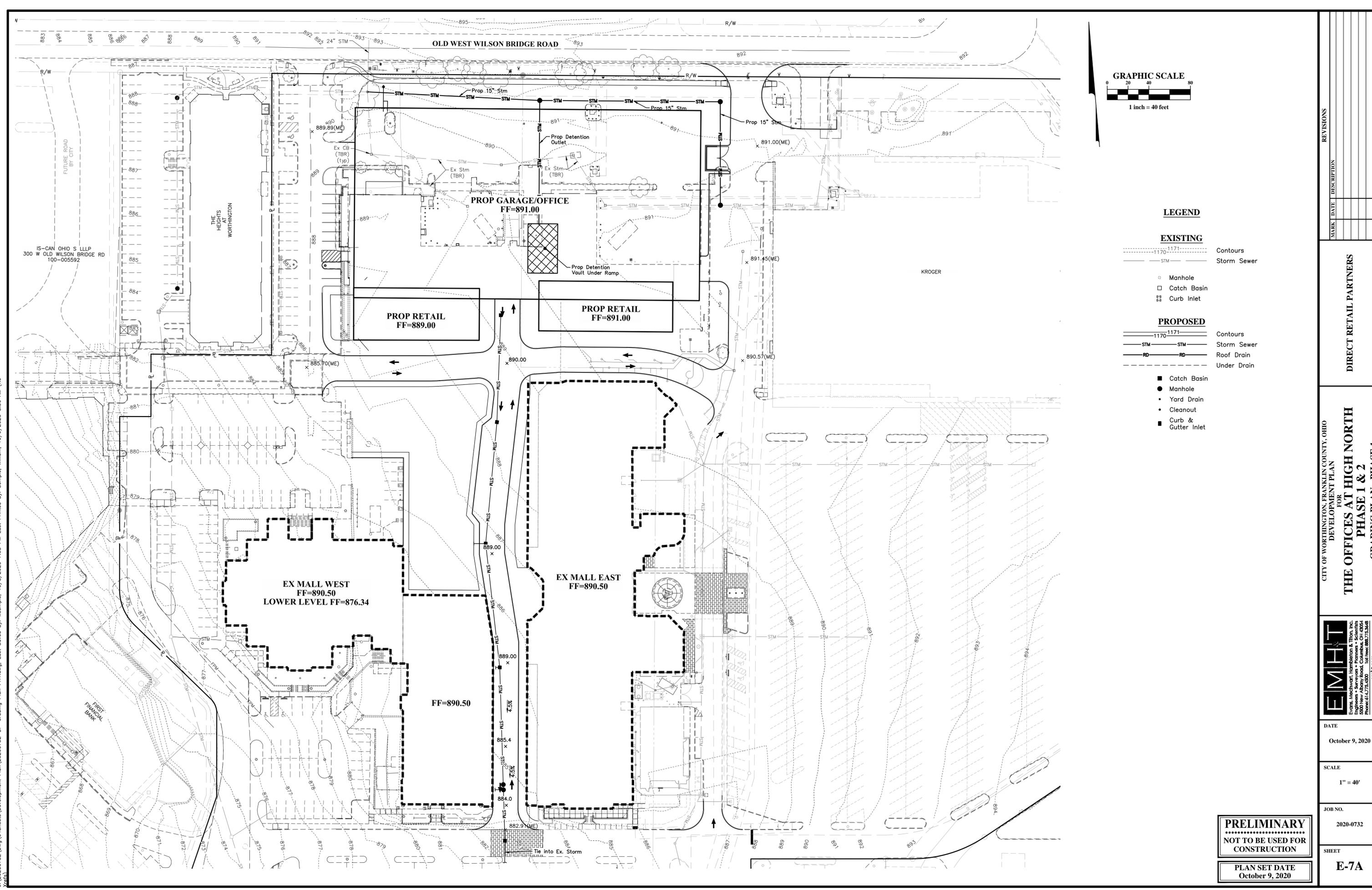




MONUMENT SIGN ENLARGEMENT



HIGH STREET ENHANCEMENTS



LEGEND

EXISTING

- - - - - 1170 - 1171 Contours
- - - - - STM Storm Sewer
- Manhole
- Catch Basin
- Curb Inlet

PROPOSED

- - - - - 1170 - 1171 Contours
- - - - - STM Storm Sewer
- - - - - RD Roof Drain
- - - - - Under Drain
- Catch Basin
- Manhole
- Yard Drain
- Cleanout
- Curb & Gutter Inlet

REVISIONS

MARK	DATE	DESCRIPTION

DIRECT RETAIL PARTNERS

CITY OF WORthingTON, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN
 FOR
THE OFFICES AT HIGH NORTH
PHASE 1 & 2
 GRADING PLAN - PHASE 1

EMHT
 Evans, Meechert, Henderson & Thon, Inc.
 5300 New Albany Road, Columbus, OH 43254
 Phone: 614.775.6500 Fax: 614.775.3448
 emht.com

DATE
 October 9, 2020

SCALE
 1" = 40'

JOB NO.
 2020-0732

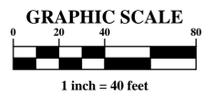
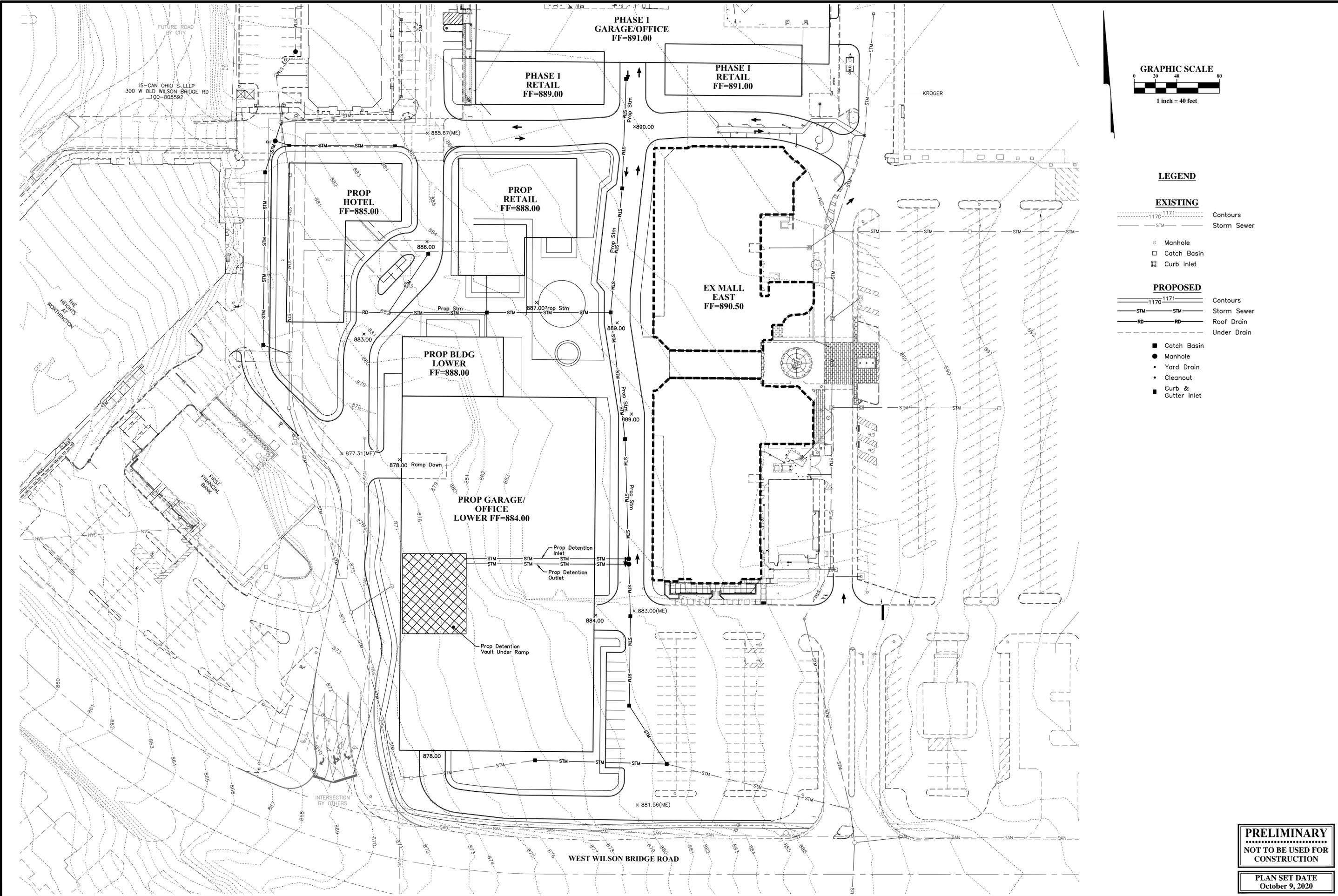
SHEET
E-7A

PRELIMINARY
 NOT TO BE USED FOR
 CONSTRUCTION

PLAN SET DATE
 October 9, 2020

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LEGEND

EXISTING

- - - - - 1170 - 1171 Contours
- - - - - STM Storm Sewer
- Manhole
- Catch Basin
- ▣ Curb Inlet

PROPOSED

- - - - - 1170 - 1171 Contours
- - - - - STM Storm Sewer
- - - - - RD Roof Drain
- - - - - Under Drain
- Catch Basin
- Manhole
- Yard Drain
- Cleanout
- Curb & Gutter Inlet

MARK	DATE	DESCRIPTION

DIRECT RETAIL PARTNERS

CITY OF WORthington, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN
 FOR
THE OFFICES AT HIGH NORTH
PHASE 1 & 2
 GRADING PLAN - PHASE 2



DATE
October 9, 2020

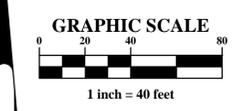
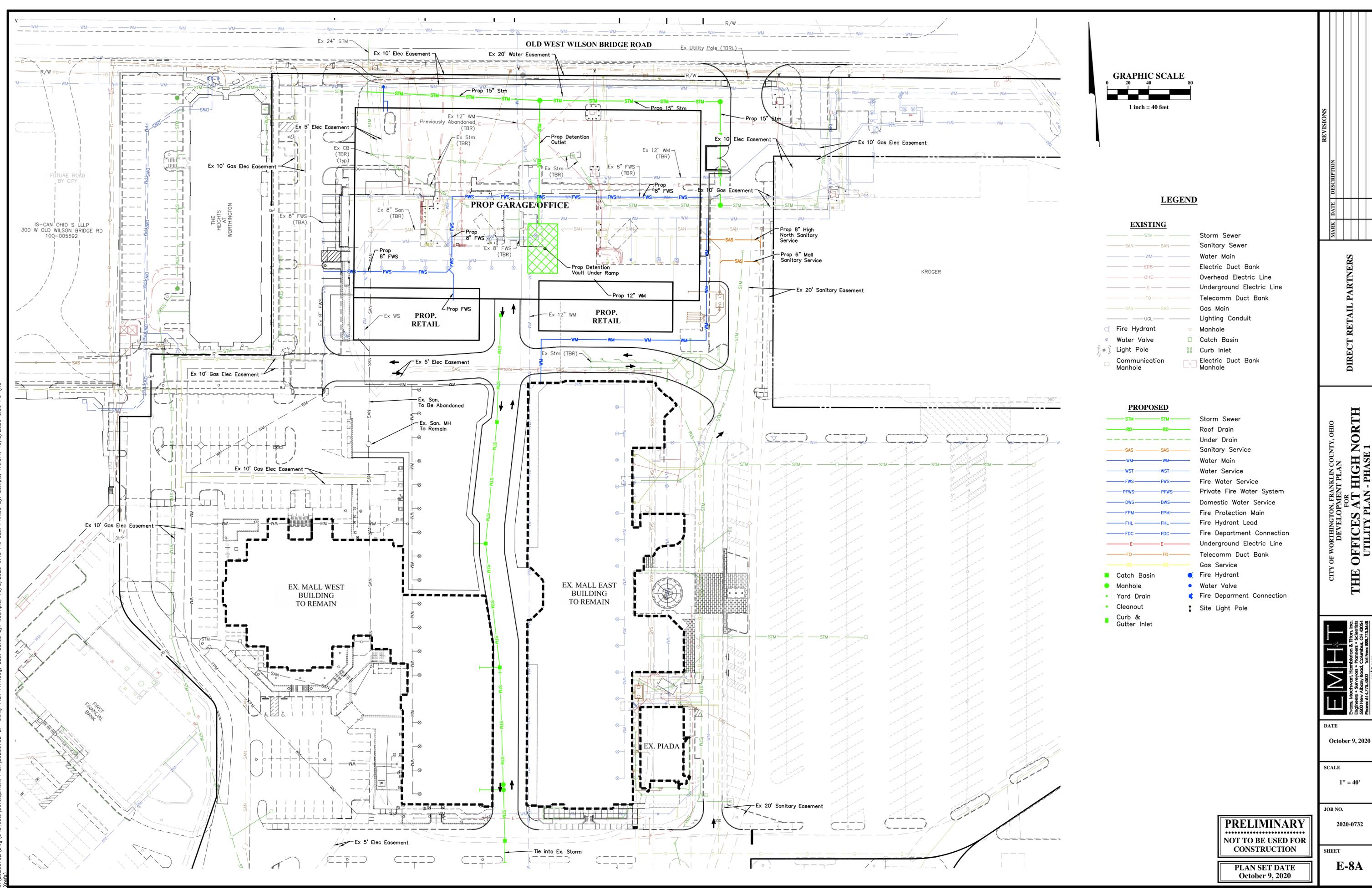
SCALE
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JOB NO.
2020-0732

SHEET
E-7B

PRELIMINARY
 NOT TO BE USED FOR
 CONSTRUCTION

PLAN SET DATE
October 9, 2020



LEGEND

- EXISTING**
- STM Storm Sewer
 - SAN Sanitary Sewer
 - WM Water Main
 - EDB Electric Duct Bank
 - OHE Overhead Electric Line
 - E Underground Electric Line
 - FO Telecomm Duct Bank
 - GAS Gas Main
 - UGL Lighting Conduit
 - Fire Hydrant
 - Water Valve
 - Light Pole
 - Communication Manhole
 - Manhole
 - Catch Basin
 - Curb Inlet
 - Electric Duct Bank Manhole
- PROPOSED**
- STM Storm Sewer
 - RD Roof Drain
 - UD Under Drain
 - SAS Sanitary Service
 - WM Water Main
 - WST Water Service
 - FWS Fire Water Service
 - PFWS Private Fire Water System
 - DWS Domestic Water Service
 - FPM Fire Protection Main
 - FHL Fire Hydrant Lead
 - FDC Fire Department Connection
 - E Underground Electric Line
 - FO Telecomm Duct Bank
 - GS Gas Service
 - Catch Basin
 - Manhole
 - Yard Drain
 - Cleanout
 - Curb & Gutter Inlet
 - Fire Hydrant
 - Water Valve
 - Fire Department Connection
 - Site Light Pole

REVISIONS

MARK	DATE	DESCRIPTION

DIRECT RETAIL PARTNERS

CITY OF WORthington, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN
 FOR
THE OFFICES AT HIGH NORTH
 UTILITY PLAN - PHASE 1

EMHT
 Evans, Meecham, Henselwood & Thon, Inc.
 5300 New Albany Road, Columbus, OH 43254
 Phone: 614.775.6500 Fax: 614.775.3448
 emht.com

DATE
 October 9, 2020

SCALE
 1" = 40'

JOB NO.
 2020-0732

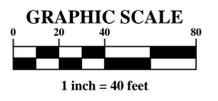
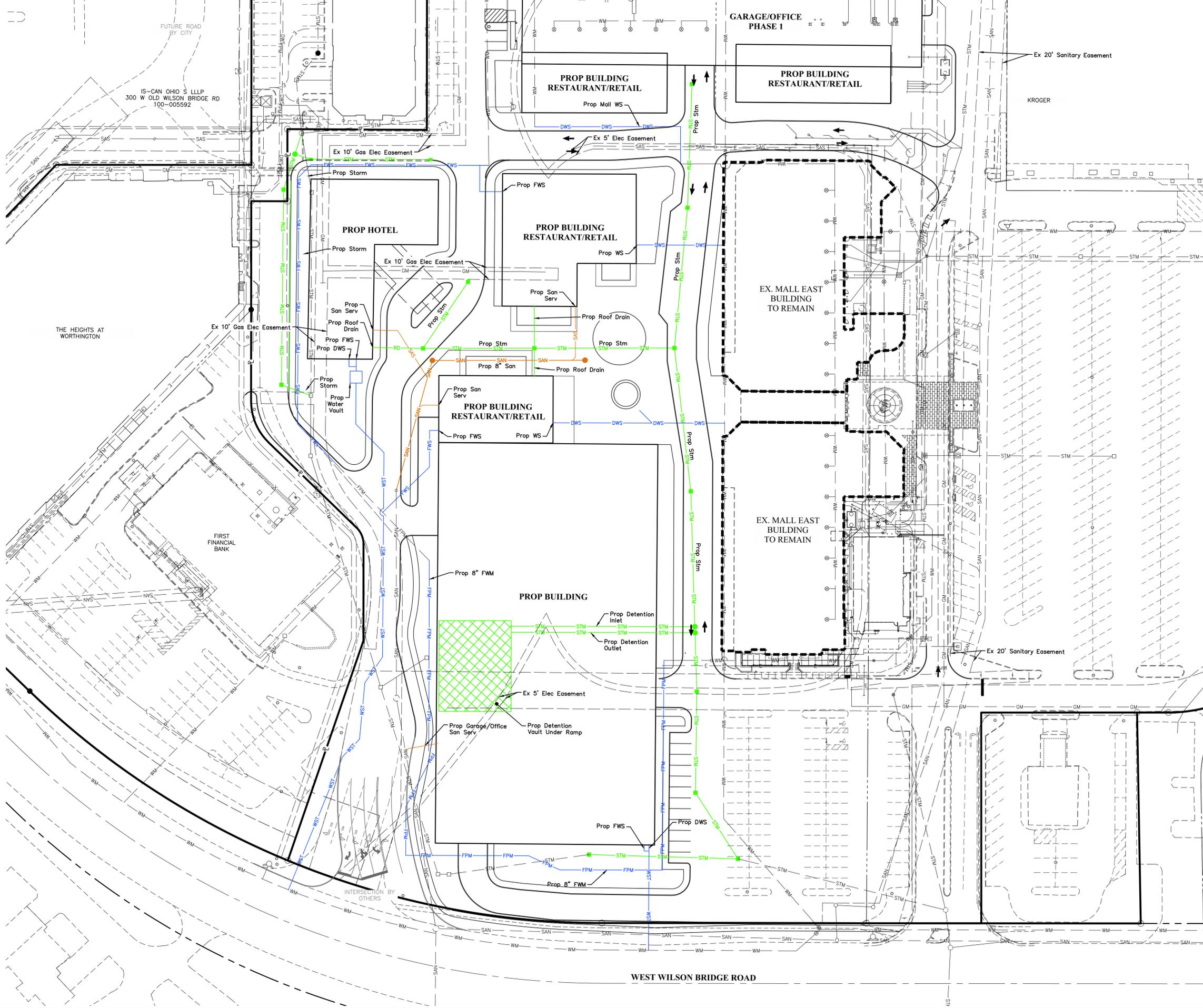
SHEET
E-8A

PRELIMINARY
 NOT TO BE USED FOR
 CONSTRUCTION

PLAN SET DATE
 October 9, 2020

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LEGEND

EXISTING	
STM	Storm Sewer
SAN	Sanitary Sewer
WM	Water Main
EDB	Electric Duct Bank
OHE	Overhead Electric Line
FO	Telecomm Duct Bank
GAS	Gas Main
UGL	Lighting Conduit
Fire Hydrant	Manhole
Water Valve	Catch Basin
Light Pole	Curb Inlet
Communication Manhole	Electric Duct Bank Manhole
PROPOSED	
STM	Storm Sewer
RD	Roof Drain
UD	Under Drain
SAS	Sanitary Service
WM	Water Main
WST	Water Service
FWS	Fire Water Service
PFWS	Private Fire Water System
DWS	Domestic Water Service
FWS	Fire Protection Main
FHL	Fire Hydrant Lead
FDC	Fire Department Connection
E	Underground Electric Line
FO	Telecomm Duct Bank
GS	Gas Service
Catch Basin	Fire Hydrant
Manhole	Water Valve
Yard Drain	Fire Department Connection
Cleanout	Site Light Pole
Curb & Gutter Inlet	

REVISIONS

MARK	DATE	DESCRIPTION

DIRECT RETAIL PARTNERS

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN
 FOR
THE OFFICES AT HIGH NORTH
 UTILITY PLAN - PHASE 2

EMHT
 Evans, McEwen, Henshaw & Trice, Inc.
 5300 New Albany Road, Columbus, OH 43254
 Phone: 614.775.6500 Fax: 614.775.3448
 emht.com

DATE
 October 9, 2020

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JOB NO.
 2020-0732

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PLAN SET DATE
 October 9, 2020

High North: ULI Shared Parking Analysis

Phase 1							
	Quantity	Unit	ULI Peak	ULI	ULI Reduction Factors		Adjusted Parking Requirement
			Ratio/ ksf GLA	Required Spaces	Driving Adjustments*	Non-Captive Adjustments	
Existing Buildings to Remain							
Retail	52,026	SF	4	209	87%	90%	164
Restaurant	14,881	SF	17.75	265	87%	90%	208
Medical/Dental Office	10,052	SF	4.6	47	95%	99%	45
Grocery	57,644	SF	4.75	274	83%	98%	223
Proposed							
Retail	5,800	SF	4	24	87%	90%	19
Restaurant	5,800	SF	17.75	103	87%	90%	81
Office	128,510	SF	3.36	432	89%	100%	385
Total Required=				1,354	Total Adjusted Req'd=		1,125
Parking Provided							
Existing Parking=							790
Existing Parking to be removed w/ Ph1=							123
Existing Parking to Remain=							667
Proposed Surface Parking=							10
Proposed Parking in Garage=							643
Phase 1 Total Parking Provided=							1,320
Phase 2							
	Quantity	Unit	ULI Peak	ULI	ULI Reduction Factors		Adjusted Parking Requirement
			Ratio/ ksf GLA	Required Spaces	Driving Adjustments*	Non-Captive Adjustments	
Existing Buildings to Remain							
Retail	29,118	SF	4	117	87%	90%	92
Restaurant	14,881	SF	17.75	265	87%	90%	208
Grocery	57,644	SF	4.75	274	83%	98%	223
Office	128,510	SF	3.21	413	88%	100%	364
Proposed							
Office	100,000	SF	3.21	321	88%	100%	283
Retail	7,750	SF	4	31	87%	90%	25
Resteraunt	7,750	SF	17.75	138	87%	90%	109
1 Bedroom Apartments**	70	Units	1.05/unit	74	100%	100%	74
2 Bedroom Apartments**	30	Units	1.8/unit	54	100%	100%	54
Total Required=				1,687	Total Adjusted Req'd=		1,432
Parking Provided							
Existing Parking=							1,320
Existing Parking to be removed w/ Ph2=							177
Existing Parking to Remain=							1,143
Proposed Surface Parking=							12
Proposed Parking in Garage=							482
Phase 2 Total Parking Provided=							1,637

Driving Adjustment is used to adjust the base parking ratios for transportation characteristics. The base parking ratios reflect the density of persons present in the land use and assume that nearly all users arrive by private automobile with typical auto occupancy for the specific use.¹ The driving adjustment reflects a portion of the persons carpooling, walking, working from home, utilizing a taxi or ride share, motorcycle, or bicycle.

Non-Captive Ratio is an estimate of the percentage of parkers at a land use in a mixed-use development who are not already counted as parking at another of the land uses. For example, when employees of one land use visit a nearby food court or coffee store, additional parking demand is not usually generated.¹

*** Driving Adjustments**

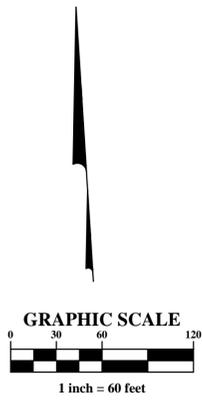
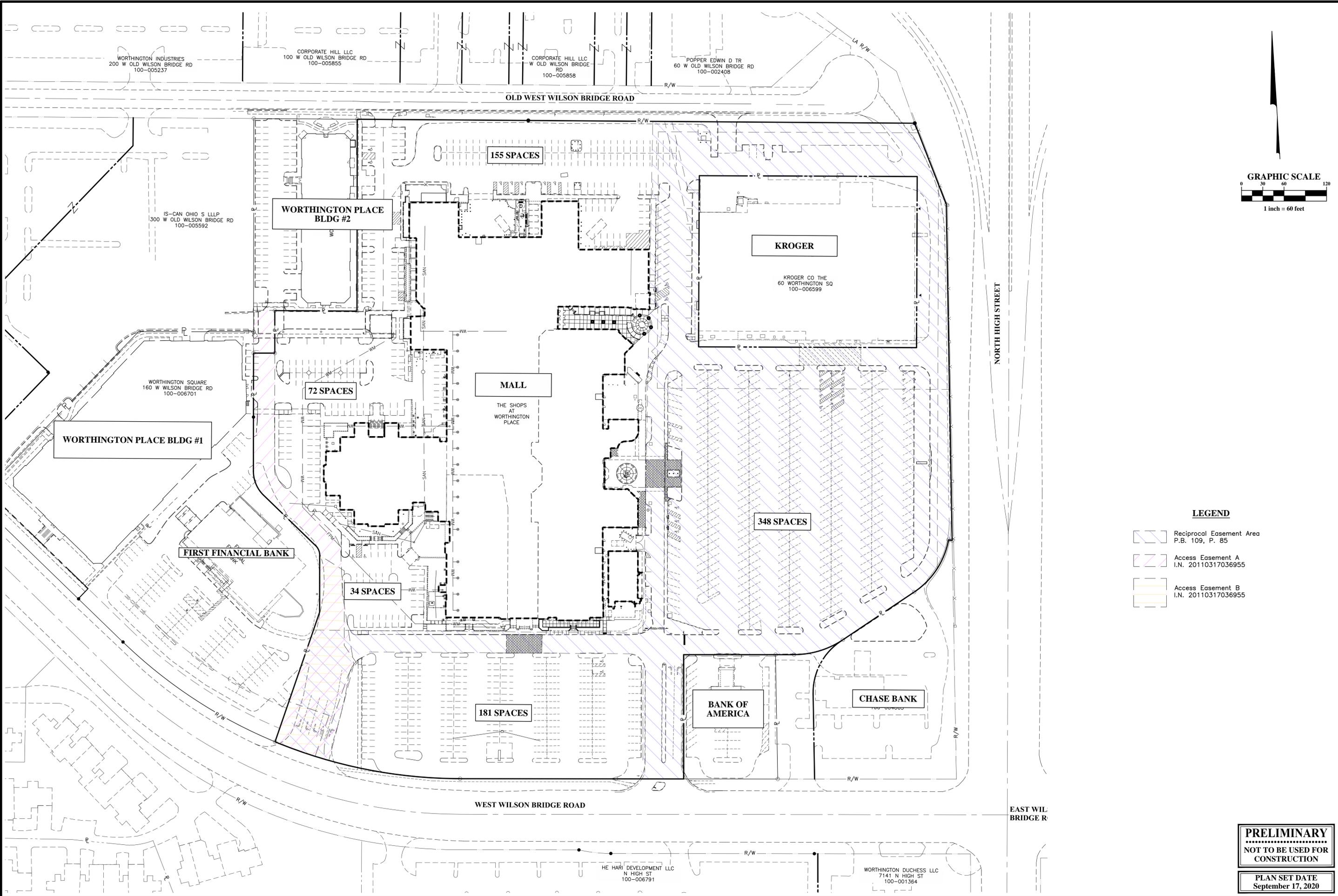
Office Driving Adjustment: Carpool (1%), Walked (3%), Worked at Home (6%), and Other (2%)
 Retail/Resteraunt Adjustment: Carpool (10%), Walked (1%), and Other (2%)
 Grocery Driving Adjustment: Carpool (15%) and Other (2%)
 Other: Taxi, ride sharing, motorcycle, and bicycle.

**There is potential for the hotel to be developed as apartments. The apartements would require more parking over the hotel, and have been included in this analysis as a conservative assumption.

Note: This parking analysis excludes the Heights at Worthington Apartments, First Financial Bank, Bank of America, or Chase Bank. It is assumed those sites are self-sufficient for parking.

1: Mary S. Smith, PE, Urban Land Institute Shared Parking: Third Edition. (2020)

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LEGEND

- Reciprocal Easement Area
P.B. 109, P. 85
- Access Easement A
I.N. 20110317036955
- Access Easement B
I.N. 20110317036955

PRELIMINARY

**NOT TO BE USED FOR
 CONSTRUCTION**

PLAN SET DATE
 September 17, 2020

MARK	DATE	DESCRIPTION

DIRECT RETAIL PARTNERS

THE OFFICES AT HIGH NORTH
 FOR
 DEVELOPMENT PLAN
EXISTING PARKING DEMAND



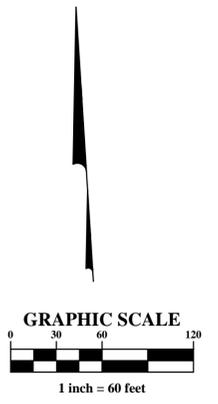
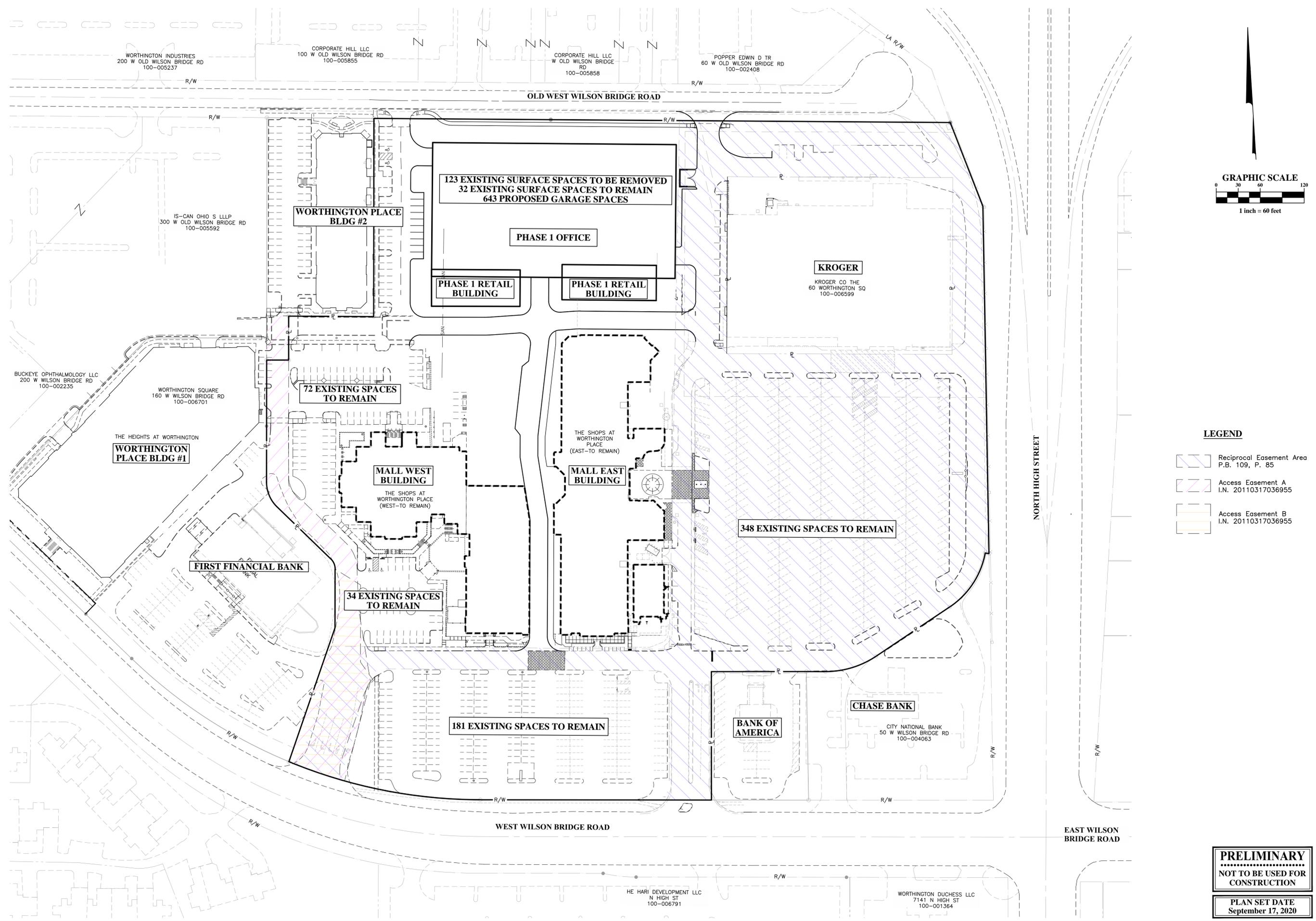
DATE
September 17, 2020

SCALE
1" = 60'

JOB NO.
2020-0732

SHEET
E-10A

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- LEGEND**
- Reciprocal Easement Area
P.B. 109, P. 85
 - Access Easement A
I.N. 20110317036955
 - Access Easement B
I.N. 20110317036955

MARK	DATE	DESCRIPTION

DIRECT RETAIL PARTNERS
 KROGER
 CHASE BANK
 BANK OF AMERICA
 FIRST FINANCIAL BANK

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN
 FOR
THE OFFICES AT HIGH NORTH
 PHASE I PARKING DEMAND

DATE
September 17, 2020

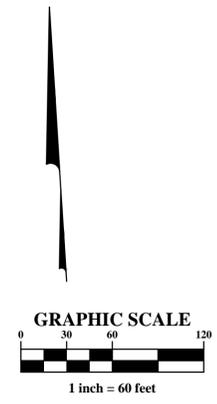
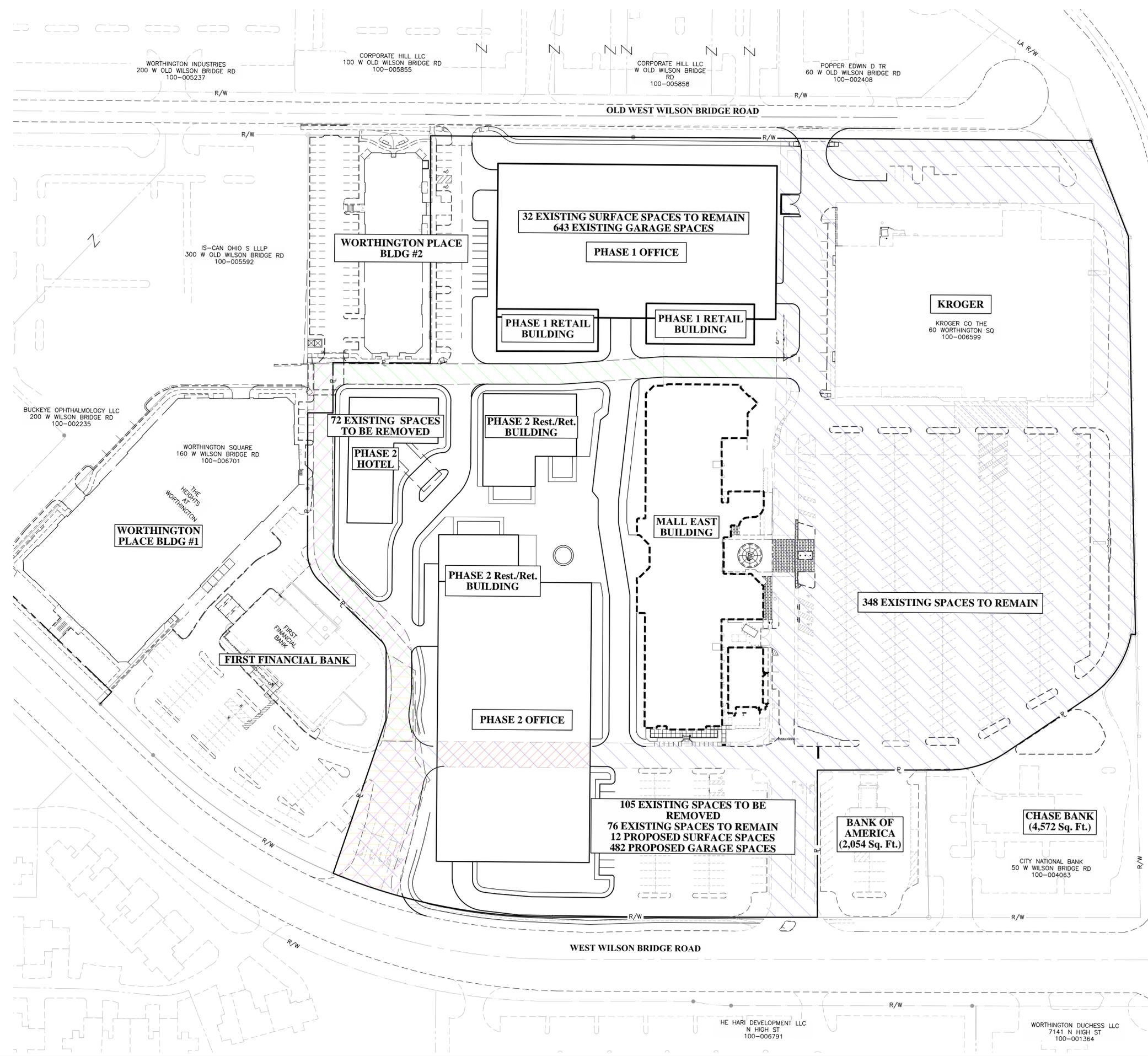
SCALE
1" = 60'

JOB NO.
2020-0732

SHEET
E-10B

PRELIMINARY
 NOT TO BE USED FOR
 CONSTRUCTION
 PLAN SET DATE
 September 17, 2020

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- LEGEND**
- Reciprocal Easement Area
P.B. 109, P. 85
 - Reciprocal Easement Area To Be Vacated
 - Prop Reciprocal Easement Area
 - Access Easement A
I.N. 20110317036955
 - Access Easement B
I.N. 20110317036955

MARK	DATE	DESCRIPTION

DIRECT RETAIL PARTNERS
 THE OFFICES AT HIGH NORTH
 PHASE 2 PARKING DEMAND

CITY OF WORTHINGTON, FRANKLIN COUNTY, OHIO
 DEVELOPMENT PLAN
 FOR
THE OFFICES AT HIGH NORTH
 PHASE 2 PARKING DEMAND



DATE
September 17, 2020

SCALE
1" = 60'

JOB NO.
2020-0732

SHEET
E-10C

PRELIMINARY
 NOT TO BE USED FOR
 CONSTRUCTION
 PLAN SET DATE
 September 17, 2020

HN

THE OFFICES AT
HIGH NORTH

WORTHINGTON, OH

E-12 SIGNAGE PACKAGE

Draft 09.23.2020



OBRIEN

TENANT SIGNAGE CRITERIA

I. PURPOSE

The purpose and intent of this Tenant Signage Criteria is to create a graphic environment that is individual and distinctive in identity for the Tenant and also compatible with other signs within the project. The total concept should give an impression of creativity, quality, professionalism, and instill a good business image. Lettering shall be well-proportioned and its design, spacing and legibility shall be a major criterion for approval.

The following specifications are to be used for the design of your sign; however, in all cases, final written approval must be obtained from the Landlord prior to submitting the design to the applicable governmental entity having jurisdiction over the project, manufacturing the signage, or installing of any signage. Landlord shall make all final and controlling determinations concerning any questions of interpretations of this sign policy.

NOTICE: Written approval and conformance with these specifications does not imply conformance with local City and County sign ordinances. Please have your sign company check with local authorities to avoid non-compliance with local codes.

II. TYPES OF SIGNS

A. Building Wall Signs

This sign(s) shall be located on the office building facades. Must be flat against the wall and projecting no more than 14 inches from the face of the wall. Must be within the allowable signage location for each tenant. See elevations for allowable sign locations.*

Guidelines:

- Tenants occupying 25,001 RSF or greater are eligible for Building Wall Signs
- 1 sign allowed per occupant per primary and secondary facade.
- Reverse channel letters with dark cloud backer panel.
- Cloud backer plate and letters must not project more than 14 inches from face of the wall
- The backer plate may extend no more than 3" beyond the letter.
- Individual dimensional letters: Color: monochromatic, stainless steel.
- 36" max, individual dimensional letters. 36" max, logo only. 42" max, if letters are stacked.

III. ELEVATIONS

Allowable sign location area on elevations below. Final design to be approved by Landlord. Any deviation from these standards should be approved by Landlord.

* Exhibits are for graphic representation only. All final designs must be approved by landlord.

IV. TYPICAL BUILDING WALL DETAILS

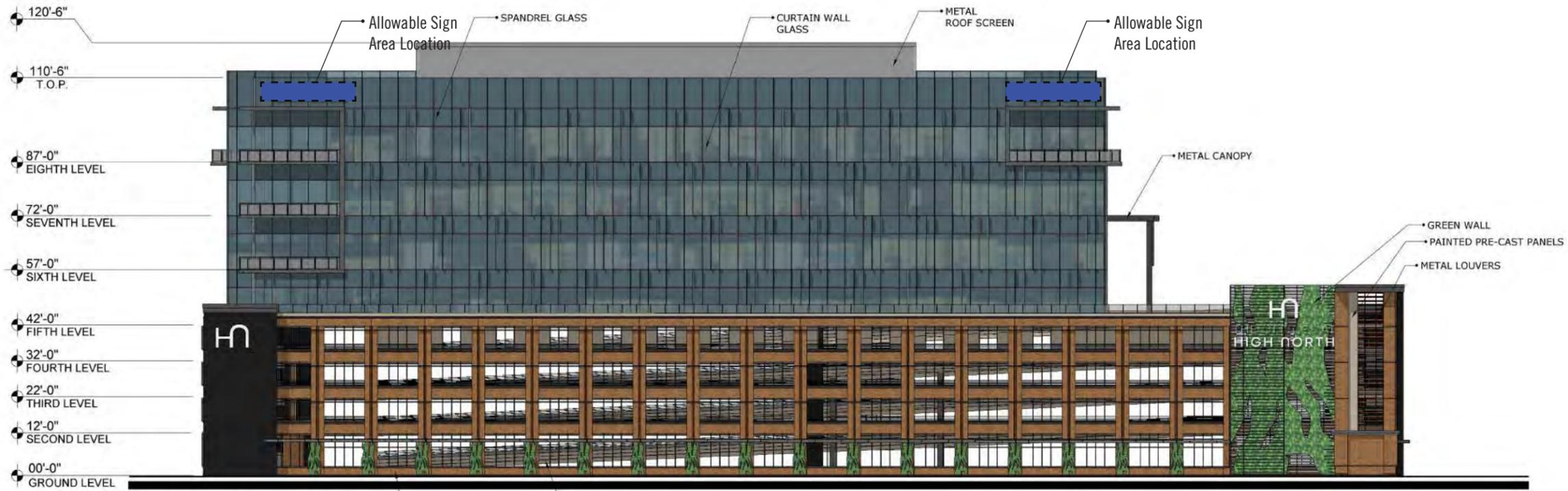


SIDE VIEW OF TENANT SIGNAGE

FRONT VIEW OF TENANT SIGNAGE



PARTIAL NORTH ELEVATION



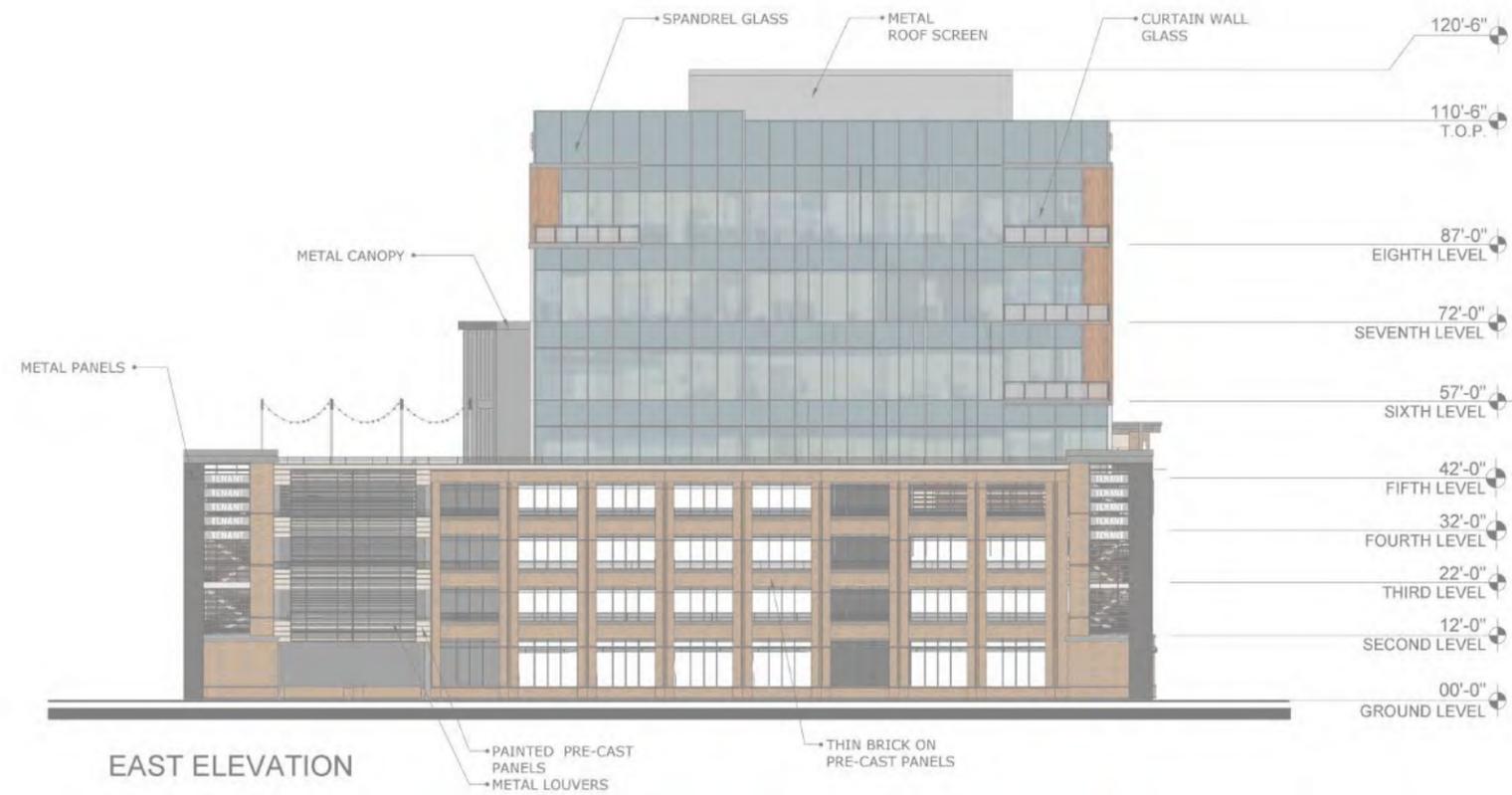
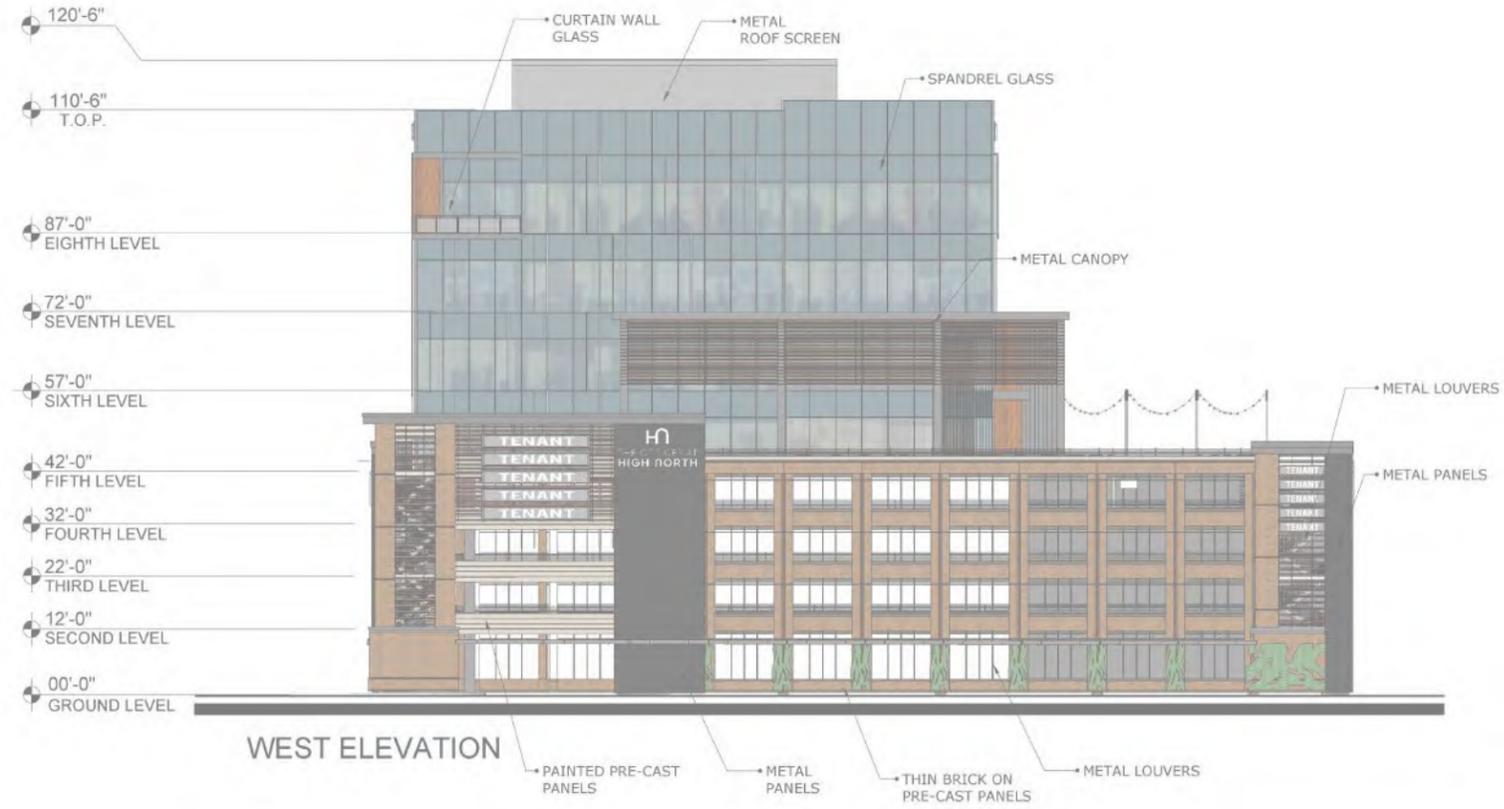
NORTH ELEVATION

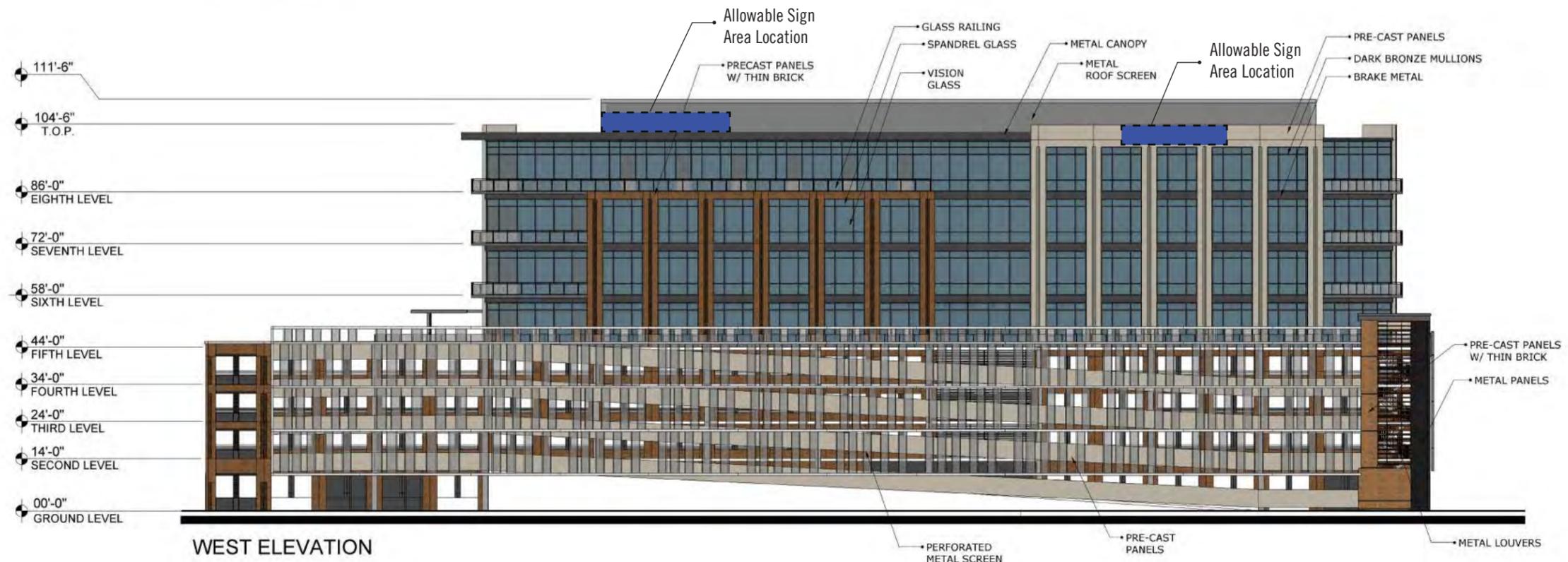
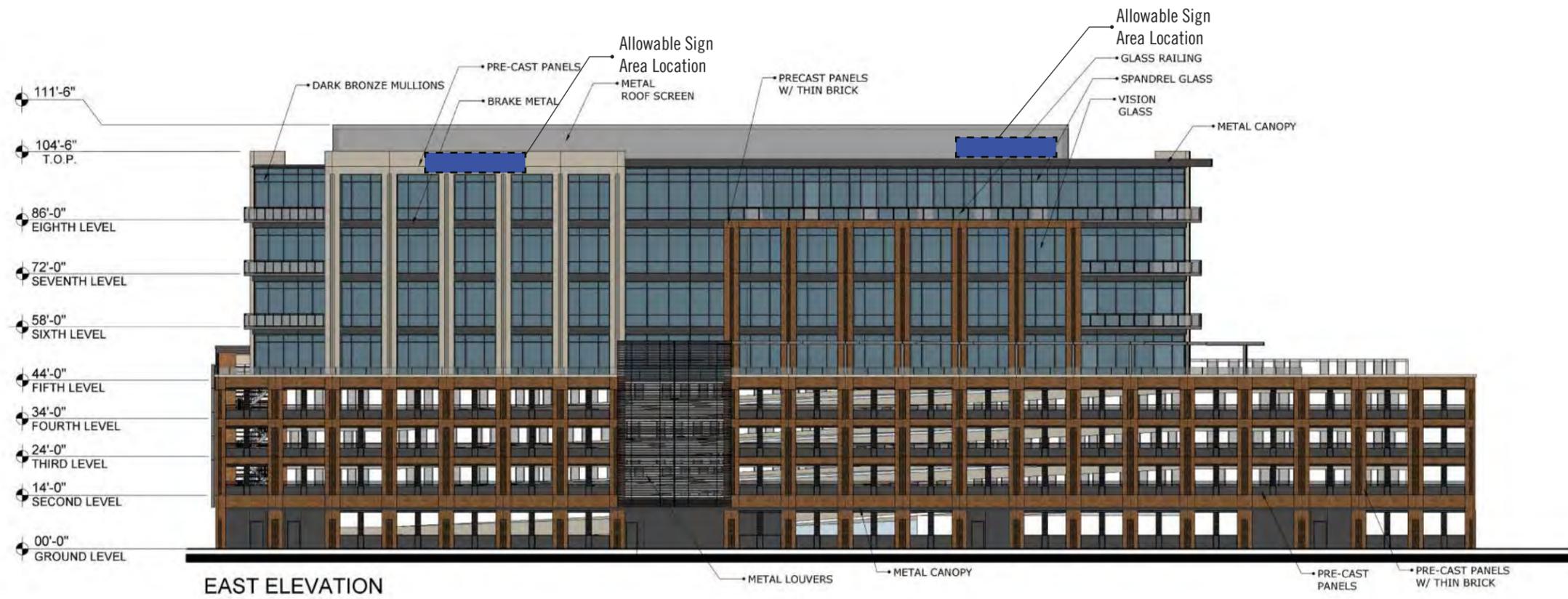


SOUTH ELEVATION

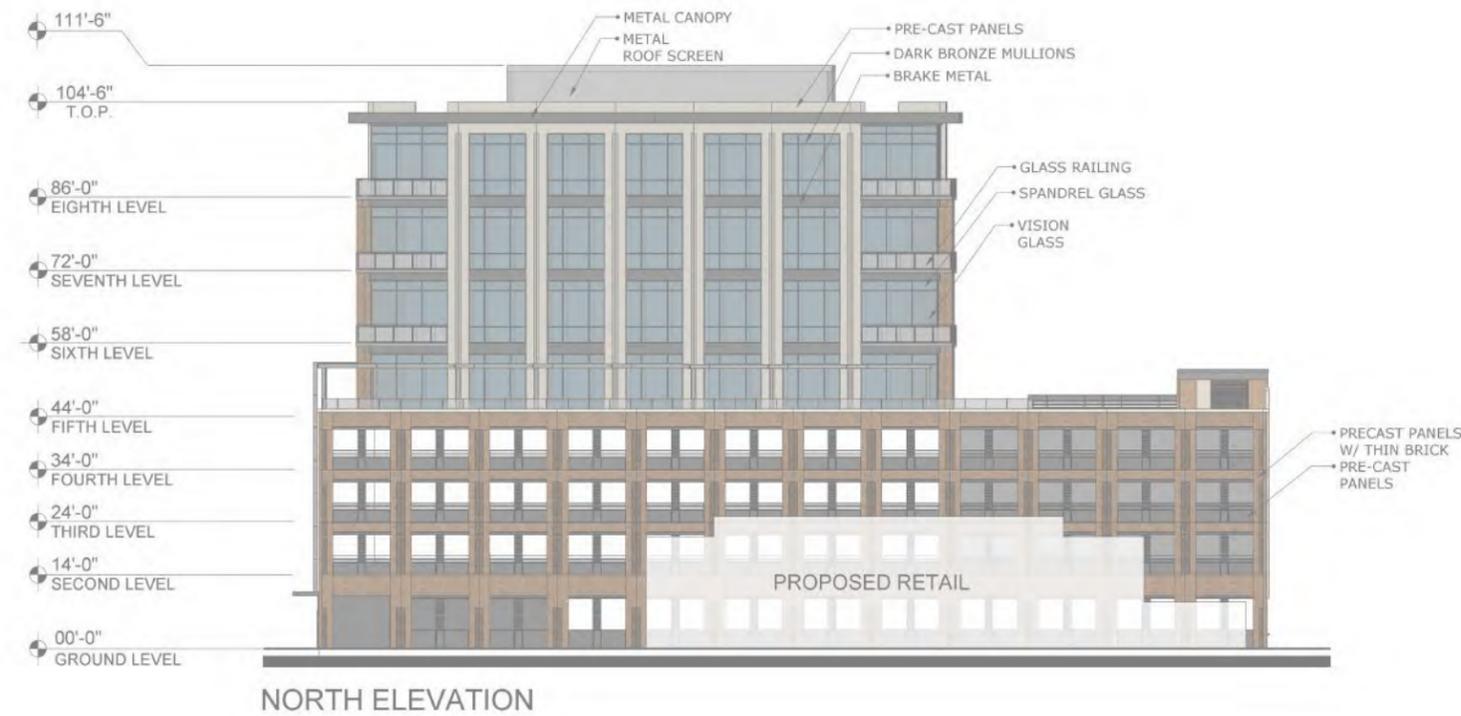
PHASE 1 OFFICE BUILDING

***NO SIGNAGE ALLOWED ON THE FOLLOWING ELEVATIONS**





***NO SIGNAGE ALLOWED ON THE FOLLOWING ELEVATIONS**





The Shops at
WORTHINGTON PLACE



RETAIL DESIGN STANDARDS

Originated May 8, 2012
Incorporated Into High North 2020

Exhibit E-13

TABLE OF CONTENTS

EXTERIOR STOREFRONT DESIGN CRITERIA	PG. 3
EXTERIOR SIGNAGE DESIGN CRITERIA	PG. 4
FACADE SIGNAGE	PG. 5
FACADE MOUNTED BLADE SIGN	PG. 6
UNDER CANOPY BLADE SIGN	PG. 6
CANOPY TOP SIGNAGE	PG. 7
ROOF / PARAPET SIGNAGE	PG. 7
EXTERIOR AWNING DESIGN CRITERIA	PG. 8

EXTERIOR STOREFRONT DESIGN CRITERIA

Tenants are required to provide a storefront system within the entire storefront opening, from neutral pier to neutral pier.

Tenants should provide all storefronts with 4" high minimum base finished in a durable material.

Materials and elements should include

- painted or anodized aluminum
- painted steel
- chrome
- fine woods
- stone
- brick
- tile
- fixed glass panels, which can be divided into smaller panels through the use of mullions.

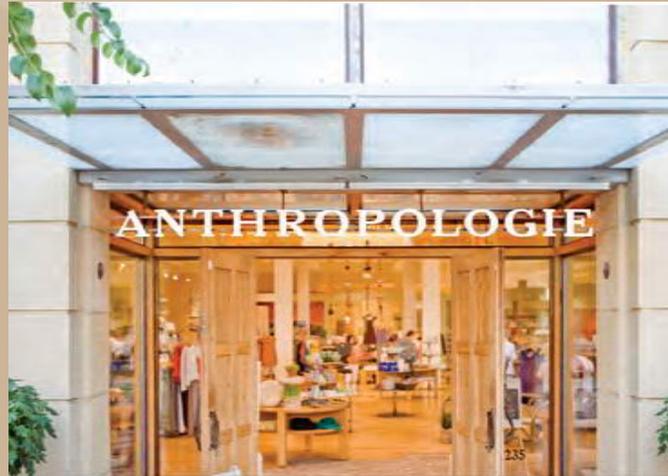
Materials that are NOT permitted include:

- Faux wood or plastic laminate
- Plastics
- EIFS or Plaster

Restaurant tenants are encouraged to provide sliding glass walls to open the interior to exterior patio areas.

Recessed entries are recommended so that the storefront doors do not swing into the pedestrian path.

Tenant storefront expression that exceeds the storefront opening must go before the Worthington Architectural Review Board for approval.



EXTERIOR SIGNAGE DESIGN CRITERIA

The Landlord does not provide a signband, Tenants are not permitted to design stores which incorporate continuous signbands.

Signage shall be limited to trade name, logo, and decorative accents.

To maintain a high quality retail environment no formed plastic, injected molded plastic, or box-type back-lit panel signs are permitted (box signs incorporated into the design of the building which have illuminated push-through letters are permitted). Flashing signs will not be permitted in the project without specific approval from the Landlord.

Specific locations are provided with additional opportunities for signage. These include the signage at the edge of the Landlord's metal canopies, the suspension of blade signs from canopies, signage at roofs and /or parapets, signage at awnings, etc.

The size of building signs will be limited to a total of 40 square feet of signage for each 30 lineal feet of frontage. This does not limit the number of signs, only the total square footage based on size of frontage. Tenants will also be allowed signs on each building facade they front on.

In addition to the tenant's building signs, each tenant will be allowed a blade sign. Blade signs will be limited in size to 10 square feet for each 30 lineal feet of frontage.

The size of all signage will be taken by a rectangle around the graphics at each sign location.

Banner signs will also be allowed in certain instances, and will be reviewed and approved by the Landlord for location, size and design.

There may be Tenant designs where animated components or flashing lights may be integral to the character of the design, and in those instances the Tenant's proposals would be properly reviewed by and approved by the Landlord.

All signs, bolts, fastenings and clips shall be hot-dipped galvanized iron, stainless steel, aluminum, brass, or bronze. They should be concealed if possible. equipment, shall be permitted.

The lighting to Tenant's signage shall be controlled by a 24 hour time clock set in accordance to the Landlord's specified house.

No signmaker's labels or other identification shall be permitted on the exposed surface of signs, except those required by local ordinance. If required by local ordinance, such labels or other identification shall be in an inconspicuous location.

No exposed conduit, tubing or raceways, conductors, transformers or other equipment, shall be permitted.



EXTERIOR SIGNAGE DESIGN CRITERIA



FACADE SIGNAGE

Facade Signs are intended for immediate recognition of the Tenant's premises by the public. It is recommended that the signage be designed for day and night-time visibility. Signage must be illuminated during the hours the center is open, and controlled by a 24-hour time clock set in accordance with the Landlord's specified hours.



Signs are mounted on the facade of the store, above Tenant's awnings or Landlord's Canopy.

The Signage is limited to the trade name only.



The Tenant has maximum freedom in the design of the Facade Signage. Suggested types of facade lettering are:

- Individual letters, pin-mounted to the facade, halo (back lit) or edge lit.
- 2-dimensional, 3-dimensional or open channel type lettering, face lit.
- Lettering affixed to a panel which is erected at the facade within the allotted signage area.
- Signage illuminated externally with gooseneck or sign-lighting fixtures.

Numerous variations / combinations of the above are possible for the signage, and the Landlord welcomes the Tenant's design proposals.

FACE LIT LIGHT BOXES WILL NOT BE PERMITTED.

Tenants are encouraged to apply signs to the glass portion of the storefront, including gold or silver leaf silk-screened logo, cut or polished metal veneers applied to glass, etched glass, or vinyl film graphics applied to the interior surface of the glass.



EXTERIOR SIGNAGE DESIGN CRITERIA

FACADE MOUNTED BLADE SIGNAGE:

Facade-Mounted Blade Signs are intended to be fixed to the facade of the building at suitable locations.

Though they are referred to as "blade" signs, their projection may occur as spheres, boxes, cylinders or any other combination of 3-dimensions objects and shapes. See images.

The Tenant is required to erect on blade sign the facade of the premises. Tenants at corner locations are permitted to install a sign at each face of the building.

Bottom of Sign:
Minimum 8 ft. above sidewalk.

Top of Sign:
16 ft. above sidewalk, but may be more where appropriate.

Maximum Projection:
4 ft. from the face of building.

Width:
May vary; dependant on whether sign is intended as a 2-sided blade or a 3-dimensional projection.

Lighting:
Sign may be lit from lighting outriggers or internally illuminated.

No projecting light-boxes will be allowed. Opaque background with illuminated punch-through letters / logo is permitted.



UNDER CANOPY BLADE SIGNS:

In locations where the Landlord has provided metal sidewalk canopies, the Tenant is permitted to suspend blade signs.

The image on sign is limited to Tenant's trade name and logo only.

The minimum dimension from the sidewalk to the underside of the sign is 8'-0". The sign shall be centered on the centerline of the canopy. The edge of the sign may not project beyond the outer edge of the Landlord's canopy overhead.

Signs may be internally or externally illuminated.



EXTERIOR SIGNAGE DESIGN CRITERIA

CANOPY TOP SIGNAGE:

This Signage type consists of illuminated identity graphics which will sit atop, or affixed to the edge of the Landlord-provided canopy which exists at specific locations in this project.

These generally occur with 'corner-store' Tenants.

The Tenant must provide the signage.

the finish and color of the lettering is ultimately subject to the Landlord's approval to ensure only the highest quality for the project.



ROOF / PARAPET SIGNAGE:

Roof / Parapet Signs occur at specific Tenant locations, generally where the Tenant occupies a corner location in the building, thereby facing two streets.

Signs may display the Tenant's trade name and logo. 3-dimensional character for the signage is strongly recommended. Signs may be internally or externally lit. Flashing and /or neon lighting is permissible, but all signs are subject to the Landlord's approval.

For built-up roofing, signs may rest on the top of the provided parapet walls or may be set back or set on the diagonal to provide exposure to both streets.

The Tenant is responsible for the structural integrity of the sign.



EXTERIOR AWNING DESIGN CRITERIA

All Tenants are required to provide Awnings at their Storefronts, except where the Landlord's metal canopies are already provided, where the LL specifically does not want awnings for design reasons, or where a storefront faces onto a roofed public passage.

Awnings are required for the full length of the storefronts openings below.

Awnings are to be Glen Raven Firesist fabric. Only the following colors are approved for use at Worthington Place:

- Black #82008-0000
- Admiral Navy #82010-0000
- Crimson Red #82017-0000
- Ivory #82015-0000
- Sand #82006-0000
- Toasty Beige #82012-0000
- Burgundy #82016-0000
- Forest Green Tweed #82002-0000
- Regatta Tweed #82005-0000
- Terra Cotta #82014-0000

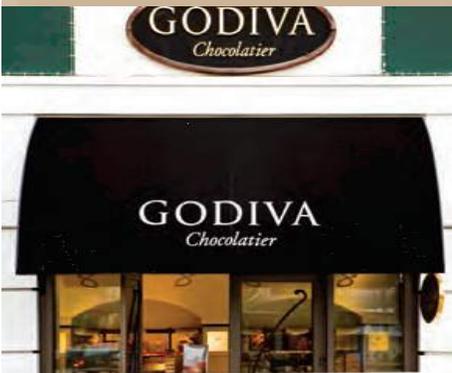
Retractable awnings are not permitted.

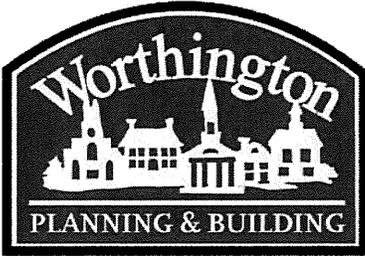
Generally, shape, color and pattern of the awnings is at the discretion of the Tenant, and are an integral part to their brand identity, but are subject to approval by the Landlord and the City of Worthington.

Signage on awnings is limited to the Tenants' logo.

Awnings may not be supported from the sidewalk. The Tenant is responsible for structural stability of the awnings, and must ensure that storefronts, transoms and other required fixings are adequate.

The structure for awnings should be attractive as well as functional, and it must have a suitable powder coated or chrome finish (unfinished galvanized pipe is unacceptable). Awnings shall have open ends to showcase the framing as a designed element.





City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case #	AR 69-2020
Date Received	10/1/2020
Fee	\$2
Meeting Date	
Filing Deadline	
Receipt #	

- 1. **Property Location** 690 E. Evening Street, Worthington, Ohio 43085

- 2. **Present/Proposed Use** Residential

- 3. **Zoning District** R-10

- 4. **Applicant** Chad Kiner

Address 690 Evening Street Worthington, Ohio 43085

Phone Number(s) 614-204-7879

Email ckiner@msfcap.com

- 5. **Property Owner** Chad Kiner

Address 690 E. Evening Street, Worthington, Ohio 43085

Phone Number(s) 614.204.7879

Email ckiner@msfcap.com

- 6. **Project Description** 999.1 square foot addition at the rear of an existing detached garage.

7. Project Details:

- a) **Design** New Roof-Standing Seam Metal

- b) **Color** Black/Dark Grey

- c) **Size** 999.1 square foot

- d) **Approximate Cost** \$10,000.00 **Expected Completion Date** October 30th

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.


Applicant (Signature)

10-1-20
Date

Property Owner (Signature)

Date

Abutting Property Owners List for
690 Evening St.

John and Kimberly Wheatley
Mikel and Brenda Coulter
Benjamin and Amy Struewing
Joesph and Rachel Hartings
Mary Debitetto
Joesph and Shelly Stotzer

702 Evening St.
686 Evening St.
109 W. Granville Rd.
115 W. Granville Rd.
693 Evening St.
687 Evening St.

Worthington, Oh 43085
Worthington, Oh 43085

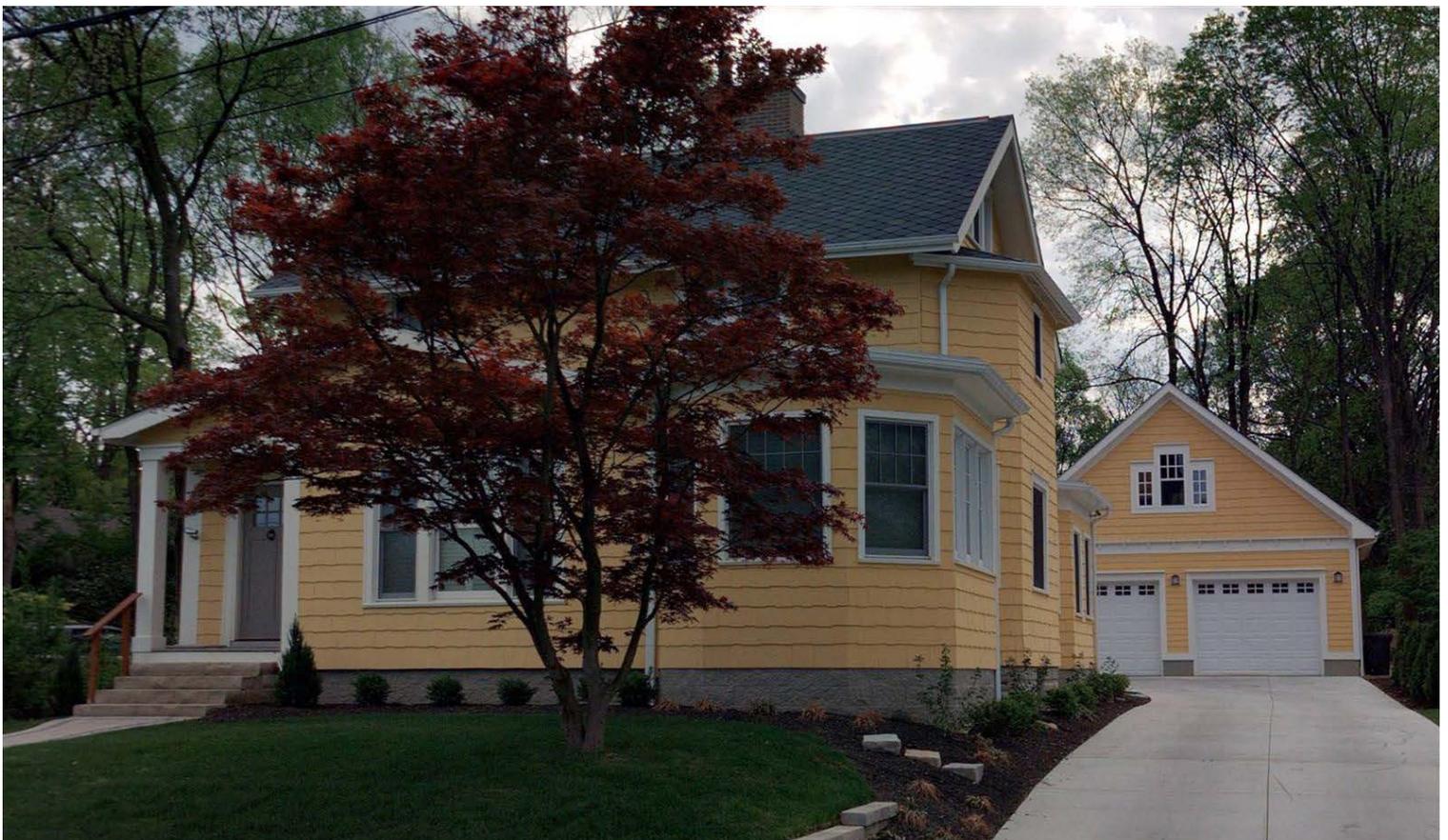
I ran into a snag at my addition with my roof. Unfortunately the shingle that Tim Shaw picked out for the house and garage no longer is manufactured (GAF Chateau Grey) and there is no comparable design/color. We've searched and spoken with distributors all over the entire country and I haven't found anyone that has the product. I had an architect and designer over to the house (as well as consulted with my neighbor Mr. Coulter) and what was recommended to me was putting a standing seam metal roof on my new structure. Color preference is "Charcoal" as this will blend with the existing roof which is "GAF Chateau Grey".

CITY OF WORTHINGTON

DRAWINGS NO. AR 69-2020

DATE 10/01/2020

690 Evening St



Previous Approval



LEFT (NORTH) ELEVATION

SCALE: 3/16" = 1'-0"

CITY OF WORTHINGTON
DRAWINGS NO. AR 69-2020
DATE 10/01/2020

Black Framing

Approved
Architectural Review Board
City of Worthington
07/23/2020

Jynda Butler

Clerk

Everloc® Panel

Metal Roofing and Siding Panel

Description

The Everloc® panel has the elegant look of traditional style standing seam roofing without the cost or labor of clips or seaming tools. Everloc® is designed to be installed over a waterproof solid substrate and utilizes a slotted leg for fastening. Everloc® resists corrosion with the help of a galvalume coating.

Advantages of Everloc™ Panels

- Thicker steel reduces the appearance of “oil canning” and purlin see-through
- Concealed Fastener System
- Greater snow and wind yields and hail resistance
- Installation over an existing roof
- Energy efficient

Standard Specifications

- 26-gauge (.018) Structural Steel Grade 50 produced in conformance with ASTM792
- 50,000 PSI minimum yield
- Fluropon® Paint System
- 16” cover width (+/- 1/4”)
- 1” high seam
- Custom cut to the inch up to 22’ feet
- Available in a wide variety of colors
- 3:12 recommended minimum roof pitch
- 35-year finish warranty
- Perforation warranty
- Available with striations only

UL Ratings

- UL construction No# 580 uplift test
- UL 2218 Class 4 IMPACT RESISTANCE
- UL 790 Class A FIRE RESISTANCE

Roofing and Siding Applications

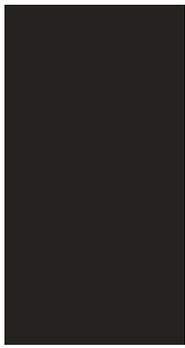
- Residential
- Architectural



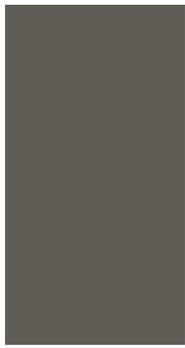
CITY OF WORTHINGTON

DRAWINGS NO. AR 69-2020

DATE 10/01/2020



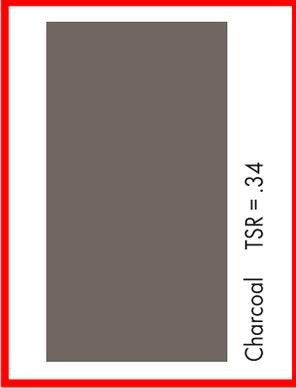
Stealth Black TSR = .26



Burnished Slate TSR = .32



Cocoa Brown TSR = .34



Charcoal TSR = .34



Forest Green TSR = .31



Emerald Green TSR = .33



Burgundy TSR = .26



Barn Red TSR = .35



Bright Red TSR = .42



Regal Blue TSR = .26



Hawaiian Blue TSR = .33

Cool Chemistry® - Coil Coating System

The next generation silicone-polyester Cool Chemistry® system is here! These coatings are not only engineered to give a 40-year film integrity warranty, but also offer high reflectivity in medium and dark colors that helps dramatically reduce the energy (and the associated costs) for cooling, especially in hot, sunny climates.

This premium silicone-polyester system provides the next best exterior durability to 70% PVDF coatings based on real world exposure testing in South Florida. It also provides energy savings in a full spectrum of colors. The use of proprietary resin technology and inorganic and ceramic pigments provides a coating system that outperforms other silicone-polyester coatings for chalking and fade resistance, with a 30-year performance warranty.

In addition to their remarkable "cool" technology, these coatings clean easily, have excellent stain resistance, scratch resistance, and are recoatable. Coupled with a high performance primer, this system affords salt spray and moisture resistance unmatched in the industry.

Silicone-polyester coatings are ideal for all metal building applications requiring a high performance coating system for metal roofing and walls, including commercial, industrial, agricultural and residential markets.

To learn more about the full range of color and gloss options available from Mill Steel – or to order samples of any color featured on this card – visit www.millsteel.com or call (877) 262-8333.

*TSR = Total Solar Reflectance

*Actual colors may vary from samples shown. Actual color chips available upon request.

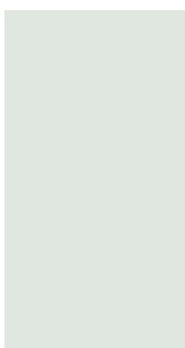


MILL STEEL COMPANY BUILDING PRODUCTS

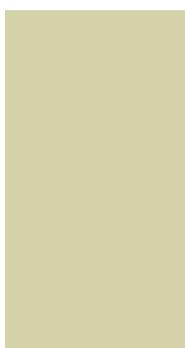
General: 800-247-MILL (6455) • Toll Free: 877-262-8333 • www.millsteel.com
100 Finley Ave. West, Birmingham, AL 35204 • 444 E 29th Street, Anderson, IN 46016



CERAM-A-STAR® 1050



Polar White TSR = .67



Lightstone TSR = .60



Sahara Tan TSR = .51



Copper Penny TSR = .44

CITY OF WORTHINGTON

DRAWINGS NO. AR 69-2020

DATE 10/01/2020

Copper Penny ISR = .49

Film Properties		Test Methods & Descriptions	CERAM-A-STAR®1050	
<u>SUBSTRATE</u>			Hot Dipped Galvanized Galfan & Galvalume®	Aluminum
Dry Film Thickness:		ASTM ¹ D1400, D1005, D4138 (NCCA ² II-13,14,15)	0.20 - 0.25 Mils Primer 0.70 - 0.90 Mils Topcoat	0.20 - 0.25 Mils Primer 0.70 - 0.90 Mils Topcoat
<u>PHYSICAL PROPERTIES</u>				
60° Specular Gloss:		ASTM D523	35%	35%
Pencil Hardness:		ASTM D3363 (NCCA II - 12) Eagle Turquoise Pencil	"F" - Minimum	"F" - Minimum
Flexibility:	T-Bend Mandrel Bend	NCCA II - 9 ASTM D522 180° bend around 1/8" mandrel	2T - No Tape-Off No Tape-Off	2T - No Tape-Off No Tape-Off
Adhesion:		ASTM D3359 (NCCA II - 5) Reverse Impact Cross Hatch	No Adhesion Loss	No Adhesion Loss
Reverse Impact:		ASTM D2794 (NCCA II - 6) 80 inch-pound impact with a 5/8" steel ball or = 2000 x decimal steel thickness in inches	No Adhesion Loss	No Adhesion Loss
<u>ABUSE TOLERANCE</u>				
Abrasion Resistance:	Falling Sand Transit	ASTM D968, Liters to expose 5/32" area of substrate Based on topside to backer contact in transit after painting	30 Liters Per Mil of Film Acceptable	30 Liters Per Mil of Film Acceptable
Mortar Resistance:		AAMA ⁸ 605.2 (24 Hour Pat Test)	No Effect	No Effect
Detergent Resistance:		ASTM D2248 3% @ 100°F, 72 Hours	No Effect	No Effect
<u>RESISTANCE TO CORROSION, CHEMICALS & POLLUTION</u>				
Acid Pollutants:		Per ASTM D1308, Proc.6.2:		
	10% Muriatic Acid	24 Hours	No Effect	No Effect
	20% Sulfuric Acid	24 Hours	No Effect	No Effect
	70% Nitric Acid Vapors	AAMA 605.2, ASTM G87 (30 Minutes)	<5 dE Color Change ⁶	<5 dE Color Change ⁶
	Kesternich Test	SO ₂ Cyclic Test, 2 Liters	10 cycles ⁵	10 cycles ⁵
Alkali Resistance:				
	Sodium Hydroxide	ASTM D1308 10%, 25% (1 Hour)	Minimal Effect	Minimal Effect
Salt Fog:		ASTM B117 5% Salt Fog @ 95°F	1000 Hours ⁴	3000 Hours ⁴
Humidity:		ASTM D2247 100% Relative Humidity @ 100°F	1500 Hours ⁷	1500 Hours ⁷
<u>WEATHERING PROPERTIES</u>				
Accelerated Weathering:		ASTM D822, G152, G153 Weatherometer	2000 Hours	2000 Hours
		ASTM D2244 Color	<5 dE Color Change ⁶	<5 dE Color Change ⁶
		ASTM D4214 Chalk	Maximum #8	Maximum #8
EMMAQUA Testing:		Per ASTM D4141	Superior Results	Superior Results
Exterior Weathering:			Superior: Maximum	Superior: Maximum
	Florida Exposure	ASTM D2244 Color	<5 dE Color Change ⁶	<5 dE Color Change ⁶
	10 Years @ 45° South	ASTM D659 Chalk	Maximum #8	Maximum #8
	Film Erosion	AAMA 605.2	Less than 20% film loss	Less than 20% film loss

1 American Society Testing and Materials.

2 National Coil Coaters Association.

3 Higher and lower glosses available upon request.

4 Less than 1/8" creep from scribe. No more than few #8 blisters.

5 No objectionable color change.

6 Hunter d (delta) E color difference units.

7 No more than few #8 blisters.

8 American Architectural Manufacturers Association.

• CERAM-A-STAR® 1050 is a trademark of Akzo Nobel Coatings, Inc.

MILL STEEL COMPANY BUILDING PRODUCT
100 Finley Ave. West, Birmingham, AL 35204
Phone: (205) 251-8800 • Toll-free: (877) 262-
Website: www.millsteel.com

CITY OF WORTHINGTON

DRAWINGS NO. AR 69-2020

DATE 10/01/2020



inspection to provide quick solutions.

5 of 18

CITY OF WORTHINGTON

DRAWINGS NO. AR 69-2020

DATE 10/01/2020



inspection to provide quick solutions.

8 of 18

CITY OF WORTHINGTON

DRAWINGS NO. AR 69-2020

DATE 10/01/2020



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case #	AR71-2020
Date Received	10/05/2020
Fee	\$31.00
Meeting Date	10/22/2020
Filing Deadline	
Receipt #	

1. **Property Location** 800 N High St, Worthington, OH 43085

2. **Present/Proposed Use** M - Bank

3. **Zoning District** _____

4. **Applicant** Powerhouse Retail Services

Address 812 S. Crowley Rd, Suite A, Crowley, TX 76036

Phone Number(s) 817.297.8575 x 7147

Email permitting@powerhousenow.com

5. **Property Owner** Huntington National Bank

Address 800 N. High St.

Phone Number(s) 614-480-9776

Email Andrew.N.Fisher@Huntington.com

6. **Project Description** Remove TTW DU ATM and Kiosk. Reroute electrical within canopy to the approach column. Trench from column to new pit

Run conduit electrical down and alarm to new pit. Will need to change out electrical to a 30amp and 20 amp for ATM and topper. install new B3001 & new topper. set level and anchor ATM. Reconnect electrical Security disconnects Run 1) CAT6 for camera -other to terminate CAP VA" TUBE IN CEILING

7. **Project Details:**

a) **Design** _____

b) **Color** _____

c) **Size** _____

d) **Approximate Cost** 3,100.00 **Expected Completion Date** 10/14/2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Josh Hargrave
 Applicant (Signature)

9/9/2020
 Date

Andrew N. Fisher, AVP
 Property Owner (Signature)

9/15/20
 Date

ABUTTING PROPERTY OWNERS
FOR
800 High St.

David & Malayna Chadwell
Worthington Schools
Worthington Libraries
Huntington Bank

991 Village Brook Way
200 E. Wilson Bridge Rd.
820 High St.
800 High St.

Columbus, OH 43235
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085

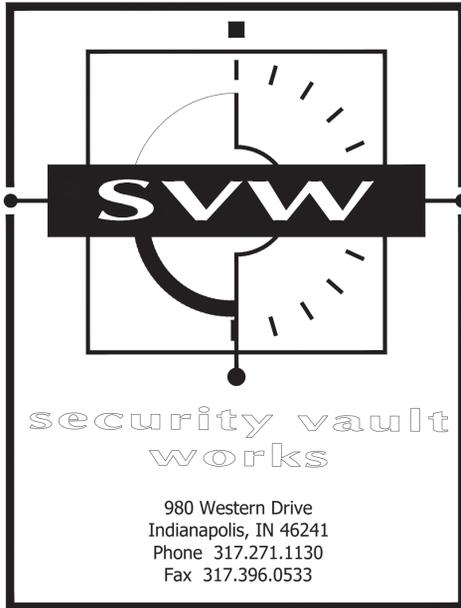
800 High St.



100-000108 04/25/2017



Huntington Bank - HB0019 - Worthington TTW WALK-UP ATM INSTALLATION CONSTRUCTION DOCUMENTS



James M. Hamill
ARCHITECT

580 Decker Drive
Suite 170
Irving, Texas 75062
Phone 972/714.0420
Fax 972/714.0282

Local Address:
800 North High Street
Worthington, OH 43085

Developer/Applicant/Designer:
Tiffany Sears
Security Vault Works
980 Western Drive
Indianapolis, Indiana 46241
317.271.1130 Ext. 1308

Building Codes:
2015 International Building Code with Ohio Amendments
2017 National Electrical Code

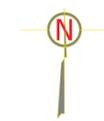
Scope of Work:
Remove Existing NCR 6634 TTW WU ATM
Remove Existing Surround
Install New Hyosung 8300T TTW WU ATM
Install New Huntington Surround

Schedule of Drawings

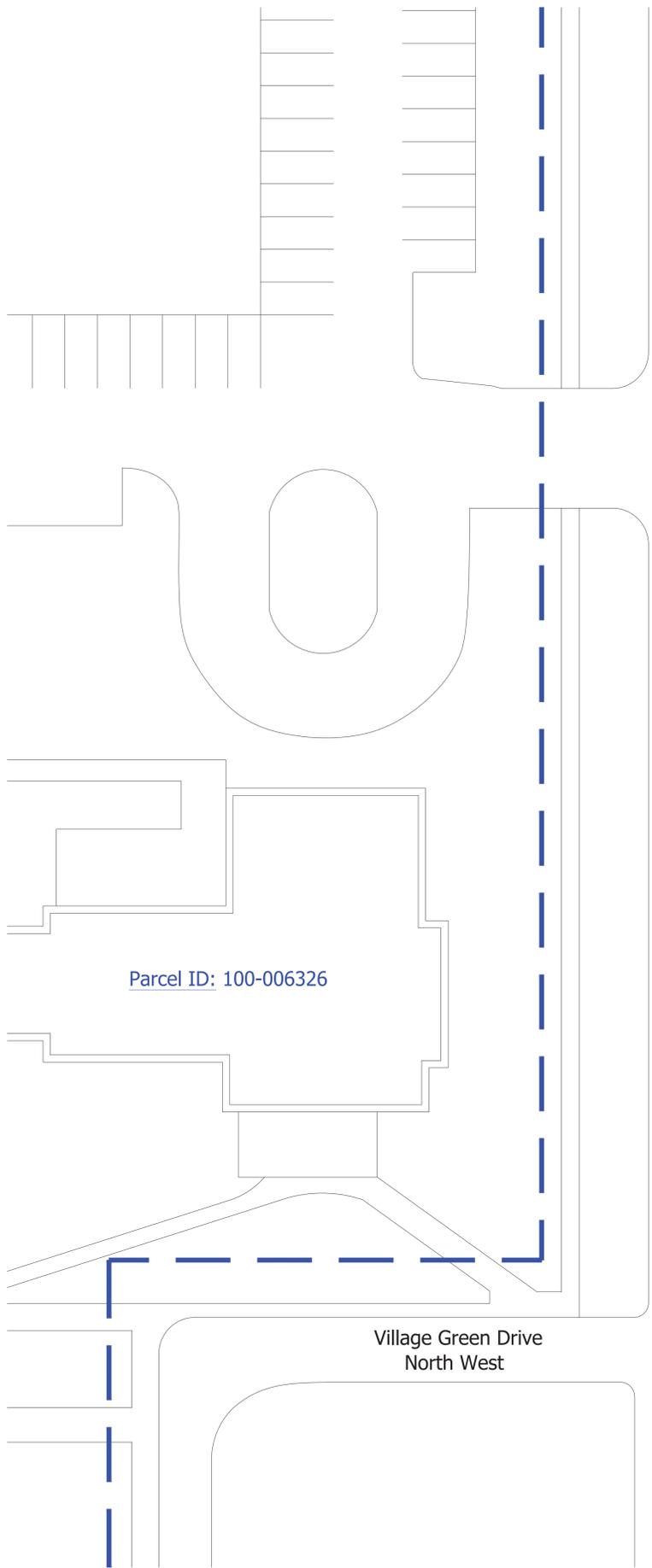
- GENERAL
- C.1 - COVER SHEET
- ARCHITECTURAL
- A.1 - SITE PLAN
- A.2 - ARCHITECTURAL DRAWINGS
- A.3 - SURROUND CUTSHEET
- A.4 - ELECTRICAL LAYOUT

Site Location Map

Scale: NOT TO SCALE



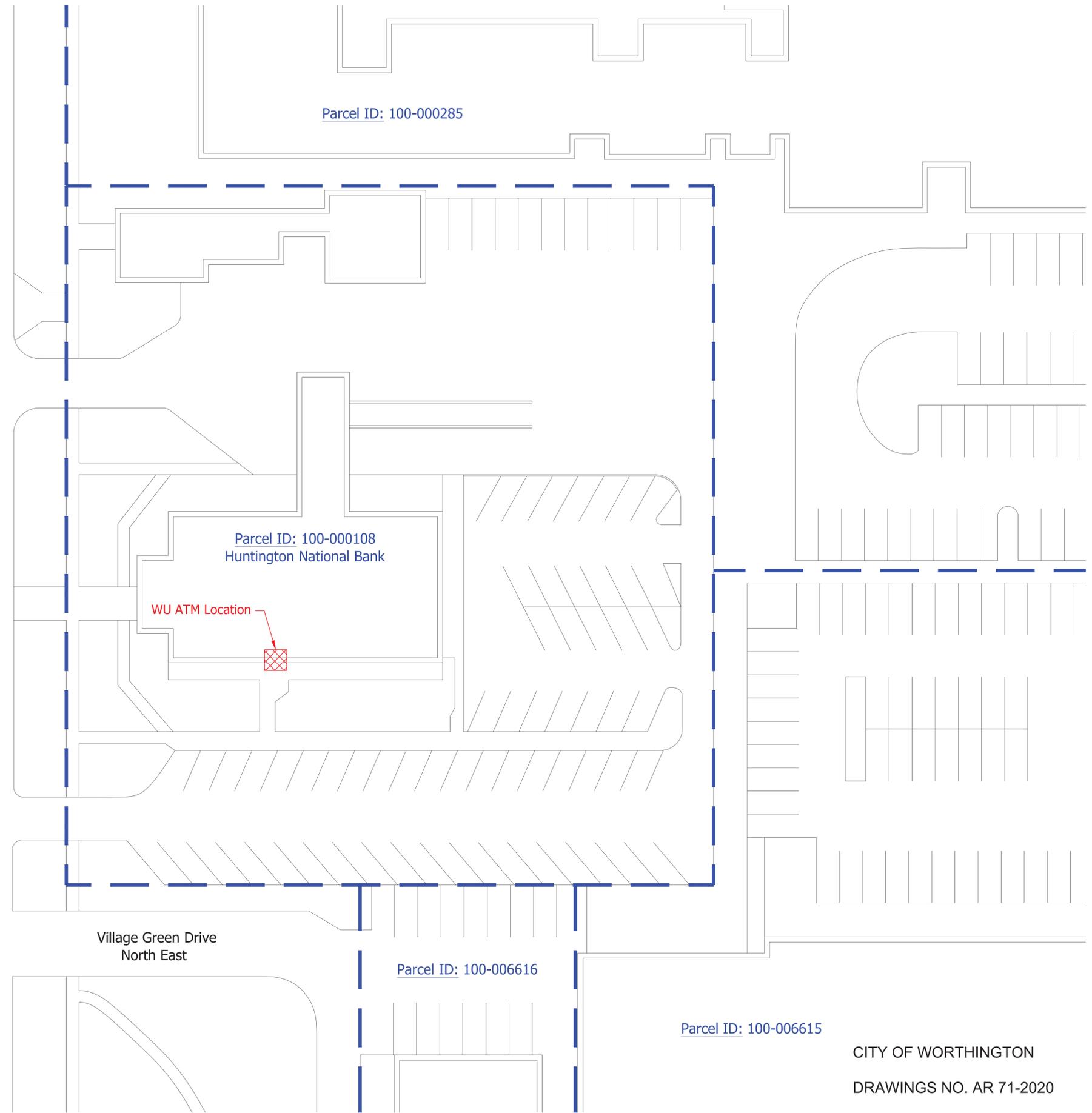
CITY OF WORTHINGTON
DRAWINGS NO. AR 71-2020
DATE 10/05/2020



North High Street

North High Street

North High Street



1 Site Plan
A.1 Scale: 1" = 20'-0"

Huntington Bank - Worthington

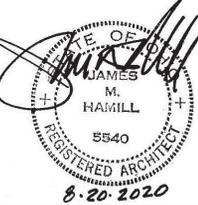
800 North High Street
Worthington, Ohio 43085



James M. Hamill
ARCHITECT

580 Decker Drive
Suite 170
Irving, Texas 75062

Phone: 972/714.0420
Fax: 972/714.0282



CITY OF WORTHINGTON
DRAWINGS NO. AR 71-2020
DATE 10/05/2020

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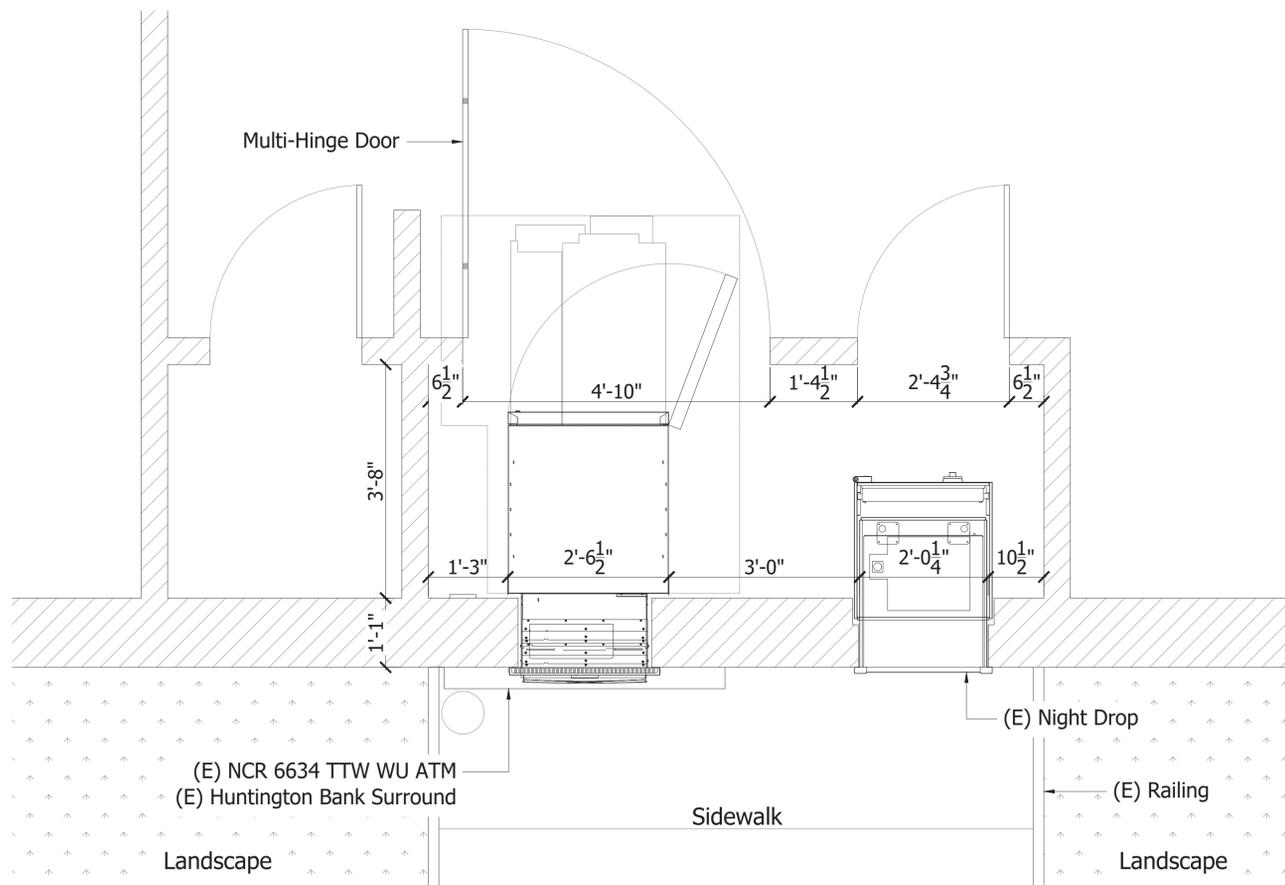
Date: 08.14.2020 Drawn By: LGV

Revisions:

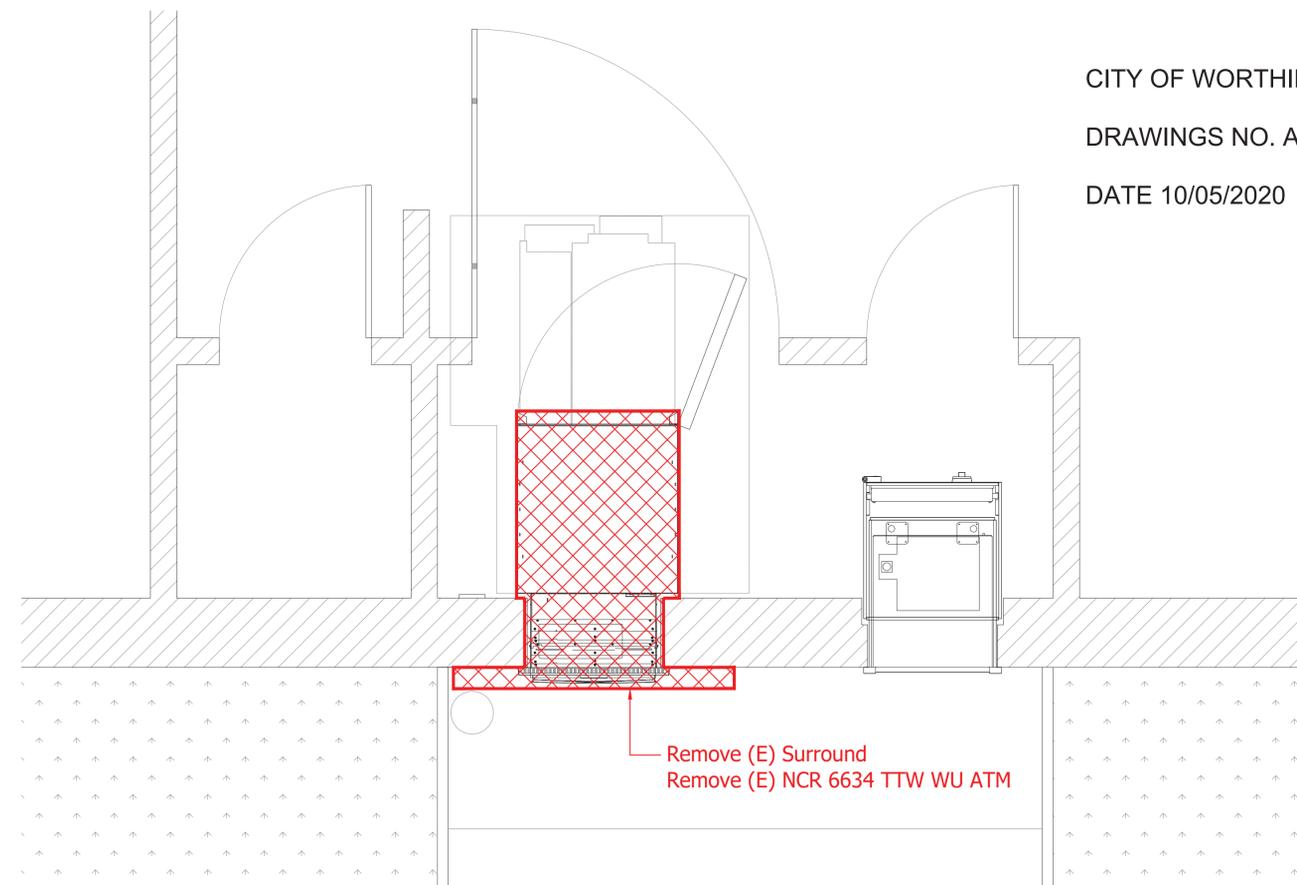
1	3
2	4

Drawing Number:
A.1

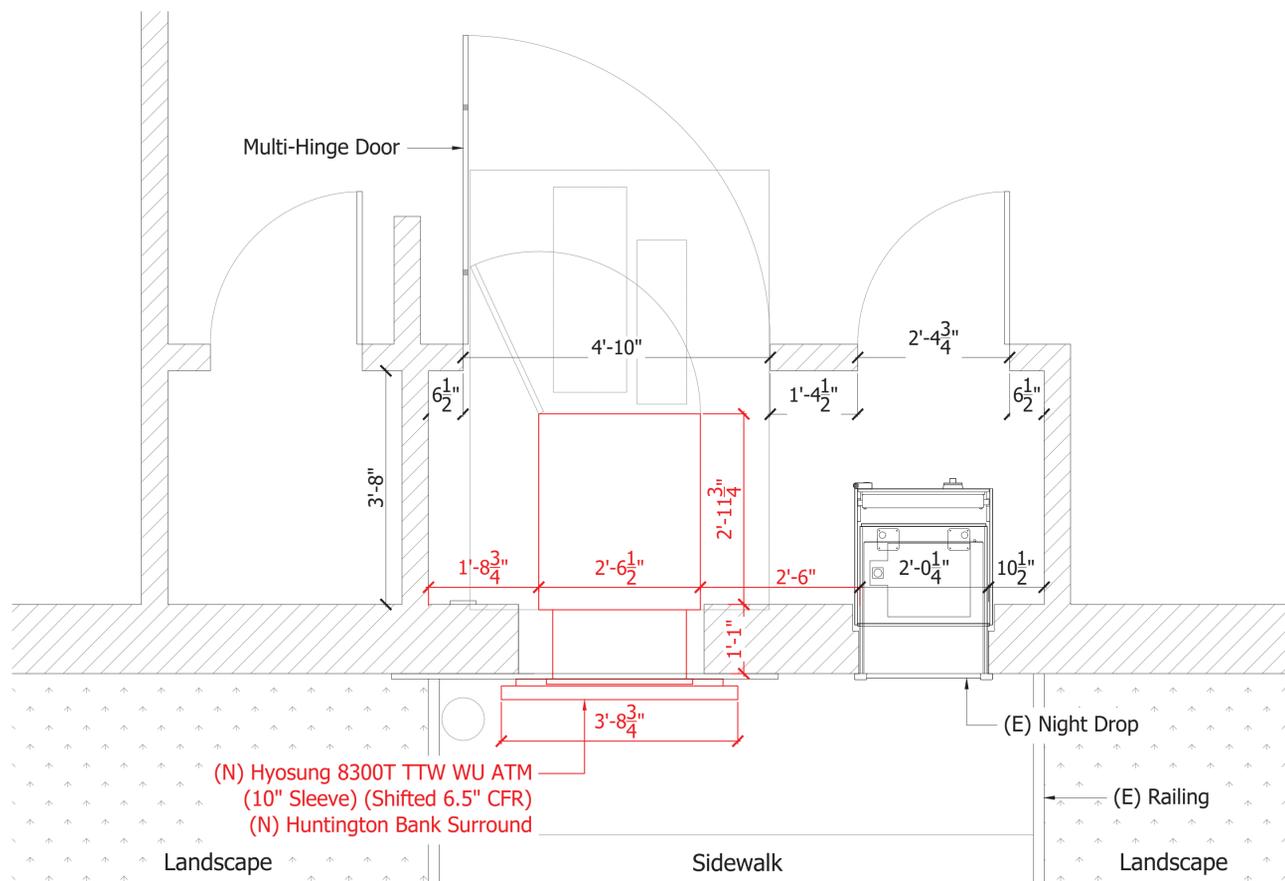
SVW Project Number: 16-20-2000
Cad File Name: Worthington Banking



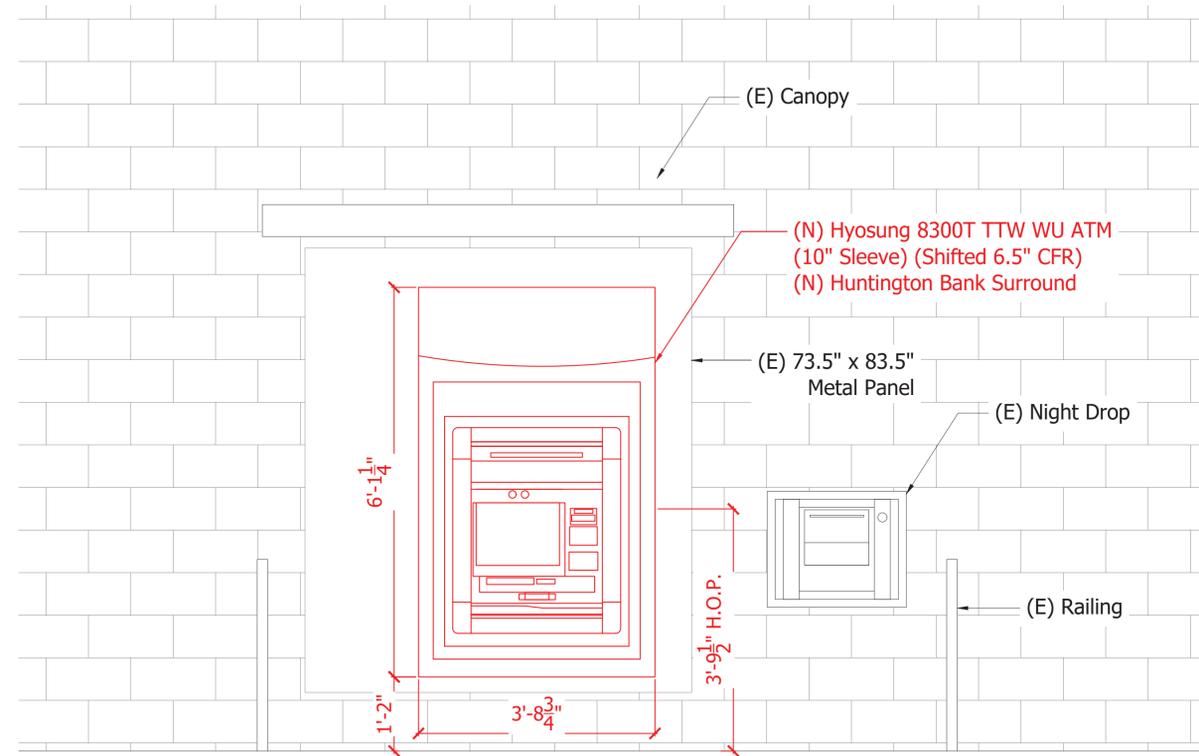
1 Existing Layout Plan
 A.2 Scale: 3/4" = 1'-0"



2 Demo Plan
 A.2 Scale: 3/4" = 1'-0"

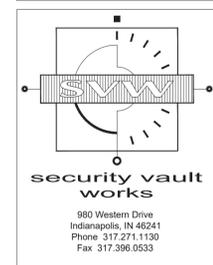


3 Proposed Layout Plan
 A.2 Scale: 3/4" = 1'-0"



4 Proposed Layout Plan
 A.2 Scale: 3/4" = 1'-0"

Huntington Bank - Worthington
 800 North High Street
 Worthington, Ohio 43085



James M. Hamill
 ARCHITECT
 580 Decker Drive
 Suite 170
 Irving, Texas 75062
 Phone: 972/714.0420
 Fax: 972/714.0282

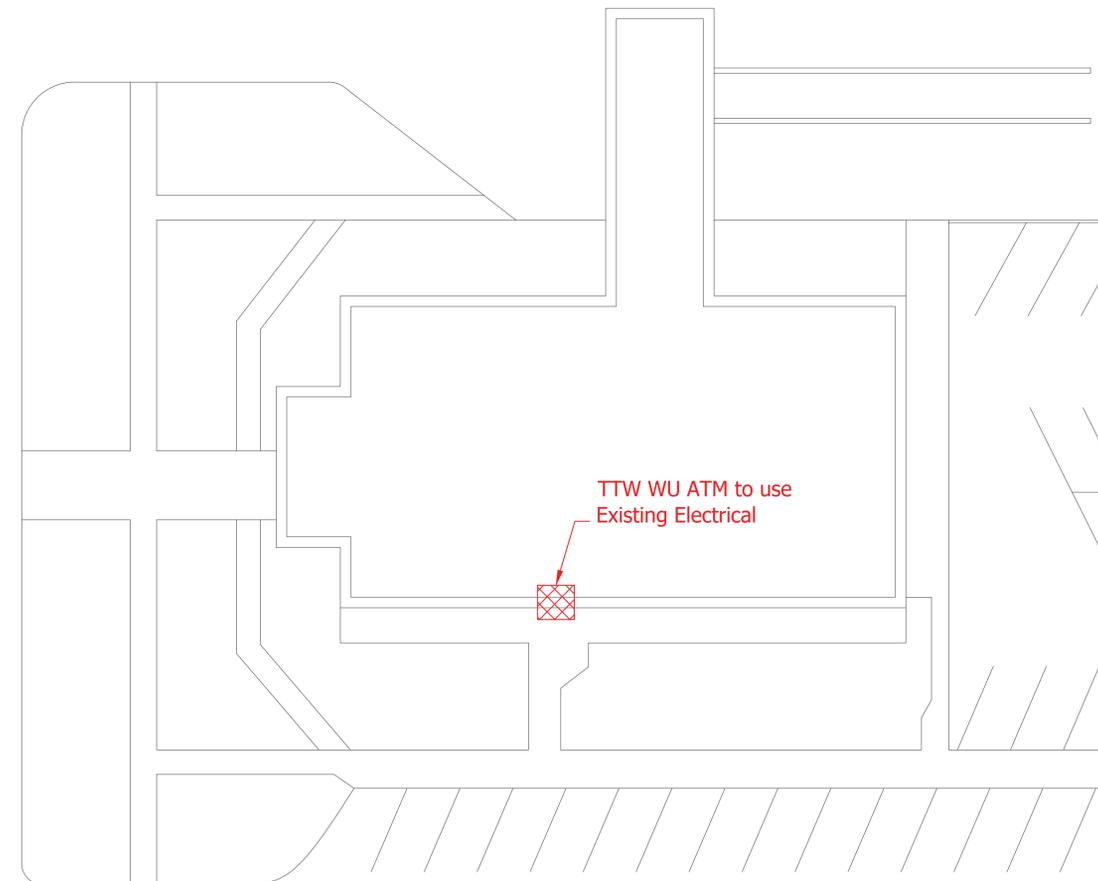


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 Date: 08.14.2020 Drawn By: LGV

Revisions:	
1	3
2	4

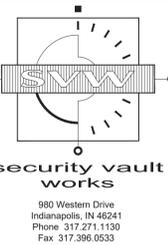
Drawing Number:
A.2
 SVW Project Number: 16-20-2000
 Cad File Name: Worthington Banking

CITY OF WORTHINGTON
DRAWINGS NO. AR 71-2020
DATE 10/05/2020



1 Electrical Plan
A.4 Scale: 1/16" = 1'-0"

Huntington Bank - Worthington
800 North High Street
Worthington, Ohio 43085



James M. Hamill
ARCHITECT
580 Decker Drive
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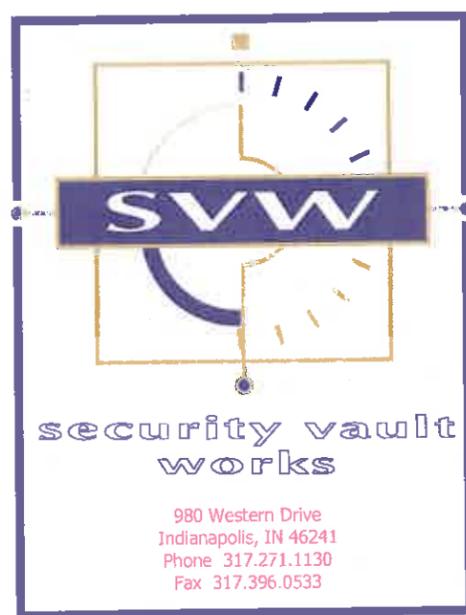
Date: 08.14.2020 Drawn By: LGV

Revisions:	
1	3
2	4

Drawing Number:
A.4
SWW Project Number: 16-20-2000
Cad File Name: Worthington Banking



Huntington Bank - Worthington Office DU DRIVE-UP ATM INSTALLATION CONSTRUCTION DOCUMENTS



James M. Hamill
ARCHITECT
580 Decker Drive
Suite 170
Irving, Texas 75062
Phone 972/714.0420
Fax 972/714.0282

Local Address:
800 N. High St.
Worthington, OH 43085

Developer/Applicant/Designer:
Tiffany Sears
Security Vault Works
980 Western Drive
Indianapolis, Indiana 46241
317.271.1130 Ext. 1308

Building Codes:
2015 International Building Code with Ohio Amendments
2017 National Electrical Code

Scope of Work:
- Remove Existing TTW ATM
- Remove Existing DU Building
- Install New ISL DU ATM
- Install New Topper

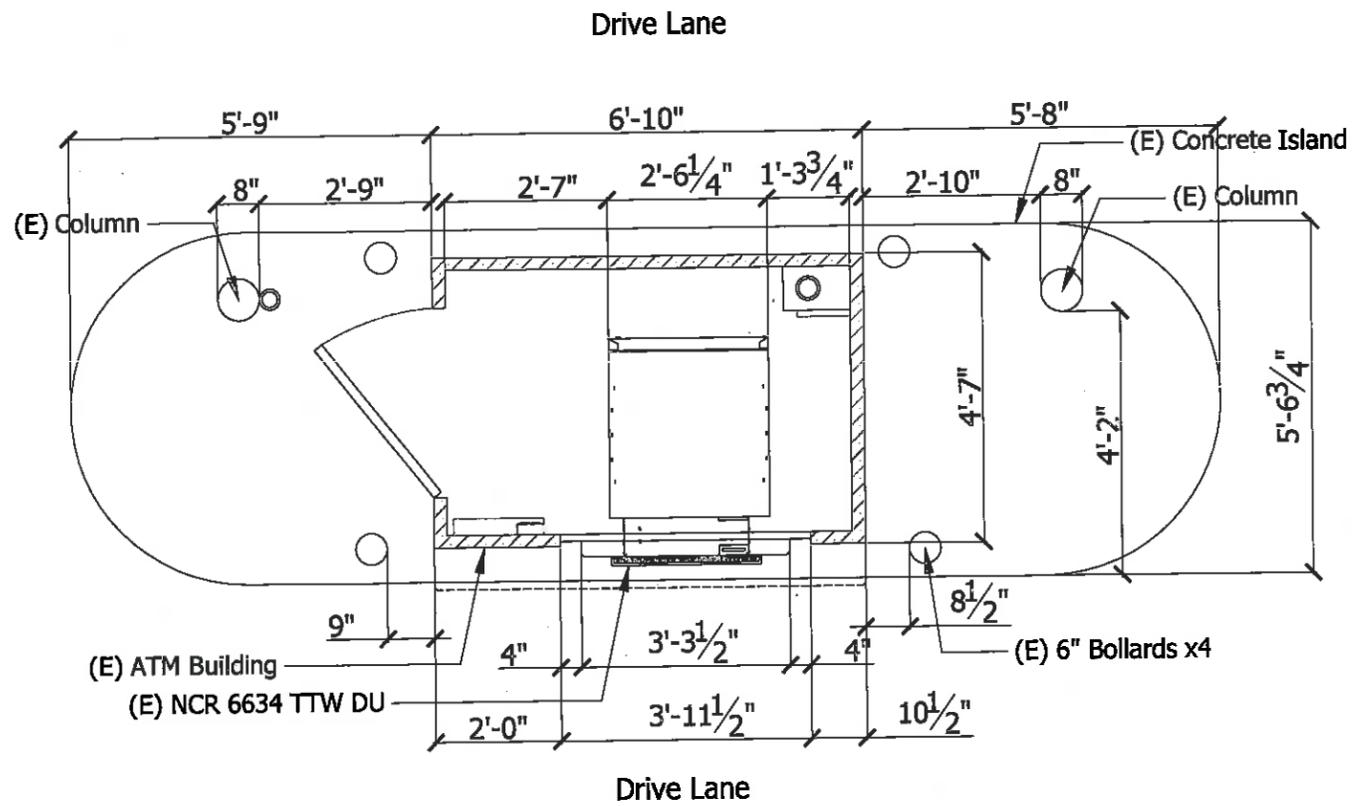
Schedule of Drawings

- GENERAL
- C.1 - COVER SHEET
- ARCHITECTURAL
- A.1 - ARCHITECTURAL DRAWINGS
- A.2 - DETAILS
- A.3 - ELECTRICAL LAYOUT

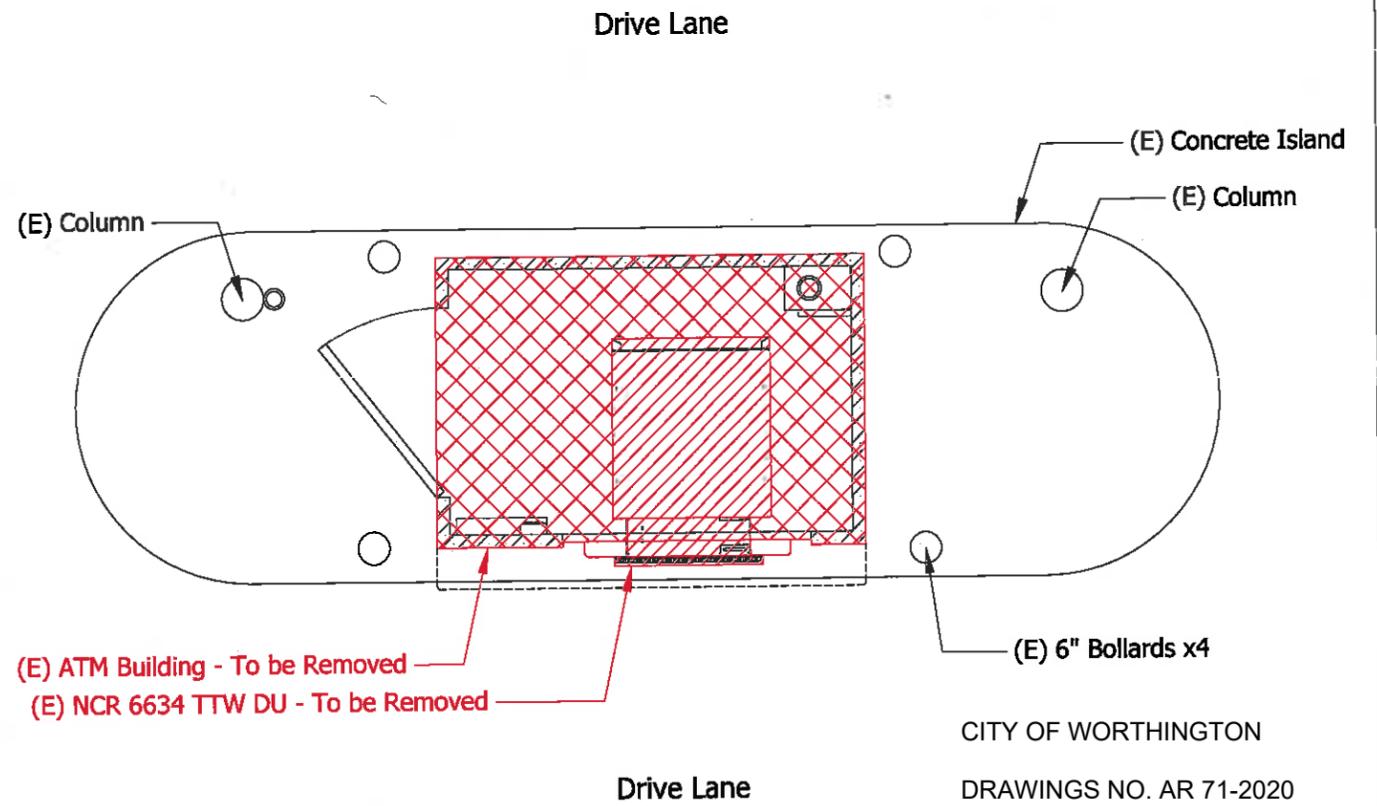
Site Location Map Scale: NOT TO SCALE



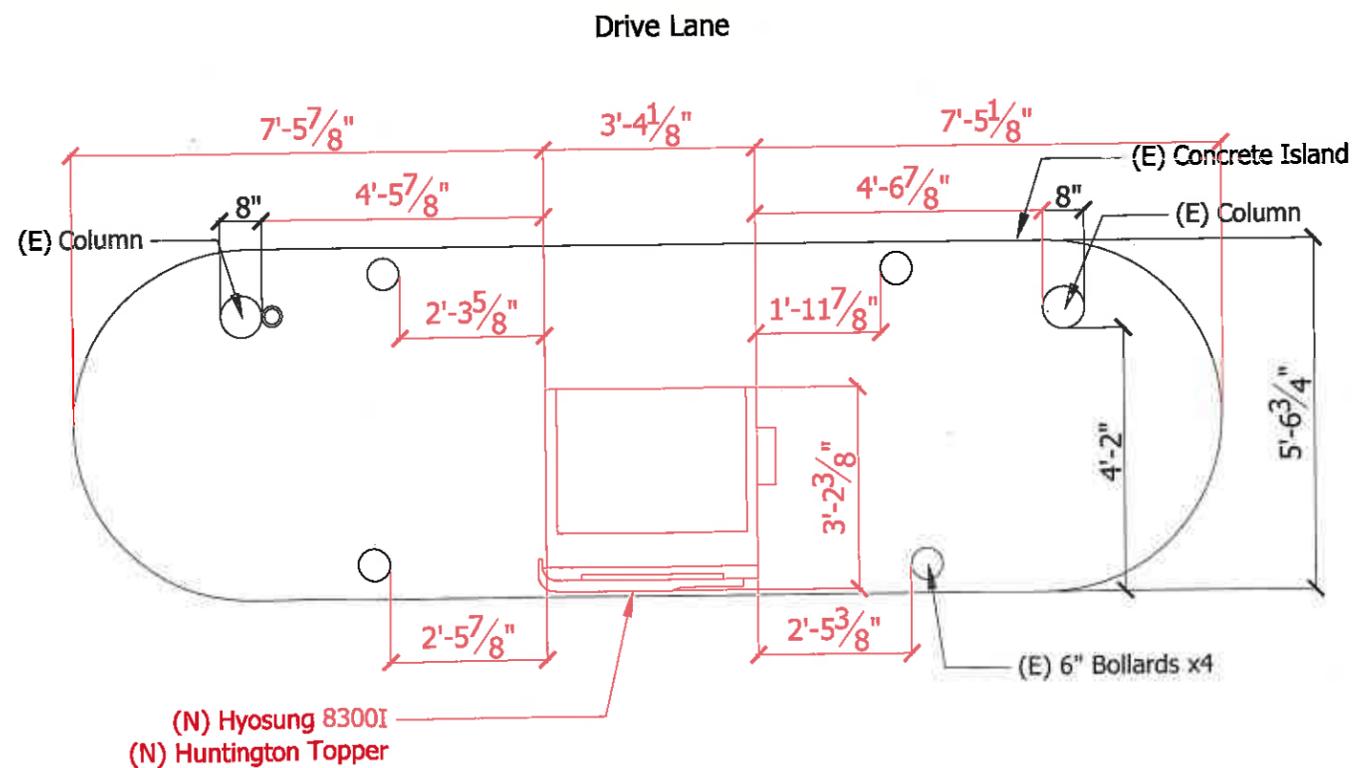
CITY OF WORTHINGTON
DRAWINGS NO. AR 71-2020
DATE 10/05/2020



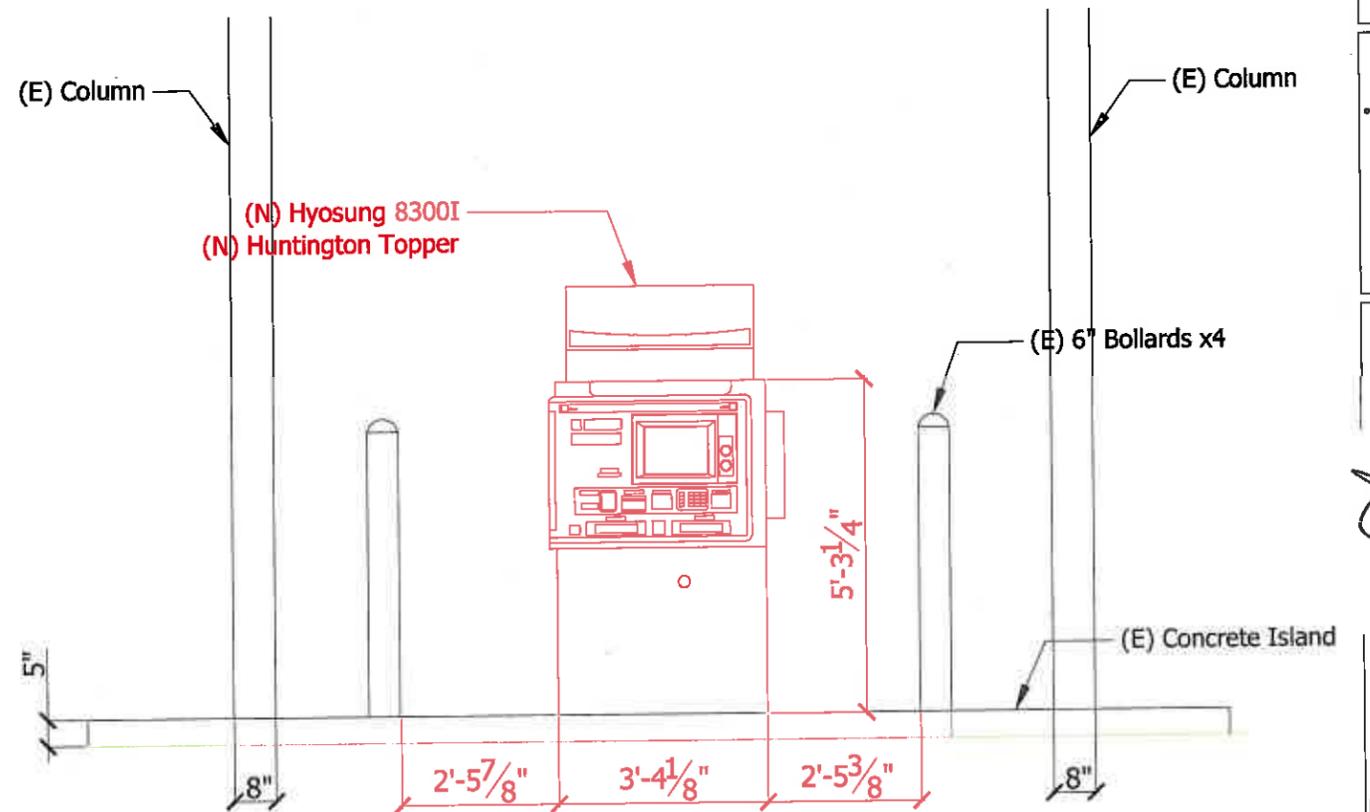
1 Existing Layout Plan
A.1 Scale: 3/4" = 1'-0"



2 Demolition Plan
A.1 Scale: 3/4" = 1'-0"



3 Proposed Plan
A.1 Scale: 3/4" = 1'-0"



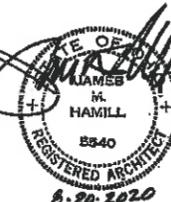
4 Proposed Elevation
A.1 Scale: 3/4" = 1'-0"

CITY OF WORTHINGTON
DRAWINGS NO. AR 71-2020
DATE 10/05/2020

Huntington Bank
Worthington Office DU
800 N. High St.
Worthington, OH 43085



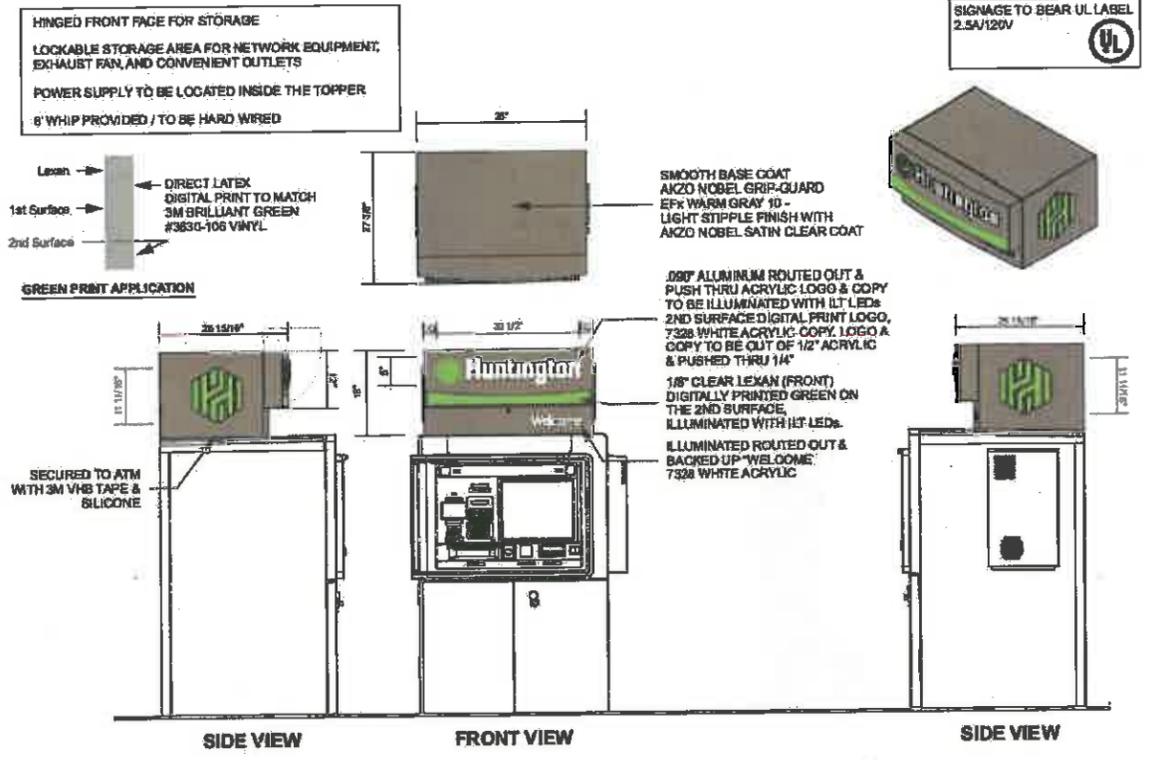
James M. Hamill
ARCHITECT
100 Under Drive
Suite 170
Irving, Texas 75038
Phone: 972.714.0250
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Date: 08/13/20 Drawn By: DEC

Revisions:
A.1
SVW Project Number: 16-20-2000



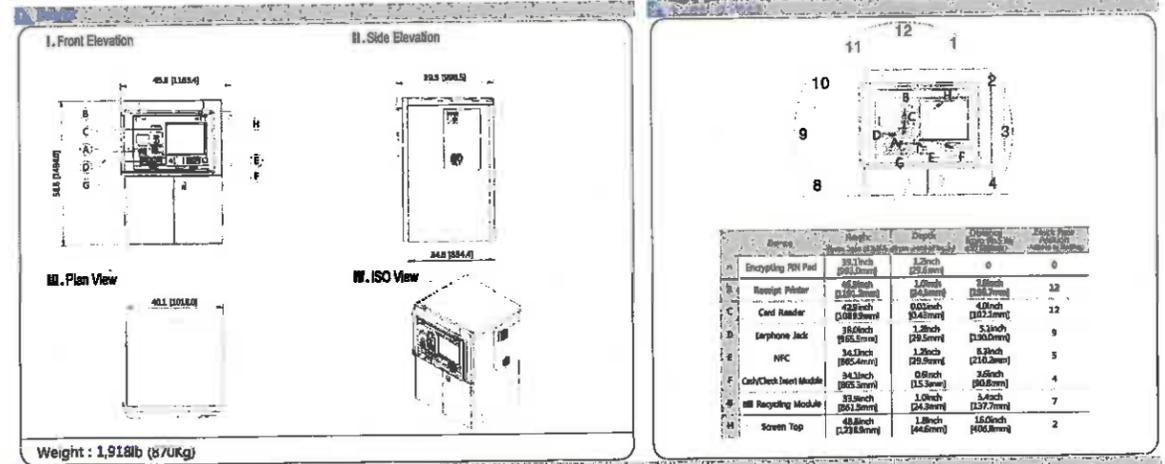
Topper for Hyosung 8300IA

CITY OF WORTHINGTON
 DRAWINGS NO. AR 71-2020
 DATE 10/05/2020

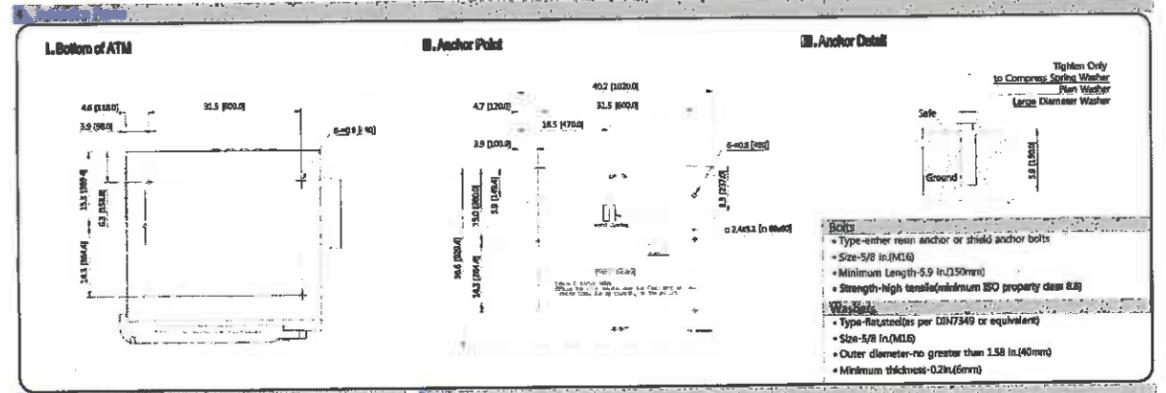
Huntington Bank
 Worthington Office DU
 800 N. High St.
 Worthington, OH 43085

1 Topper Cutsheet
 A.2 Scale: N.T.S

HYOSUNG TNS INC. MX8300I_LEVEL-1



HYOSUNG TNS INC. MX8300I_LEVEL-1



I. The power for the site
 • 100-127V(ac)±10%, Max 12A at 50/60(±3)Hz, Single-phase

II. Power Consumption

• Idle(Min)	HEATER OFF : 315W	HEATER ON : 1027W	AIRCON OFF : 315W	AIRCON ON : 630W
• Transaction (Max)	HEATER OFF : 440W	HEATER ON : 1153W	AIRCON OFF : 440W	AIRCON ON : 815W

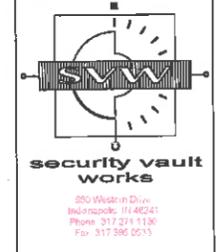
III. Thermal Output

• Idle(Min)	HEATER OFF : 1074.8 BTU/hr	HEATER ON : 3504.3 BTU/hr	AIRCON OFF : 1074.8W	AIRCON ON : 2151.0W
• Transaction (Max)	HEATER OFF : 1501.3 BTU/hr	HEATER ON : 3994.2 BTU/hr	AIRCON OFF : 1501.3W	AIRCON ON : 2782.7W

Note 1: MX7800IA/IR ATM must have a dedicated 30A service

The power use depends on the number and type of devices present in the recycler/dispenser and the type of transactions the recycler/dispenser is performing

2 ATM Cutsheet
 A.2 Scale: N.T.S



James M. Hamill
 ARCHITECT
 600 Decker Drive
 Suite 170
 Irving, Texas 75038
 Phone: 972.714.1431
 Fax: 972.714.1282



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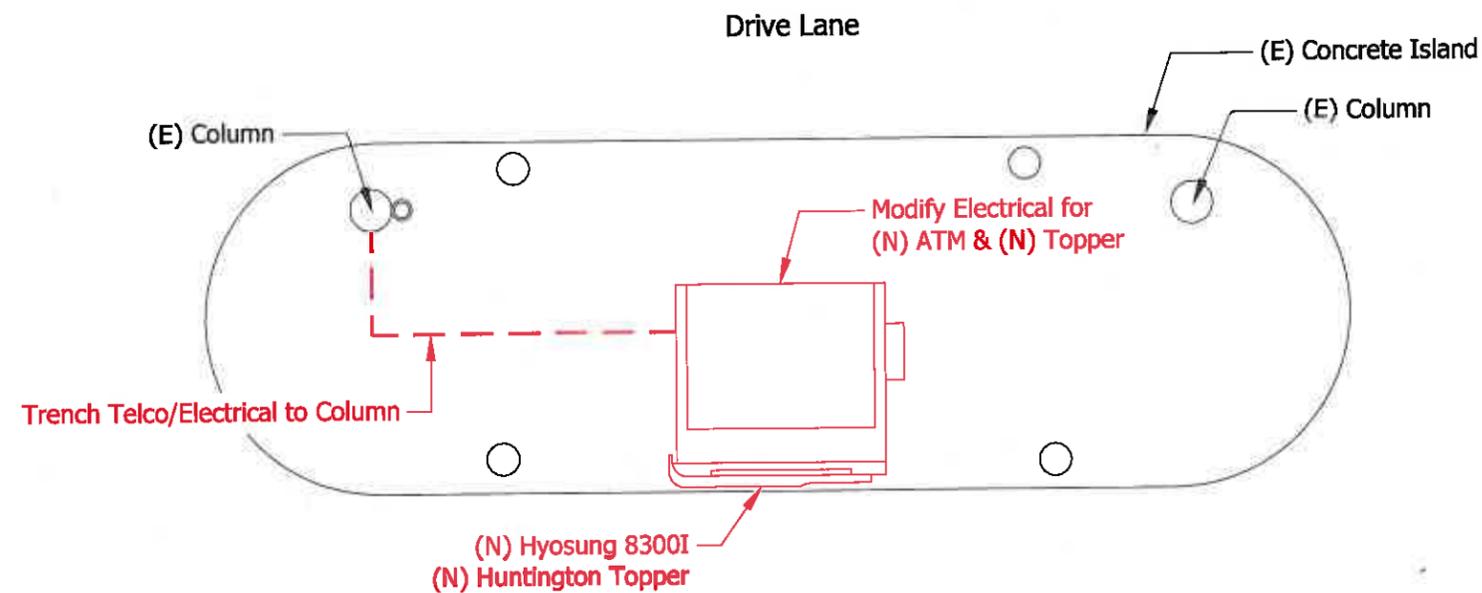
Date: 08/18/20 Drawn By: DEC

Revisions:
 A.2
 Drawing Number:
 A.2
 SVW Project Number: 18-20-2000

CITY OF WORTHINGTON

DRAWINGS NO. AR 71-2020

DATE 10/05/2020



ELECTRICAL NOTES:

- 2 CONDUITS
- 30AMP - #10
- 20AMP - #12
- (3) CAT6 DATA CABLES
- (1) ALARM WIRE

1 Electrical Plan
 A.3 Scale: 3/4" = 1'-0"

Huntington Bank
 Worthington Office DU
 800 N. High St.
 Worthington, OH 43085



James M. Hamill
 ARCHITECT
 880 Dexter Drive
 Suite 170
 Indianapolis, IN 46222
 Phone: 317.271.4139
 Fax: 317.271.0982



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Date: 08/19/20 Drawn By: DEC

Revisions:
 △ △
 △ △

Drawing Number:
A.3
 SVW Project Number: 16-20-2000



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 722020
Date Received	10-18-2020
Fee	\$2.00
Meeting Date	10-22-2020
Filing Deadline	
Receipt #	19198

- Property Location** PID# 100-005055-00 6733 N High Parcel 100006796
- Present/Proposed Use** PARKING LOT / CHILD DAY CARE
- Zoning District** C-3 Sign contractor Rep:
- Applicant** SAMATHA ELLIOTT Nancy Radke
Address 2990 OLD PATH ROAD, BLACKLICK, OH 43004 1184 Bonham Ave
Phone Number(s) 614.395.0023 Columbus OH
425-8508
Email goddardfix@sbcglobal.net nancyradke17@gmail.com
- Property Owner** JAVID PROPERTIES CO.
Address 229 E. STATE STREET, COLUMBUS, OH 43215
Phone Number(s) 614.224.6105
Email randy@schoedinger.com
- Project Description** THE GODDARD SCHOOL - EARLY CHILDHOOD EDUCATION CENTER
Signage request - building & monument (see details supplied)
- Project Details:**
 - Design** Signage request - building & monument (see details supplied)
 - Color** Signage request - building & monument (see details supplied)
 - Size** Signage request - building & monument (see details supplied)
 - Approximate Cost** \$2000 **Expected Completion Date** 03/15/21

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
 Applicant (Signature)

10.02.2020
 Date

Nancy Radke 10-8-2020

[Signature]
 Property Owner (Signature)

10.02.2020
 Date

Abutting Property Owners
for
6699 N. High St.

Ethan Allen	6767 N. High St5.	Worthington, OH 43085
All Saints Evangelical Lutheran Church	6760 N. High St.	Worthington, OH 43085
Anthem Inc.	6740 N. High St.	Worthington, OH 43085
Christine Miller	4161 Rowanne Rd.	Columbus, OH 43214
Matthew & Brooke Reid	6680 Hayhurst St.	Worthington, OH 43085
David & Martha Werner	6690 Hayhurst St.	Worthington, OH 43085
Palmer Moore	6700 Hayhurst St.	Worthington, OH 43085
Michael & Teresa Mazeika	6710 Hayhurst St.	Worthington, OH 43085
Thomas Gjostein	6720 Hayhurst St.	Worthington, OH 43085
John & Shannon Kemp	6730 Hayhurst St.	Worthington, OH 43085



**City of Worthington
Supporting Statement - 07-Oct-20**

We, Sam & Rex Elliott, have been Goddard School franchise operators since 2004. We opened our first location in Worthington Hills in 2004 and our second location in Grove City in 2005. We still operate both of those facilities and enjoy making a difference in the lives of young children.

All of the plans have been previously submitted and approved through the ARB and MPC and have been approved. This submission is merely additional information provided by the sign vendor for the monument sign and the building signage.

We have included the originally approved site plan and monument sign dimensions along with an elevation of the monument sign for your review and approval.

We appreciate the Board's consideration of our application and are happy to answer any questions.

Sincerely,

Samantha & Rex Elliott
Owners - The Goddard School Worthington & Grove City

CITY OF WORTHINGTON

DRAWINGS NO. AR 72-2020

DATE 10/08/2020

6733 N. High St.





TO: City of Worthington
Planning and Building Dept.
374 Highland Ave.
Worthington, OH 43085

ATTN: Architectural Review Board

RE: Certificate of Appropriateness of Signage for 6733 N. High St. "The Goddard School"

DATE: 10/4/2020

"The Goddard School" is seeking approval of their proposed signage at the above location. Per Chapter 1170 of the city's sign ordinance, this site is proposing (1) wall-mounted sign on the front (East elevation) of the building and (1) ground or free-standing sign perpendicular to High St.

The wall mounted signage will be made of high-density urethane (HDU) which is commonly used in the sign industry and very durable. "The Goddard School" letter set and logo will be mounted individually directly to the building front above the entry and be non-illuminated. The colors will be blue and white to comply with the Goddard School branding and compliment the building's painted and brick exterior. Front elevation area for signage is 35-SF. See drawings for details.

The ground or free-standing sign will also be constructed of high-density urethane (HDU). The upper part of the sign will be painted white with blue copy of the Goddard logo and name etched into the surface to give it definition. The bottom part of the sign will have painted blue band with white vinyl lettering for phone number and email address. Colors will comply with Goddard School branding and compliment the wall sign. This proposed sign is non-illuminated but could have external illumination if allowed by zoning. This sign will be mounted on a masonry base which will match the brick on the building. This proposed sign is double-side and has a graphic area of 26.67-square feet. See drawings for details.

Thank you for considering this sign project.

A handwritten signature in black ink, appearing to read 'Nancy Radke', with a stylized flourish at the end.

Nancy Radke – Sign Contractor Representative

PR Signs and Service LLC

1184 Bonham Ave.

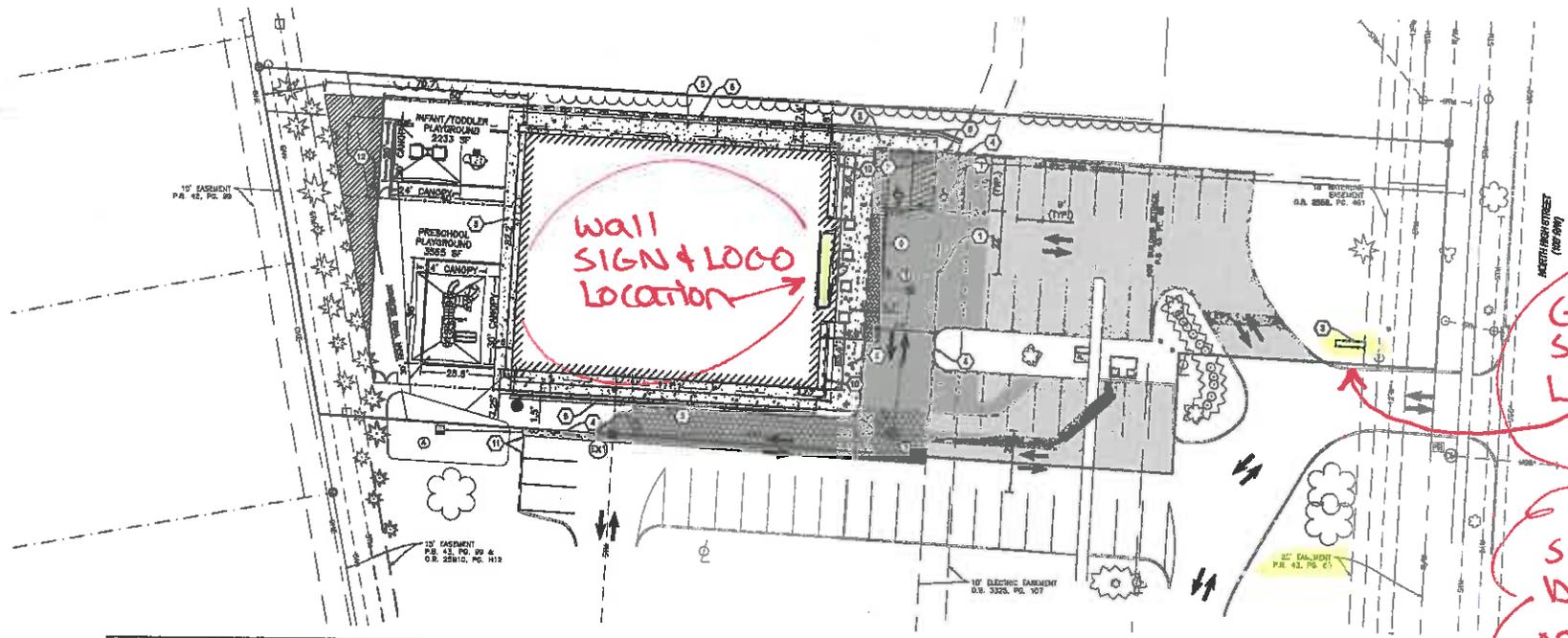
Columbus OH 43211

614-252-7090

CITY OF WORTHINGTON

DRAWINGS NO. AR 72-2020

DATE 10/08/2020



SANDS DECKER
ENGINEERS & SURVEYORS

OFFICES

128 East Main Street
Logan, Ohio 43138
740-363-2140

1495 Old Henderson Road
Columbus, Ohio 43220
614-457-6992

807 Main Street
Zanesville, Ohio 43701
740-450-1640

NOT FOR CONSTRUCTION

Kevin Smith 4/13/2020
Registered Engineer Date

SITE KEYNOTES

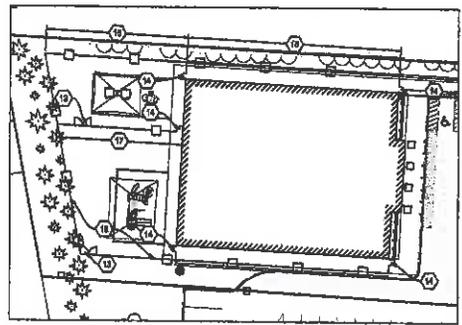
1. PAVEMENT MARKINGS INCLUDING PARKING SPACES TRANSVERSE LINES & ADA SYMBOLS PER ITEMS 641 & 642, TYP.
2. INTERIOR CURB & SIDEWALK, SEE DETAIL.
3. APPROPRIATE SIGNAGE SIGN LOCATION, SEPARATE PERMIT APPLICATION TO BE SUBMITTED.
4. STD. CONCRETE CURB, SEE DETAIL.
5. STD. CONCRETE SIDEWALK, SEE DETAIL.
6. ADA PARKING SIGNAGE, SEE DETAIL.
7. PRECAST CONCRETE WHEEL STOP, INSTALLED & SECURED PER MANUFACTURER'S RECOMMENDATIONS.
8. STRUCTURAL RETAINING WALL, SEE ARCHITECTURAL PLANS FOR DETAILS.
9. 7' TRAFFIC GRADE BOLLARDS AT FRONT OF BUILDING, SEE LANDSCAPING PLAN, INSTALL PER MANUFACTURER'S RECOMMENDATIONS, ACCOMPANIED BY A DECORATIVE SLEEVE, SEE DETAILS.
10. HEAVY TIMBER SHEDDER, SEE DETAIL.
11. 5" W/ DROPPED CURB FOR DRAINAGE, SEE GRADING PLAN.
12. 903 SF AREA OF REFUGE, MUST BE 50' MIN. FROM BUILDING WITH 6 SF PER OCCUPANT.
13. DOUBLE FENCE GATE.
14. SINGLE FENCE GATE.
15. MOULDED BARRIER FENCE ON TOP OF RETAINING WALL, SEE DETAILS.
16. 6" MOULDED BARRIER FENCE, SEE DETAIL.
17. 4" MOUNTAGE MAJESTIC DECORATIVE FENCE, SEE DETAIL.
18. 6" MOUNTAGE MAJESTIC DECORATIVE FENCE, SEE DETAIL.

MISC. NOTES

- ALL PARKING SPACES ADJACENT TO SIDEWALKS SHALL HAVE PARKING BLOCKS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- PERMEABLE PAVERS TO BE BEYOND COMMERCIAL INTERLOCKING PERMEABLE PAVEMENT SYSTEM OR EQUIVALENT. COLOR AND PATTERN TO BE SELECTED BY OWNER.

LEGEND

- STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL)
- HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL)
- PERMEABLE PAVERS (SEE DETAIL)
- STANDARD DUTY ASPHALT PAVEMENT TO BE MILLED & OVERLAYED
- DIRECTIONAL PARKING LOT ARROWS (FOR VISUAL AID ONLY)



EQUIPMENT NOTE

PLAYGROUND EQUIPMENT IS DESIGNED WITH THE PRIMARY COLORS BLUE, RED, GREEN AND YELLOW. DEVELOPERS OR PROFESSIONALS TO CONFIRM THAT THERE ARE NO RESTRICTIONS THAT WILL PREVENT THE INSTALLATION OF EQUIPMENT WITH THESE COLORS. DEVELOPERS OR PROFESSIONALS TO VERIFY WITH ANY GOVERNING BODY NOT LIMITED TO PLAYERS AND COACHES REGARDING ANY RESTRICTIONS ON THESE COLORS. ASSOCIATIONS AS WELL AS WITH AND NOT LIMITED TO THE REVIEW OF ARCHITECTS AND ENGINEERS. SEE MANUFACTURER'S CATALOG SYSTEMS, INC. (CEN) CAN PROVIDE COLOR SUBSTITUTIONS OF THE EQUIPMENT IF NECESSARY. PLEASE CONTACT YOUR OR REPRESENTATIVE IF THE PRIMARY COLORS ARE NOT PERMITTED.

SITE DATA TABLE

	SQ. FEET	ACRES
TOTAL SITE AREA:	44,303.08	1.014
TOTAL DISTURBED AREA:	27,605.24	0.638
INCREASE IN IMPERVIOUS AREA:	-17.67	-0.000

PROPOSED PARKING SUMMARY

PROPOSED PARKING PER GODDARD:	28
STANDARD PARKING (8'x19')	02
HANDICAP PARKING PROVIDED (INCLUDES 1 VMS ACCESSIBLE)	
TOTAL =	30
REQUIRED PARKING PER CODE:	
1 FOR EACH CLASSROOM	08
REQUIRED HANDICAP SPOTS	01
TOTAL =	10

Sign will be placed on other side of 25' easement

811
Know what's below. Call before you dig.

NORTH

GRAPHIC SCALE
1" = 20'

GODDARD PRE-SCHOOL
6733 N. HIGH STREET
WORTHINGTON, OH
43085

04-13-2020 SUBMITAL

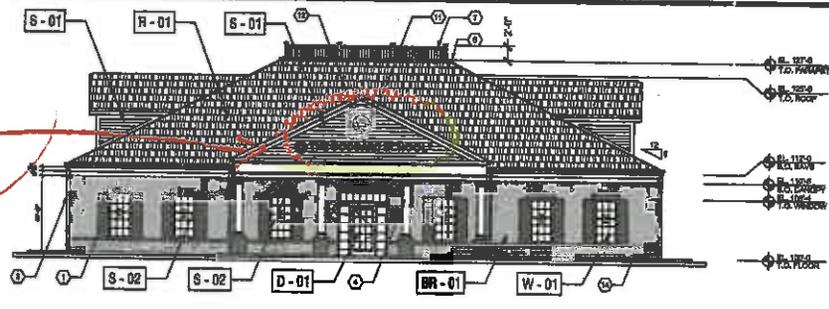
SITE DIMENSION PLAN
C4.1
SD PROJECT NO. 3869

CITY OF WORTHINGTON
DRAWINGS NO. AR 72-2020
DATE 10/08/2020

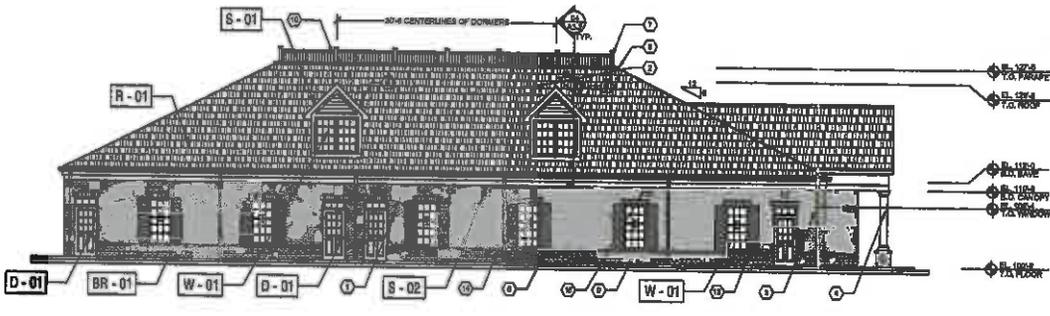
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Wall sign & Logo Location

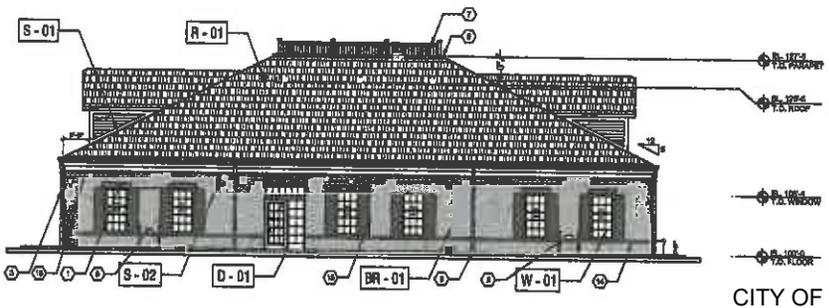
1 east elevation (high street)
SCALE 1/8" = 1'-0"



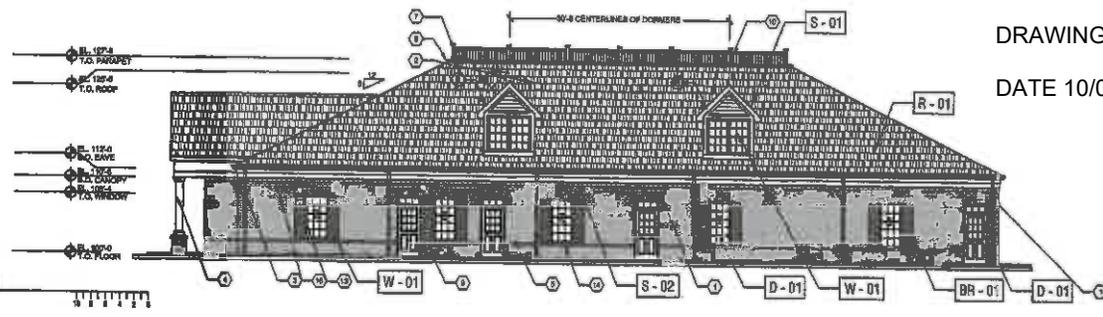
4 south elevation
SCALE 1/8" = 1'-0"



3 north elevation
SCALE 1/8" = 1'-0"



2 west elevation
SCALE 1/8" = 1'-0"



CITY OF WORTHINGTON
DRAWINGS NO. AR 72-2020
DATE 10/08/2020

EXTERIOR FINISH SCHEDULE

S-01	FACE BRICK	BASIS OF DESIGN: RED LAND, OR APPROVED EQ.	COLOR: ROSE FULL-RANGE (803)	NOTE: MODULAR SIZE
S-02	FIBERCEMENT LAP SIDING	BASIS OF DESIGN: HARDIEPLANK OR APPROVED EQ.	COLOR: ARCTIC WHITE	NOTE: 6" EXPOSURE, SMOOTH TEXTURE
S-03	FIBERCEMENT TRIM BOARD	BASIS OF DESIGN: HARDIEPLANK OR APPROVED EQ.	COLOR: ARCTIC WHITE	NOTE: VARYING HEIGHTS, SMOOTH TEXTURE
R-01	ARCHITECTURAL DIMENSIONAL ASPHALT SHINGLE	BASIS OF DESIGN: CERTAINTED, OR APPROVED EQ. 30-year	COLOR: BLACK PEARL	NOTE: 30-year
W-01	VINYL-COMPOSITE SINGLE-HUNG WINDOW	BASIS OF DESIGN: ANDERSEN 400 SERIES	COLOR: WHITE	NOTE: COLONIAL-GRID 3/4" MULLING BETWEEN GLASS & EXTERIOR GRILLE WORKS
D-01	EXTERIOR DOORS	TYPE: INSULATED METAL CLAD	COLOR: WHITE	NOTE: ALUM & HOLLOW METAL FRAME

GENERAL NOTES

- FIELD VERIFY ALL CONDITIONS.
- ALL NEW SIGNAGE TO BE IN COMPLIANCE WITH ZONING REQUIREMENTS SUBMITTED BY THE TENANT'S VENDOR UNDER A SEPARATE PERMIT.

CODED NOTES

- BRICK SOLDIER COURSE HEADER AT ALL OPENINGS.
- THROUGH-WALL ROOF SCUPPER FOR ROOF DRAINAGE OF MECHANICAL WELL, 12 X 12 SS
- DOWNSPOUT AND GUTTERS TO MATCH ALL TRIM AND SIDING
- ENDURA SERIES COLUMN COVER, NON-TAPERED, ROUND, PAINT TO MATCH TRIM.
- WATER BUBBLER. SEE PLAN FOR LOCATION
- WHITE 0.08" ALUM METAL EDGE AND COPING.
- WHITE AZEK VINYL RAIL & BALLISTER SYSTEM / RTU SCREENING.
- INTERIOR OF DORMERS TO BE FINISHED WITH GYP. & PAINTED BLACK, NO INTERIOR ILLUMINATION.
- MASONRY EXPANSION JOINTS TO BE LOCATED AT DOWNSPOUT LOCATIONS, OR NO MORE THAN 20'-0" APART, TYPICAL.
- RTU TO BE LOCATED ON LOWER FLAT ROOF. SEE MEP & STRUCT. FOR FINAL LOCATIONS.
- AZEK PALM CIRCULAR LOUVER, DIAMETER 8'-0". FINISH TO MATCH TRIM (TYP).
- PROPOSED WALL-MOUNTED SIGNAGE, 12" HIGH LETTERING, SHOWN FOR REFERENCE ONLY.
- FIXED VINYL SHUTTER @ ALL WINDOW OPENINGS. MATTE BLACK FINISH.
- SINGLE COURSE - BRICK WATER TABLE
- FULL CUT-OFF LED EXTERIOR LIGHT, SEE ELECTRICAL PLAN FOR ACTUAL LOCATIONS



FRANCHISEE
SAM & REX ELLIOTT

CONTRACT & SCHEDULE NO. 1000000000
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DATE BUILT: 04.10.20
EMPTY DATE: 12.31.21

1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5
6	6	6	6
7	7	7	7
8	8	8	8
9	9	9	9
10	10	10	10
11	11	11	11
12	12	12	12
13	13	13	13
14	14	14	14
15	15	15	15
16	16	16	16



PROJECT TITLE
THE GODDARD SCHOOL FOR EARLY CHILDHOOD DEVELOPMENT
6733 NORTH HIGH STREET
WORTHINGTON, OHIO 43085

EXTERIOR ELEVATIONS

A2.1

Letter and Icon Detail

36"

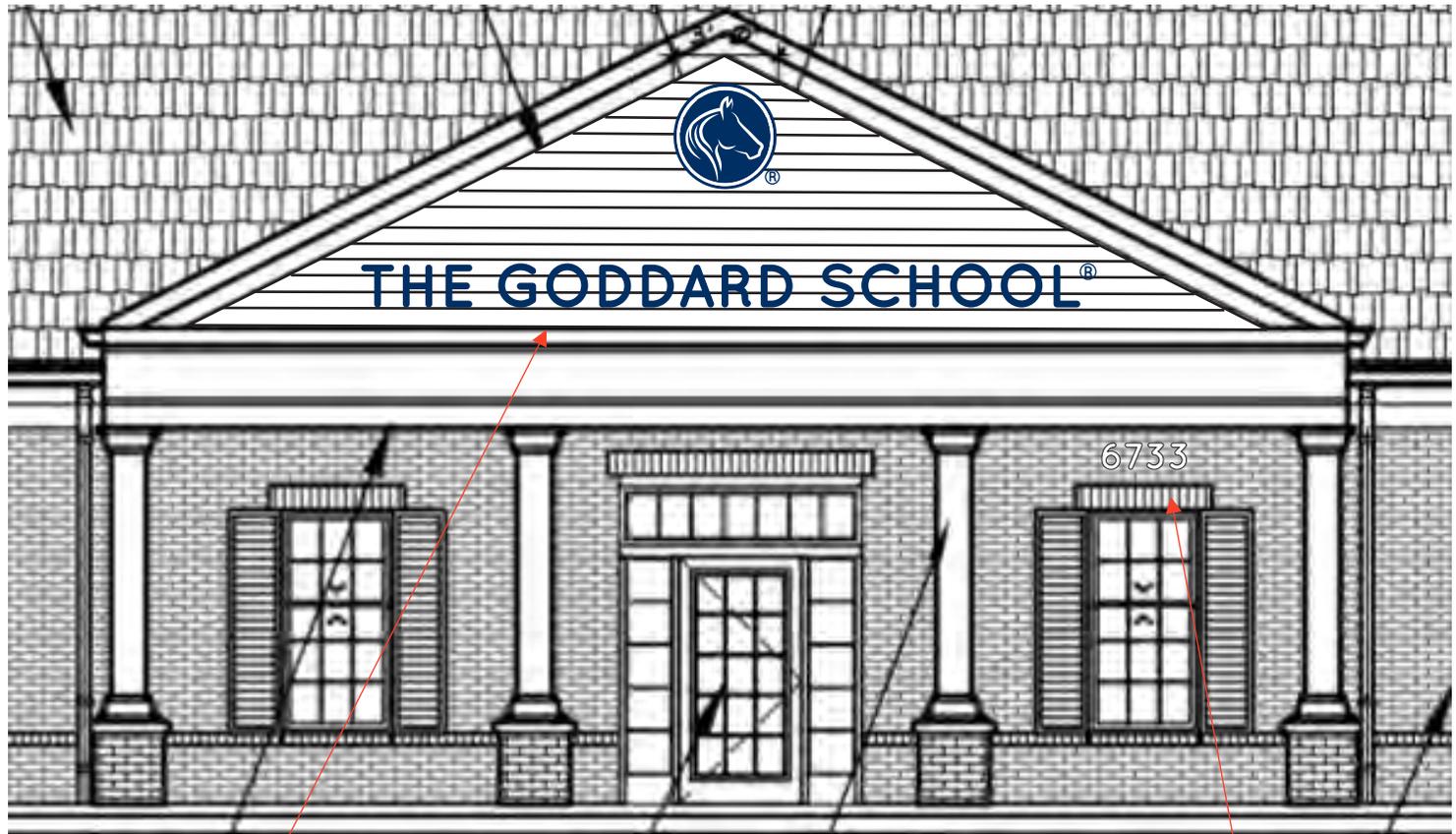


36"

THE GODDARD SCHOOL® | 15"

20'-9"

Not to scale



Goddard HDU custom logo and letter set, color-Goddard Blue to match PMS 295C, White

9" address numerals to match letter set, color-white to show on brick wall.

CITY OF WORTHINGTON

DRAWINGS NO. AR 72-2020

DATE 10/08/2020

Front Elevation
Area = 35 sq. ft.



11319 Laurel Brook Ct.
Riverview, FL 33569

SKETCH: #81220
SALESPERSON: TIM R.
DESIGNER: JAROD
DATE: 08/12/2020
REVISION:

DRAWN FOR
GODDARD SCHOOL
WORTHINGTON, OH

Scale-3/16" = 1'-0"

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SELECT SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.

Letter and Icon mounting detail

Goddard custom logo and letter set, High-Density Urethane -15lb density, color-Goddard Blue to match PMS 295C, non-illuminated.

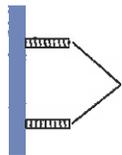
THE GODDARD SCHOOL® 15"

1" depth

20'-9"

25,94-SF

36"



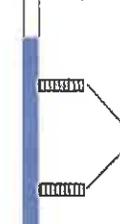
1/8" dia.x 4" length threaded aluminum studs, with silicone adhesive applied.

36"



1 1/2" depth

9-SF



1/8" dia.x 4" length threaded aluminum studs, with silicone adhesive applied.

All letters and icon segments are individual pieces. There is no backing behind either on the building surface. Letters and icon will be mounted to existing wall.

CITY OF WORTHINGTON

DRAWINGS NO. AR 72-2020

DATE 10/08/2020



2420 Bishops Bridge Rd
Knoxville, TN 37922

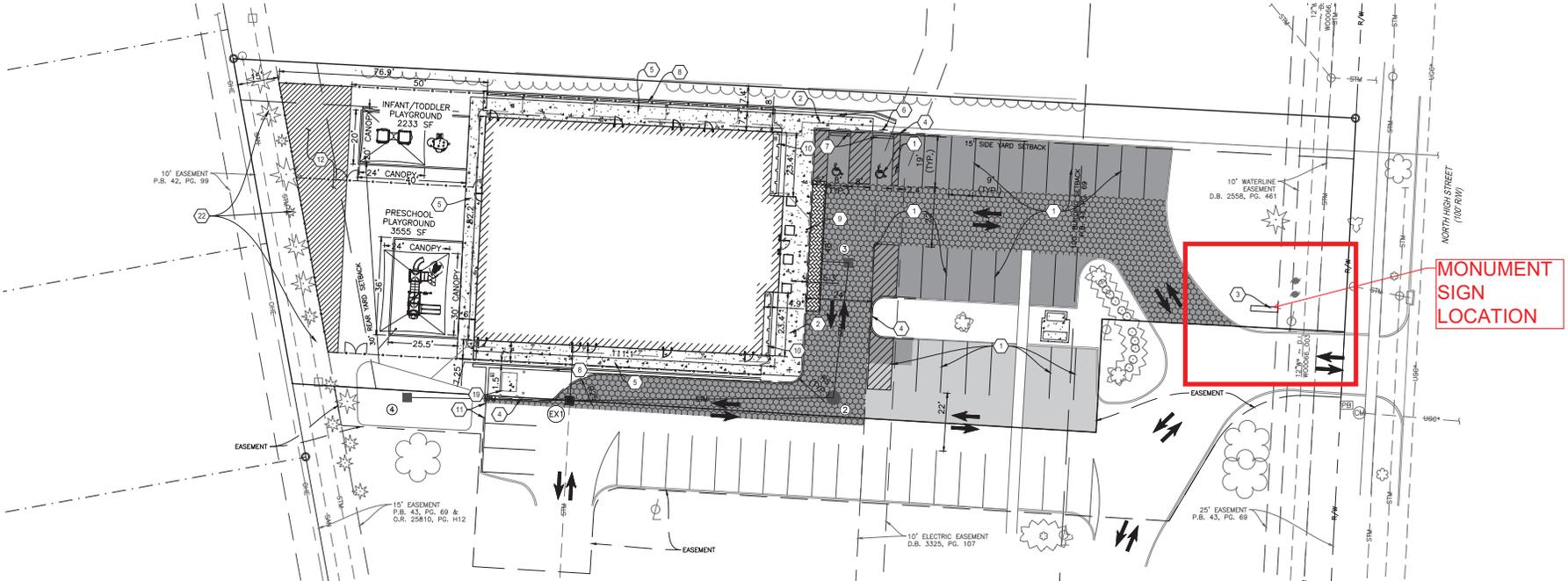
SKETCH: #CORP
SALESPERSON: TIM R.
DESIGNER: JAROD
DATE: 04/20/19
REVISION:

DRAWN FOR
GODDARD SCHOOL

Not to Scale

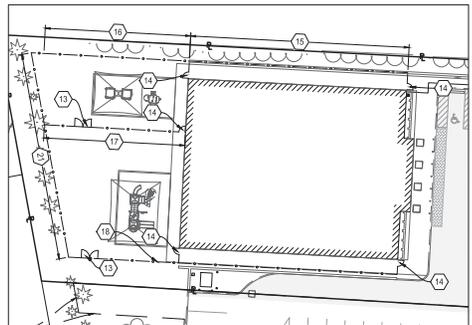
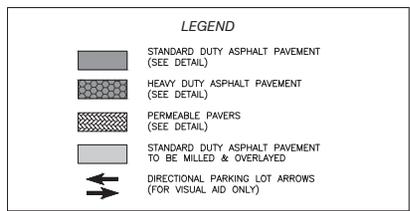
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MONUMENT SIGN LOCATION

- SITE KEYNOTES**
- PAVEMENT MARKINGS INCLUDING PARKING SPACES TRANSVERSE LINES & ADA SYMBOLS. SEE MISC. NOTES BELOW.
 - INTEGRAL CURB & SIDEWALK. SEE DETAIL.
 - APPROXIMATE MONUMENT SIGN LOCATION. SEPARATE PERMIT APPLICATION TO BE SUBMITTED.
 - STD. CONCRETE CURB. SEE DETAIL.
 - STD. CONCRETE SIDEWALK. SEE DETAIL.
 - ADA PARKING SIGNAGE. SEE DETAIL.
 - PRECAST CONCRETE WHEEL STOP, INSTALLED & SECURED PER MANUFACTURER'S RECOMMENDATIONS.
 - STRUCTURAL RETAINING WALL. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - TRAFFIC GRADE BOLLARDS AT FRONT OF BUILDING. SEE LANDSCAPING PLAN. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. ACCOMPANIED BY A DECORATIVE SLEEVE. SEE DETAILS.
 - HEAVY TIMBER BARRIER. SEE DETAIL.
 - 5' W DROPPED CURB FOR DRAINAGE. SEE GRADING PLAN.
 - 1,494 SF AREA OF REFUGE. MUST BE 50' MIN. FROM BUILDING WITH 5 SF PER OCCUPANT.
 - DOUBLE FENCE GATE.
 - SINGLE FENCE GATE.
 - MCCUE BARRIER FENCE ON TOP OF RETAINING WALL. SEE DETAILS.
 - 6' MCCUE BARRIER FENCE. SEE DETAIL.
 - 4' MONTAGE MAJESTIC DECORATIVE FENCE. SEE DETAIL.
 - 6' MONTAGE MAJESTIC DECORATIVE FENCE. SEE DETAIL.
 - 6" ELECTRIC TRANSFORMER PAD. COORDINATE ALL TRANSFORMER PAD CONNECTION & DETAILS WITH ELECTRICAL PLANS AND POWER COMPANY.
 - TRANSFORMER BOLLARDS. BOLLARDS TO BE PAINTED GREEN TO MATCH TRANSFORMER COVER. COORDINATE LOCATION AND NUMBER OF BOLLARDS WITH UTILITY PROVIDER.
 - 6" FENCE W/ SCREENING. SEE ARCHITECTURAL PLANS FOR SCREENING DETAILS.
 - NEW TREES TO BE PLANTED WITH WOVEN WEED BARRIER AND 2"-3" RIVER COBBLE GROUND COVER. SEE LANDSCAPING PLAN FOR ACTUAL TREE LOCATIONS & DETAILS.
- MISC. NOTES**
- TRAFFIC PAINT TO BE ODGT APPROVED, QUICK DRYING CHLORINATED-RUBBER ALKYO TYPE. COLOR AS APPROVED WITH GLASS BEADS. WHITE AND YELLOW TRAFFIC MARKING PAINT SHALL BE METHYL METHACRYLATE AND CONFORM TO AASHTO M 248. TYPE F. GLASS SPHERES FOR REFLECTORIZING TRAFFIC PAINT SHALL CONFORM TO AASHTO M 247, TYPE I, AND SHALL BE SUPPLIED BY A MOISTURE RESISTANT COATING.
 - ALL PARKING SPACES ADJACENT TO SIDEWALKS SHALL HAVE PARKING BLOCKS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - PERMEABLE PAVERS TO BE BELGARD COMMERCIAL INTERLOCKING PERMEABLE PAVER SYSTEM OR EQUIVALENT. COLOR AND PATTERN TO BE SELECTED BY OWNER.



EQUIPMENT NOTE

PLAYGROUND EQUIPMENT IS DESIGNED WITH THE PRIMARY COLORS BLUE, RED, GREEN AND YELLOW. DEVELOPER/DESIGN PROFESSIONAL TO CONFIRM THAT THERE ARE NO RESTRICTIONS THAT WILL NOT PERMIT THE INSTALLATION OF EQUIPMENT WITH THESE COLORS. DEVELOPER/DESIGN PROFESSIONAL TO VERIFY WITH ANY GOVERNING BODY NOT LIMITED TO PLANNING AND ZONING BOARDS, ARCHITECTURAL REVIEW BOARDS, OR HOME OWNERS ASSOCIATIONS AS WELL AS WITH AND NOT LIMITED TO THE REVIEW OF ANY COVENANTS AND RESTRICTIONS OR DESIGN GUIDELINES. GODDARD SYSTEMS, INC. (GSI) CAN PROVIDE COLOR ELEVATIONS OF THE EQUIPMENT IF NECESSARY. PLEASE CONTACT YOUR GSI REPRESENTATIVE IF THE PRIMARY COLORS ARE NOT PERMITTED.

SITE DATA TABLE

TOTAL SITE AREA:	SF	ACRE
	44,150.06	1.014
TOTAL DISTURBED AREA:	32,752.54	0.752
INCREASE IN IMPERVIOUS AREA:	-17.67	-0.000

PROPOSED PARKING SUMMARY

PROPOSED PARKING PER GODDARD:	
STANDARD PARKING (9'x19')	26
HANDICAP PARKING PROVIDED (INCLUDES 1 VAN ACCESSIBLE)	02
TOTAL =	28
REQUIRED PARKING PER CODE:	
1 FOR EACH CLASSROOM	08
REQUIRED HANDICAP SPOTS	01
TOTAL =	10

SANDS DECKER
ENGINEERS & SURVEYORS

OFFICES

128 East Main Street
Logan, Ohio 43138
740-385-2140

1495 Old Henderson Road
Columbus, Ohio 43220
614-459-6992

507 Main Street
Zanesville, Ohio 43701
740-450-1640

J. Scott Sande 7/01/2020
Registered Engineer Date



GODDARD PRE-SCHOOL
6733 N. HIGH STREET
WORTHINGTON, OH 43085

07-01-2020 RESUBMITTAL SET

SITE DIMENSION PLAN
C4.1

SD PROJECT NO. 3869

CITY OF WORTHINGTON
DRAWINGS NO. AR 72-2020
DATE 10/08/2020

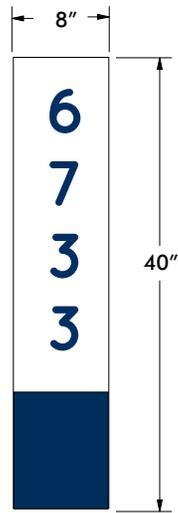
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S:\Other Architects\2020\Goddard Pre-School Worthington\01\Drawings\08\Goddard Pre-School Worthington_09/20/2020_11:28 AM

SIGN SPECIFICATIONS:
 MONUMENT SIGN-EXTERNAL ILLUMINATION IF ANY.
 DOUBLE FACED.
 HIGH-DENSITY URETHANE-PAINTED WHITE
 ETCHED BLUE UPPER COPY.
 PAINTED LOWER BLUE BAND WITH WHITE VINYL
 PHONE NUMBER AND WEB ADDRESS
 SIGN MOUNTED ON MASONRY BASE, WHICH WILL BE
 PERMITTED AND CONSTRUCTED BY OTHERS.

CITY OF WORTHINGTON
 DRAWINGS NO. AR 72-2020
 DATE 10/08/2020

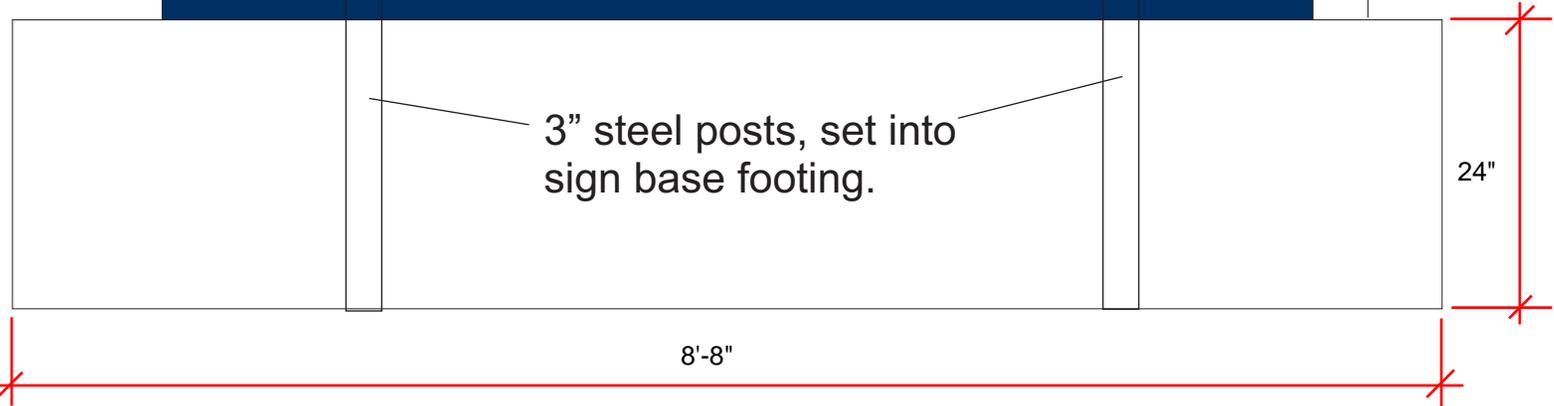
Cabinet side view



Blue 4" vinyl address numerals on sign edge facing street.



Stone base by others to match building stone.



SKETCH: #82620
 SALESPERSON: TIM R.
 DESIGNER: JAROD
 DATE: 08/26/2020
 REVISION:

DRAWN FOR
 GODDARD SCHOOL
 WORTHINGTON, OH

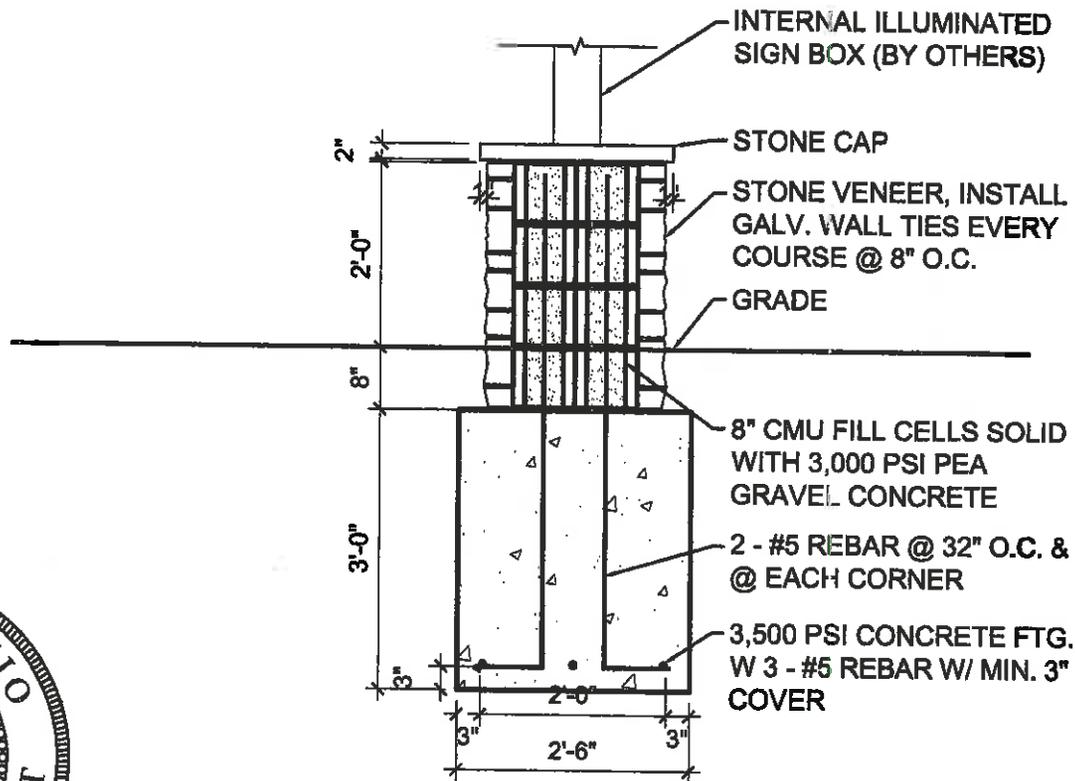
Scale-3/4" = 1'-0"

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SELECT SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.



11319 Laurel Brook Ct.
 Riverview, FL 33569



DATE SIGNED: 09.24.20
EXPIRY DATE: 12.31.21

CITY OF WORTHINGTON

DRAWINGS NO. AR 72-2020

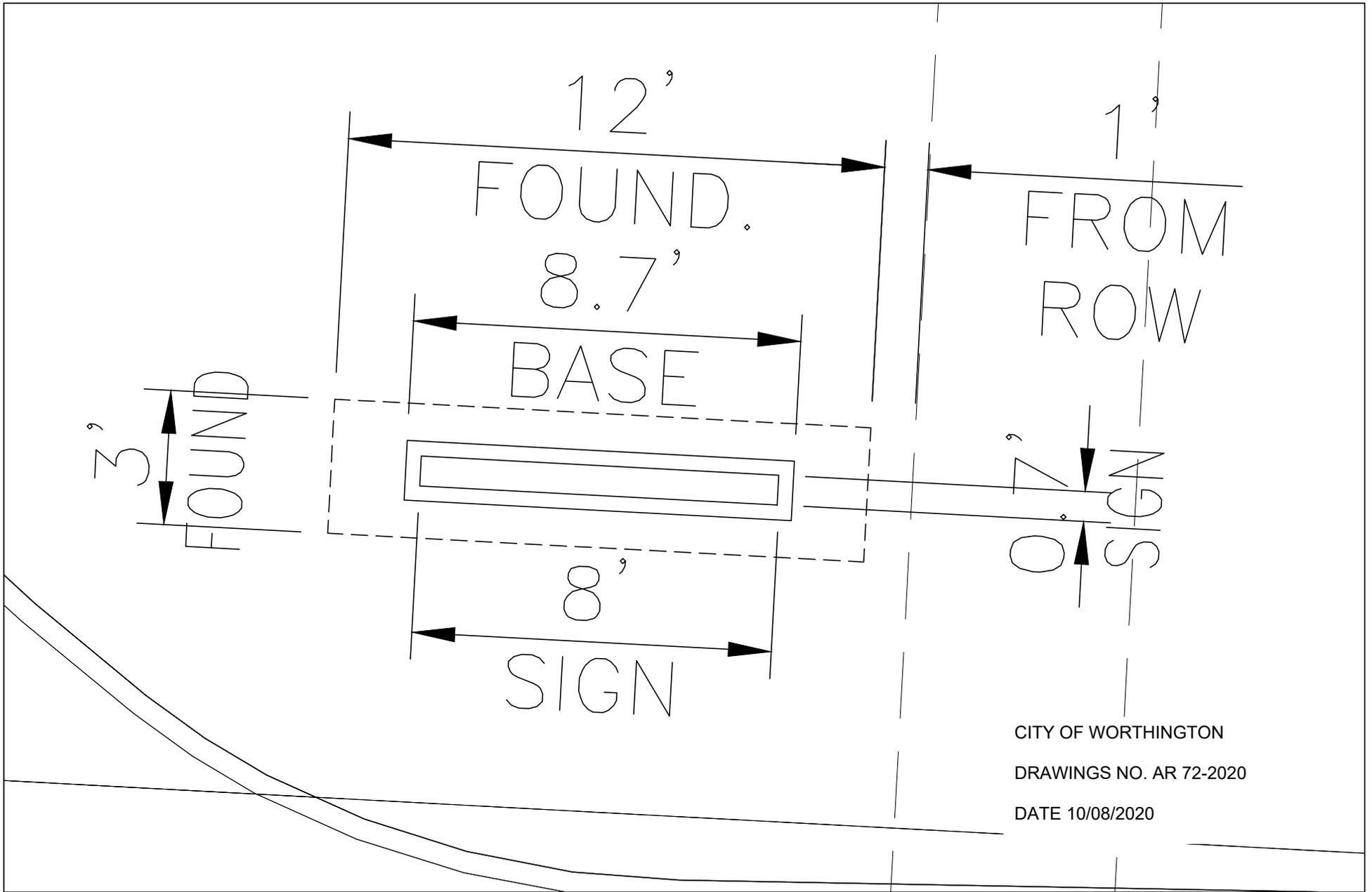
DATE 10/08/2020



673 HIGH STREET, SUITE 204
WORTHINGTON, OHIO 43085
614.436.0555
email - baker@bakerarchitects.com

PROJECT: THE GODDARD SCHOOL
ADDRESS: 3875 SOUTH GREEN RD, BEECHWOOD, OH 44122
SUBJECT: MONUMENT SIGN BASE
SCALE: 1/2" = 1'-0"
DATE: 09.24.20

SK-1



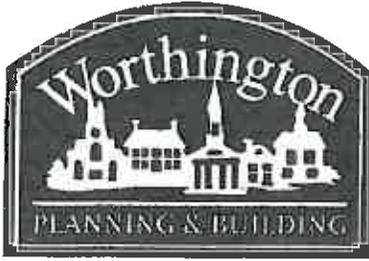
CITY OF WORTHINGTON
DRAWINGS NO. AR 72-2020
DATE 10/08/2020



673 High Street, Suite 204
Worthington, Ohio 43085
614.436.0555
email - baker@bakerarchitects.com

PROJECT: THE GODDARD SCHOOL - WORTHINGTON
SUBJECT: MONUMENT SIGN LOCATION
SCALE: NTS
DATE: 10.08.20

SK-1
SIGNAGE



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 73-2020
Date Received	10-09-2020
Fee	\$ 35.00
Meeting Date	10-22-2020
Filing Deadline	
Receipt #	

1. **Property Location** 5750 North High Street, Worthington, Ohio 43085

2. **Present/Proposed Use** School and Catholic Church, no change of use proposed

3. **Zoning District** S-1 Special

4. **Applicant** Christopher Meyers, AIA. Meyers + Associates Architecture

Address 232 North Third Street, Suite 300 Columbus, Ohio 43215

Phone Number(s) 614-221-9433

Email cmeyers@meyersarchitects.com

5. **Property Owner** The Catholic Diocese of Columbus
Fr. Anthony Dinovo, Pastor of St. Michael School and Parish
Sr. John Paul, Principal of St. Michael School

Address 5750 North High Street, Worthington, Ohio 43085

Phone Number(s) 614-885-7814

Email adinovo@saintmichael-cd.org,
srjp@cdeducation.org

6. **Project Description** Partial fence enclosure

7. **Project Details:**

a) **Design** See attached

b) **Color** Black wrought iron fencing with Hunter green wind screen fabric

c) **Size** 6'-0" in height

d) **Approximate Cost** \$35,000 **Expected Completion Date** December 1, 2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

10-7-2020
 Date

Property Owner (Signature)

10/8/2020
 Date

Abutting Property Owners List for
5750 N. High St.

Ann Bessler Pratt	15 Kenyon Brook Dr.	Worthington, OH 43085
Joseph Fiala & Mary Fristad	25 Kenyon Brook Dr.	Worthington, OH 43085
John & Joyce Knape	35 Kenyon Brook Dr.	Worthington, OH 43085
Graham & Alexandra Dixon	45 Kenyon Brook Dr.	Worthington, OH 43085
Mark Klebanoff & Sarah Keim	70 Kenyon Brook Dr.	Worthington, OH 43085
Robert & Ellen Padberg	80 Kenyon Brook Dr.	Worthington, OH 43085
Wallace F. Ackley Co.	695 Kenwick Rd.	Columbus, OH 43209
Resident	5627 Selby Ct.	Worthington, OH 43085
Resident	5621 Selby Ct.	Worthington, OH 43085
Resident	5617 Selby Ct.	Worthington, OH 43085
Resident	5607 Selby Ct.	Worthington, OH 43085
Resident	91 E. Selby Blvd.	Worthington, OH 43085
Resident	87 E. Selby Blvd.	Worthington, OH 43085
Resident	85 E. Selby Blvd.	Worthington, OH 43085
Resident	81 E. Selby Blvd.	Worthington, OH 43085
Resident	79 E. Selby Blvd.	Worthington, OH 43085
Resident	77 E. Selby Blvd.	Worthington, OH 43085
Resident	75 E. Selby Blvd.	Worthington, OH 43085
Resident	71 E. Selby Blvd.	Worthington, OH 43085
Resident	69 E. Selby Blvd.	Worthington, OH 43085
Resident	65 E. Selby Blvd.	Worthington, OH 43085
Resident	63 E. Selby Blvd.	Worthington, OH 43085
Resident	59 E. Selby Blvd.	Worthington, OH 43085
Resident	57 E. Selby Blvd.	Worthington, OH 43085
Resident	53 E. Selby Blvd.	Worthington, OH 43085
Resident	51 E. Selby Blvd.	Worthington, OH 43085
Resident	47 E. Selby Blvd.	Worthington, OH 43085
Resident	45 E. Selby Blvd.	Worthington, OH 43085
Sharon Square BGOG LLC	199 S. High St., Suite #100	Columbus, OH 43215
Tenant	5602 N. High St.	Worthington, OH 43085
Tenant	5600 N. High St.	Worthington, OH 43085
Sutton Properties Ltd.	205 E. South St.	Worthington, OH 43085
Key Bank	5633 N. High St.	Worthington, OH 43085
Tonti Organization	34 N. High St.	Columbus, OH 43215

ST. MICHAEL SCHOOL AND PARISH

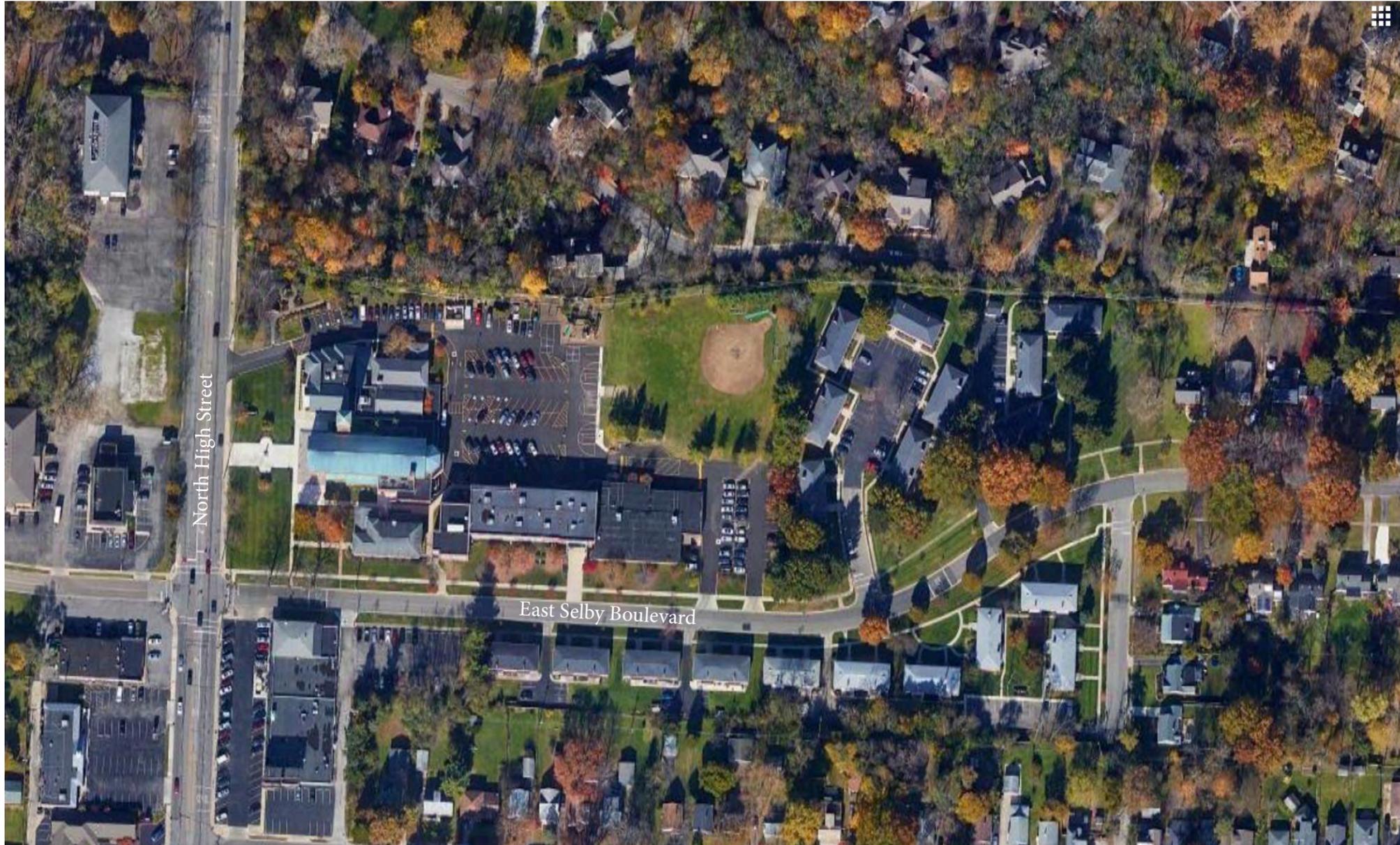
FENCE AND GATE PROJECT

WORTHINGTON, OHIO

OCTOBER 7, 2020

CITY OF WORTHINGTON
DRAWINGS NO. AR 73-2020
DATE 10/09/2020

meyers+associates
ARCHITECTURE



SITE AERIAL PHOTO

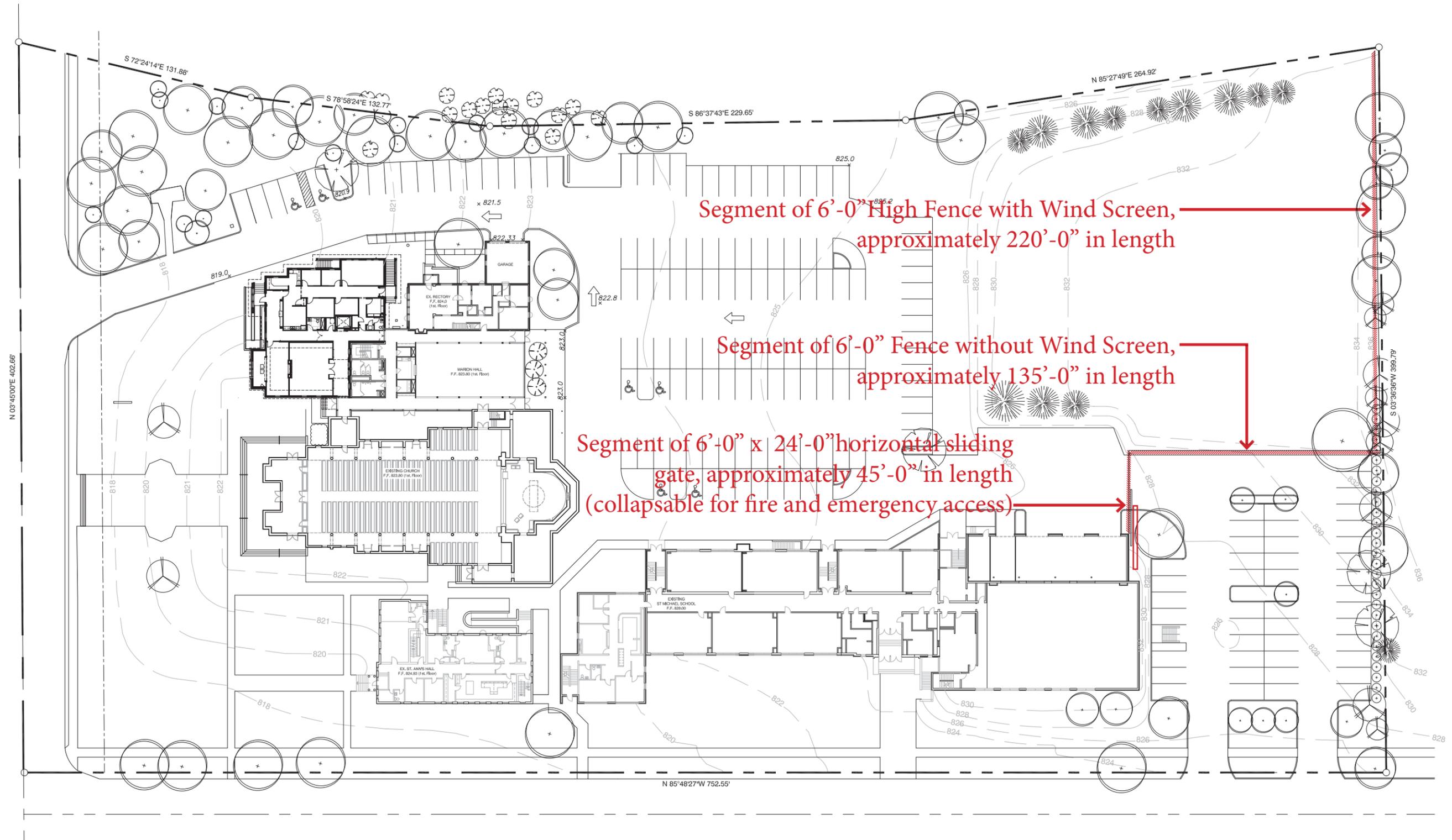
PROJECT DESCRIPTION

The project includes the partial enclosure of the site of the St. Michael School and Parish. The fence enclosure is to provide an elevated level of safety for the students defining the limits of their available outdoor space during recess and school exterior events and also to discourage pedestrians from cutting through the school grounds.

The enclosure, as defined in the following sheets, is to be a permanent, attractive and durable 6'-0" high black wrought iron with a motorized horizontal access gate at the entry drive with a wind screen along the east side of the baseball field.

A design concept is also included for incorporating school identity into the design of the driveway gate.

CITY OF WORTHINGTON
DRAWINGS NO. AR 73-2020
DATE 10/09/2020





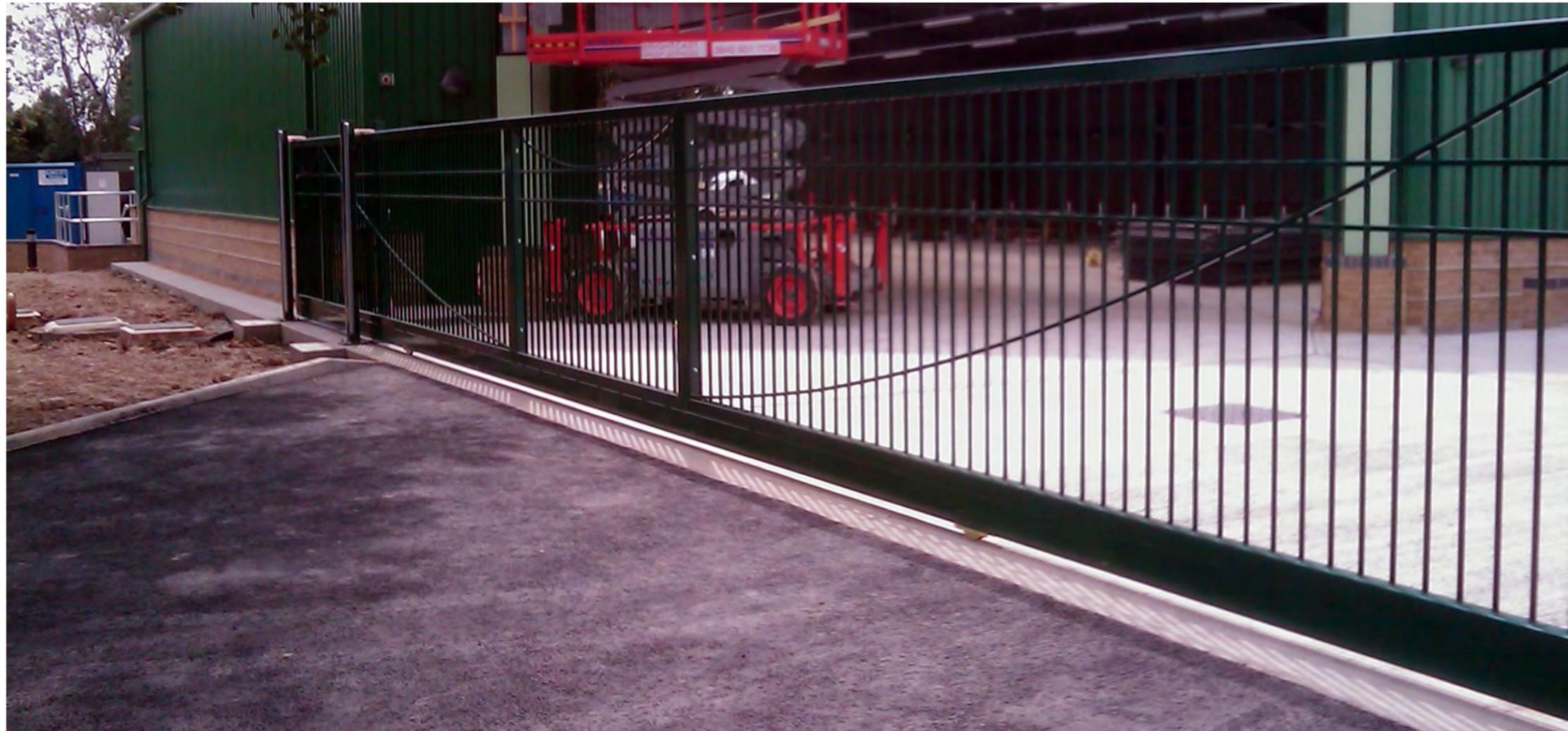
6'-0" BLACK WROUGHT IRON FENCE REFERENCE IMAGE



HUNTER GREEN SEMI TRANSPARENT WIND SCREEN REFERENCE IMAGE



DESIGN CONCEPT FOR HORIZONTAL GATE



MOTORIZED HORIZONTAL GATE AT ENTRY DRIVE REFERENCE IMAGE

CITY OF WORTHINGTON
DRAWINGS NO. AR 73-2020
DATE 10/09/2020



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 75-2020
Date Received	10/9/2020
Fee	\$50.00 pd
Meeting Date	10-22-2020
Filing Deadline	
Receipt #	69203

- Property Location 151 E Dublin Groveville Rd.
- Present/Proposed Use Residential / Residential
- Zoning District Worthington
- Applicant SBA Studios / AWITSKEW
 Address 1565 Dale Ford Rd
 Phone Number(s) 614.562.7761
 Email _____
- Property Owner Anne Witske
 Address 151 E Dublin Groveville Rd
 Phone Number(s) 937.924.0816
 Email annemwitske@gmail.com
- Project Description Continuation of approved case # AR 42-2020
+ deck, door modifications, larger driveway
- Project Details:
 - Design _____
 - Color See elevation & samples
 - Size + 353 SF
 - Approximate Cost \$225,000 Expected Completion Date 3/21

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
 Applicant (Signature)

10/9/20
 Date

[Signature]
 Property Owner (Signature)

10/9/20
 Date

Abutting Property Owners List for
151 E. Granville Rd

James & Carol Masters	160 E. Granville Rd.	Worthington, OH 43085
Sandra Masters	152 E. Granville Rd.	Worthington, OH 43085
Sharon Memorial Board	137 E. Granville Rd.	Worthington, OH 43085
Leasure Balckston Post 239 American Legion	700 Morning St.	Worthington, OH 43085
Robert and Carolyn Hayzlett	140 E. New England Ave.	Worthington, OH 43085
Charles Moore	174 E. New England Ave.	Worthington, OH 43085
Capital Real Estate and Management	9396 Concord Rd.	Powell OH 43085

151 E. Granville Rd.

Below is a list of items that have changed since the last submission:

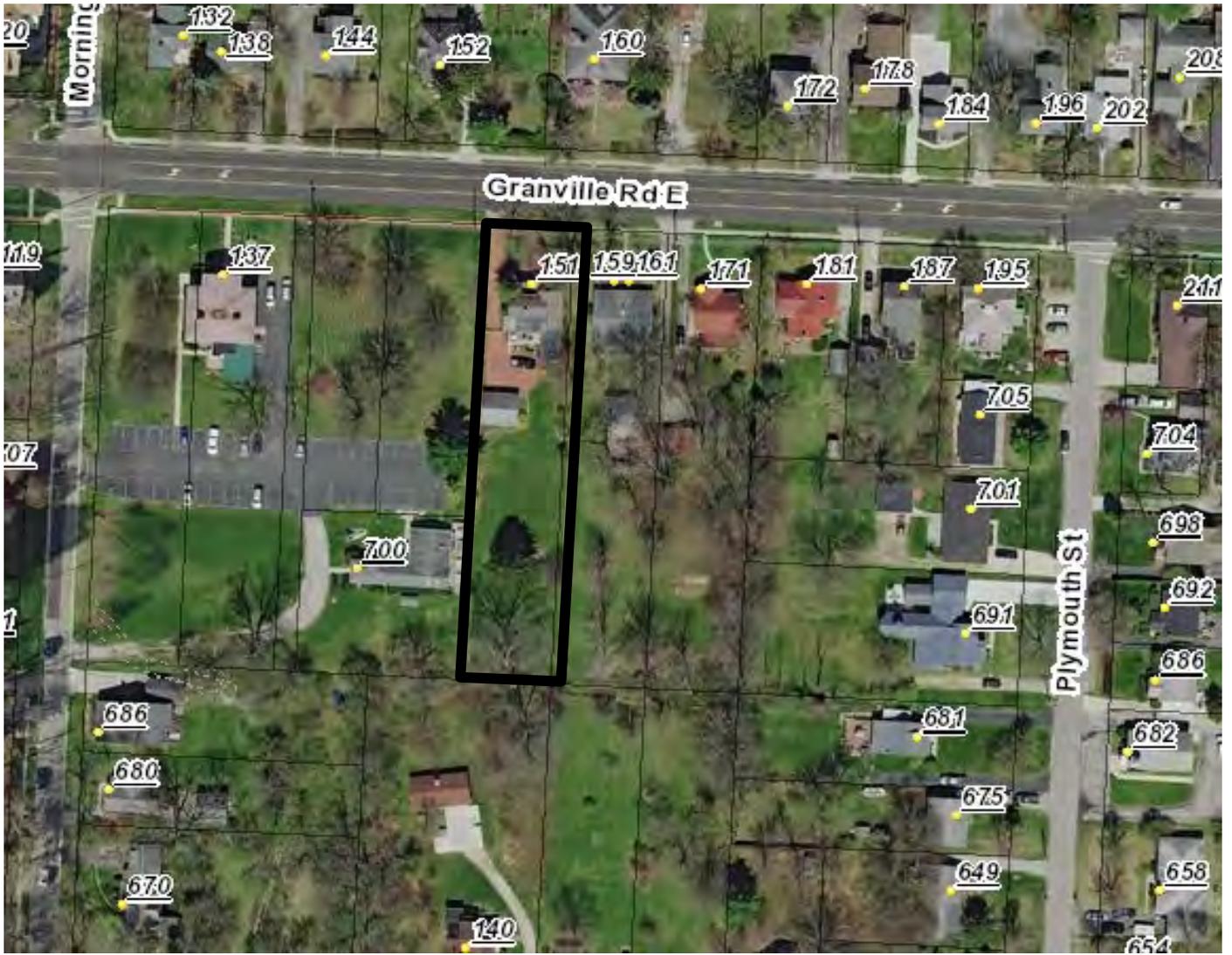
1. A few door and window revisions on the back addition.
2. New deck at rear
3. Larger driveway at rear
4. Removal of rear stoop and roof.
5. Removal of horizontal siding on 1-story existing addition, provide new siding to match existing house.
6. Change from horizontal siding on addition, provide new siding to match existing house.

CITY OF WORTHINGTON

DRAWINGS NO. AR 75-2020

DATE 10/09/2020

151 E. Granville Rd.





[Home](#) > [Products](#) > [Decking](#) > [TimberTech PRO](#) > [Terrain Collection™](#)

Terrain Collection™

The traditional hues in the PRO Terrain Collection range from solid to moderately varied and create a timeless look with a complex, rugged wood grain pattern designed to camouflage everyday wear and tear. Design your space with practical, scalloped decking that's the perfect combination of value and performance.

Color



Color Selected: Silver Maple

Sample Size

- 2' Sample
- 4" Sample

\$5.00



Add to cart

Share this color



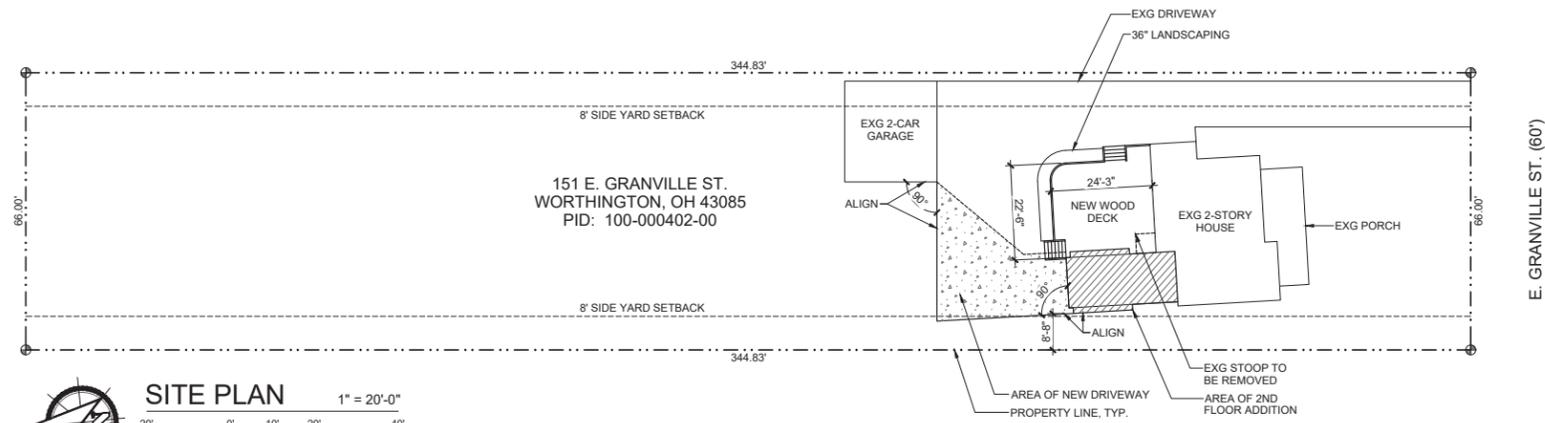
Parent Link Copied

★★★★☆ 4.0 (12) [Write a review](#)

CITY OF WORTHINGTON

DRAWINGS NO. AR 75-2020

DATE 10/09/2020



SITE PLAN 1" = 20'-0"



SITE PLAN NOTES:

THIS SITE PLAN WAS PREPARED WITH INFORMATION PROVIDED BY THE CLIENT & DATA OBTAINED FROM MUNICIPALITY OR COUNTY GIS. THIS SITE PLAN IS TO BE USED BY THE CLIENT FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT. ALL GRADES, LOCATIONS, AND INFORMATION PROVIDED WITHIN TO BE VERIFIED BY THE GENERAL CONTRACTOR & SURVEYOR PRIOR TO PROVIDING ANY SERVICES AT THIS LOCATION. THE USE OF THIS SITE PLAN FOR ANY OTHER PURPOSE BEYOND OBTAINING A BUILDING PERMIT FOR PLANS PROVIDED BY SBA-STUDIOS, LLC IS PROHIBITED.

CITY OF WORTHINGTON
 DRAWINGS NO. AR 75-2020
 DATE 10/09/2020

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

WITSKEN RESIDENCE
 151 E DUBLIN GRANVILLE ROAD
 WORTHINGTON, OHIO 43085



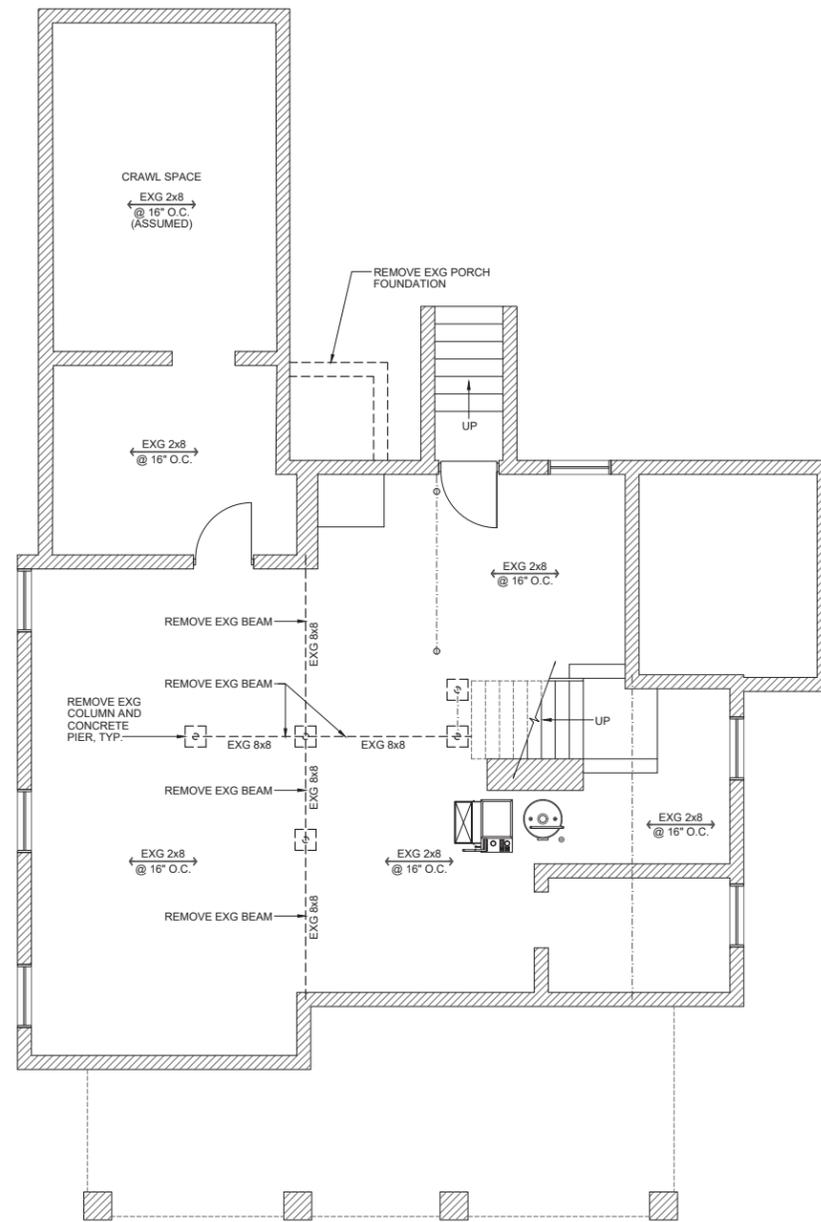
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SHEET # / DESCRIPTION
 ARCH. SITE PLAN

A0-1

DATE: 09.21.2020
 CONSTRUCTION DOCUMENTS
 SBA STUDIOS PROJECT # 2020-294

SCOTT BAKER, LICENSE #14654
 EXPIRATION DATE 12/31/2021



DEMOLITION NOTES

1. CONTRACTOR SHALL INVESTIGATE EXISTING STRUCTURE SO AS TO RECOMMEND ANY APPROPRIATE ACTION NEEDED TO ENSURE THE INTEGRITY OF THE EXISTING STRUCTURE
2. ELECTRICAL CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL SYSTEMS AND RECOMMEND IMPROVEMENTS.
3. CONTRACTOR TO VERIFY EXISTING STRUCTURE IS ADEQUATE AND IS IN THESE DRAWINGS, NOTIFY SBA STUDIOS, LLC IMMEDIATELY IN WRITING IF EXISTING STRUCTURE VARIES FROM WHAT IS SHOWN IN PLANS
4. CONTRACTOR TO VERIFY ALL WALLS WITH PROPOSED FLOOR PLAN LAYOUT. ADDITIONAL DEMOLITION, NOT SHOWN ON PLANS, MAY BE REQUIRED TO PERFORM WORK
5. USE ADEQUATE NUMBERS OF SKILLED WORKERS WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF WORK AND DEMOLITION
6. PRIOR TO DEMOLITION, CONTRACTOR, AND OWNER SHALL WALK THROUGH THE PROJECT SITE AND CREATE A WRITTEN LIST OF MATERIALS AND LANDSCAPING THAT ARE TO BE SAVED, OR REMOVED AND SAVED FOR USE BY OWNER, REMOVED AND SAVED FOR REINSTALLATION BY THE CONTRACTOR, AND/OR REMOVED AND SAVED FOR FILL. ALL OTHER MATERIALS NOT SO LISTED SHALL BE REMOVED FROM THE SITE IN AN APPROPRIATE AND SAFE MANNER IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

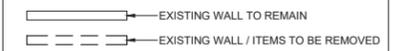
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DEMOLITION WALL LEGEND



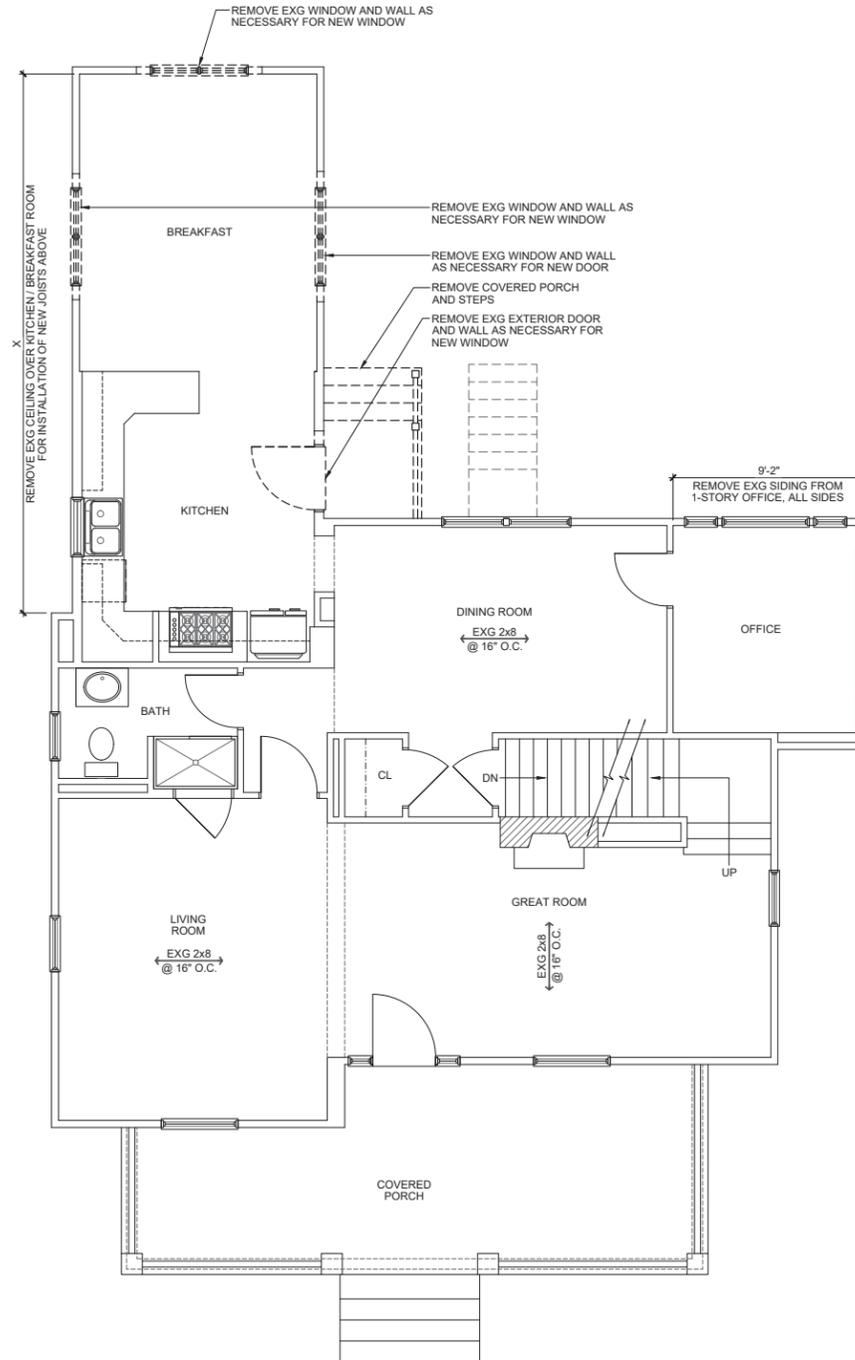
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WITSKEN RESIDENCE
 151 E DUBLIN GRANVILLE ROAD
 WORTHINGTON, OHIO 43085



CITY OF WORTHINGTON
 DRAWINGS NO. AR 75-2020
 DATE 10/09/2020

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	SHEET # / DESCRIPTION
	BASEMENT DEMO PLAN
	D1-0
DATE: 09.21.2020	CONSTRUCTION DOCUMENTS
SCOTT P. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021	SBA STUDIOS PROJECT # 2020-294



DEMOLITION NOTES

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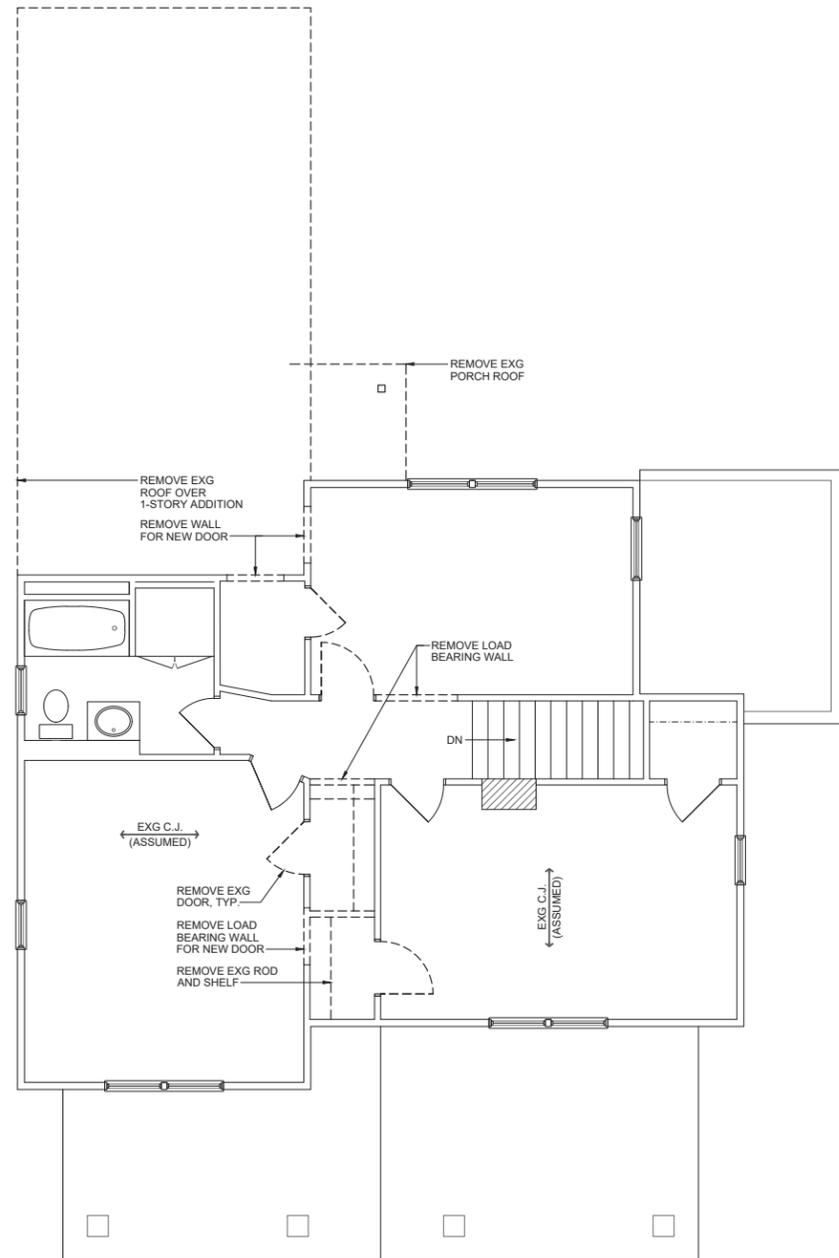
WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



CITY OF WORTHINGTON
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DATE 10/09/2020

SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
1ST FLOOR DEMO PLAN
D1-1
DATE: 09.21.2020
CONSTRUCTION DOCUMENTS
SBA STUDIOS PROJECT # 2020-294

STATE OF OHIO
REGISTERED ARCHITECT
SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2021



DEMOLITION NOTES

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DEMOLITION WALL LEGEND

- EXISTING WALL TO REMAIN
- - - EXISTING WALL / ITEMS TO BE REMOVED

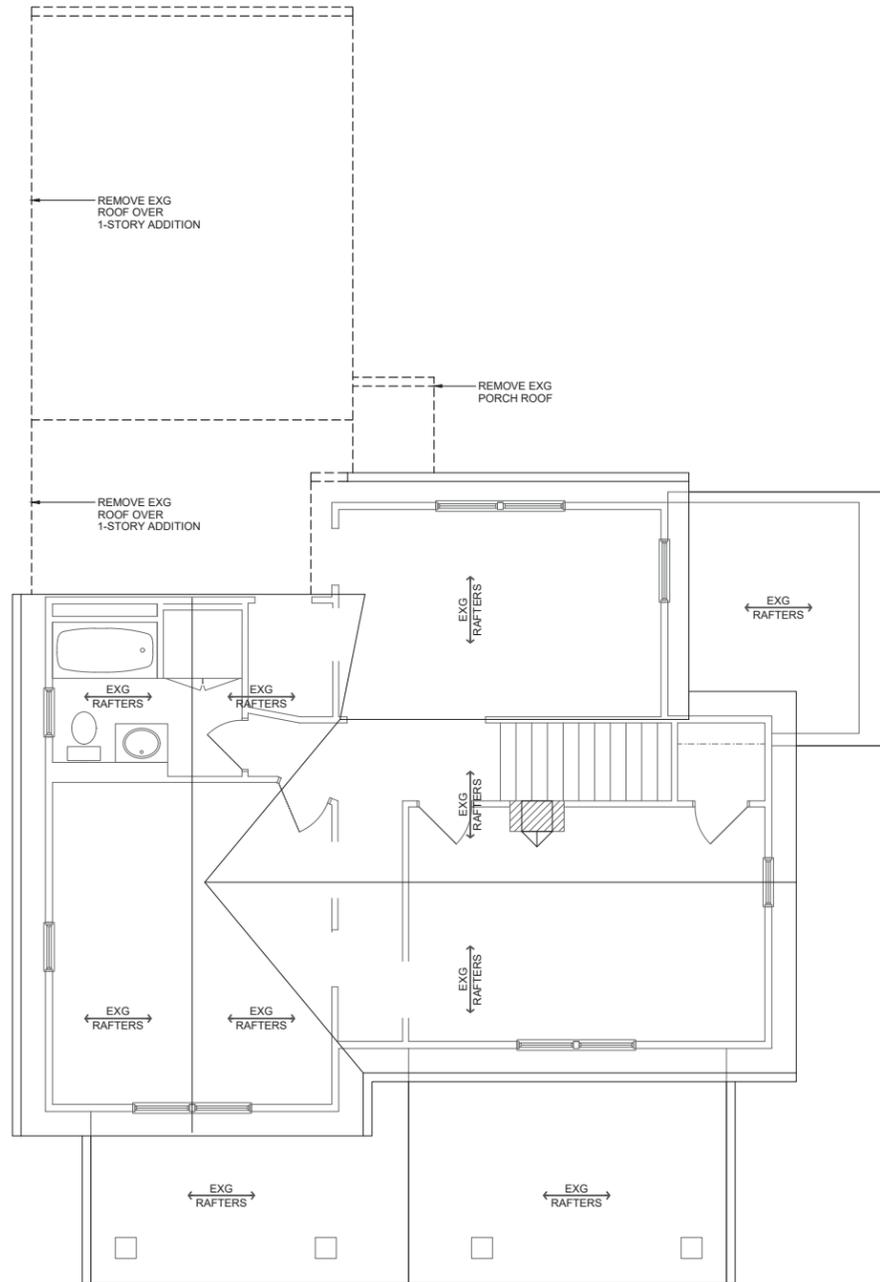
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CITY OF WORTHINGTON
DRAWINGS NO. AR 75-2020
DATE 10/09/2020

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	2ND FLOOR DEMO PLAN
	D1-2
DATE: 09.21.2020	CONSTRUCTION DOCUMENTS
SCOTT P. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021	SBA STUDIOS PROJECT # 2020-294



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2. AFTER UNCOVERING THE WORK, INSPECT EXISTING CONDITIONS AFFECTING INSTALLATION OF NEW WORK.
3. IF UNCOVERED CONDITIONS ARE NOT ANTICIPATED, IMMEDIATELY NOTIFY SBA STUDIOS, LLC IN WRITING AND SECURE NEEDED DIRECTIONS. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED.
4. PROVIDE ALL REQUIRED PROTECTION INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF THE WORK AND ANY ADJOINING STRUCTURES, PUBLIC WALKWAYS AND STREETS.
5. PERFORM ALL REQUIRED EXCAVATING AND BACK FILLING AS REQUIRED. PERFORM CUTTING, REMOVAL AND DEMOLITION WORK BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER PORTIONS OF THE WORK AND SURROUNDING PUBLIC, PERSONAL AND REAL PROPERTY.

NOTE TO CONTRACTORS

1. IT IS VERY DIFFICULT TO CONFIRM EXACT EXISTING, PRE-BUILT ARCHITECTURAL CONDITIONS SUCH AS ROOF PITCHES, TOPOGRAPHIES, ENCLOSED STRUCTURAL MATERIALS, AND EXISTING MECHANICAL AND PLUMBING CONDITIONS. IF DISCREPANCIES OR CONFLICTS BETWEEN NEWLY DESIGNED SPACES AND EXISTING PORTIONS APPEAR, NOTIFY SBA STUDIOS, LLC IN WRITING IMMEDIATELY AND BEFORE CONTINUING CONSTRUCTION. CONTINUING CONSTRUCTION COULD LEAD TO ADDITIONAL AND POTENTIALLY EXPENSIVE ACCUMULATIVE CIRCUMSTANCES OCCURRING.

DEMOLITION WALL LEGEND

- EXISTING WALL TO REMAIN
- - - EXISTING WALL / ITEMS TO BE REMOVED

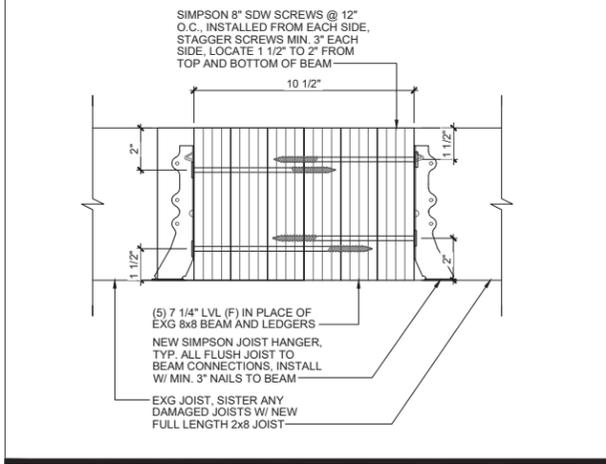
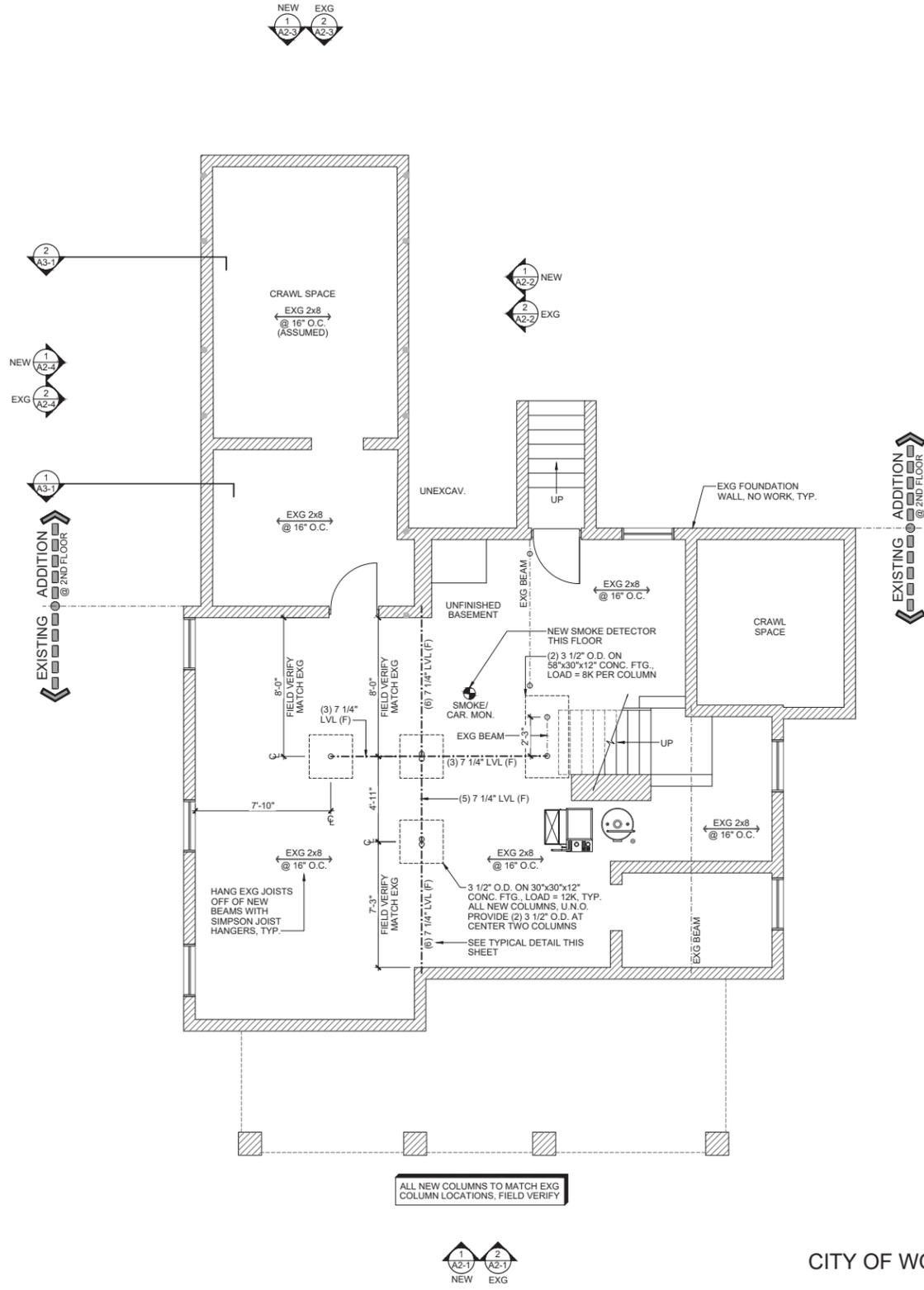
#	DATE	ISSUED WITH: CHANGE DESCRIPTION

WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



CITY OF WORTHINGTON
DRAWINGS NO. AR 75-2020
DATE 10/09/2020

	SCALE: 1/4" = 1'-0"
	SHEET # / DESCRIPTION
	ROOF DEMO PLAN
	D1-3
DATE: 09.21.2020	CONSTRUCTION DOCUMENTS
SCOTT P. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021	SBA STUDIOS PROJECT # 2020-294

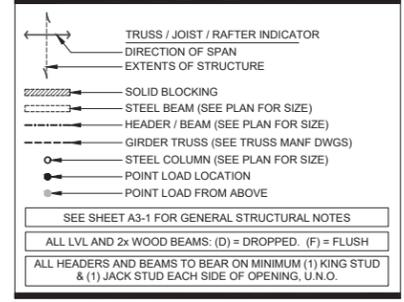


2 NEW BEAM DETAIL

FLOOR PLAN NOTES

- ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL UNLESS NOTED OTHERWISE.
- ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
- ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS ON GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQUARE FEET. EGRESS CLEAR OPENINGS ON ALL OTHER FLOORS SHALL BE A MINIMUM OF 5.7 SQUARE FEET.
- EGRESS WINDOWS TO HAVE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
- ALL ANGLED WALLS ARE 45 DEGREES U.N.O.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING FOR JUSTIFICATION AND / OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
- CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE, MASONRY, OR IN DIRECT CONTACT WITH THE GROUND.

STRUCTURAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

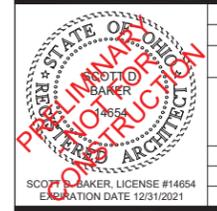
WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085

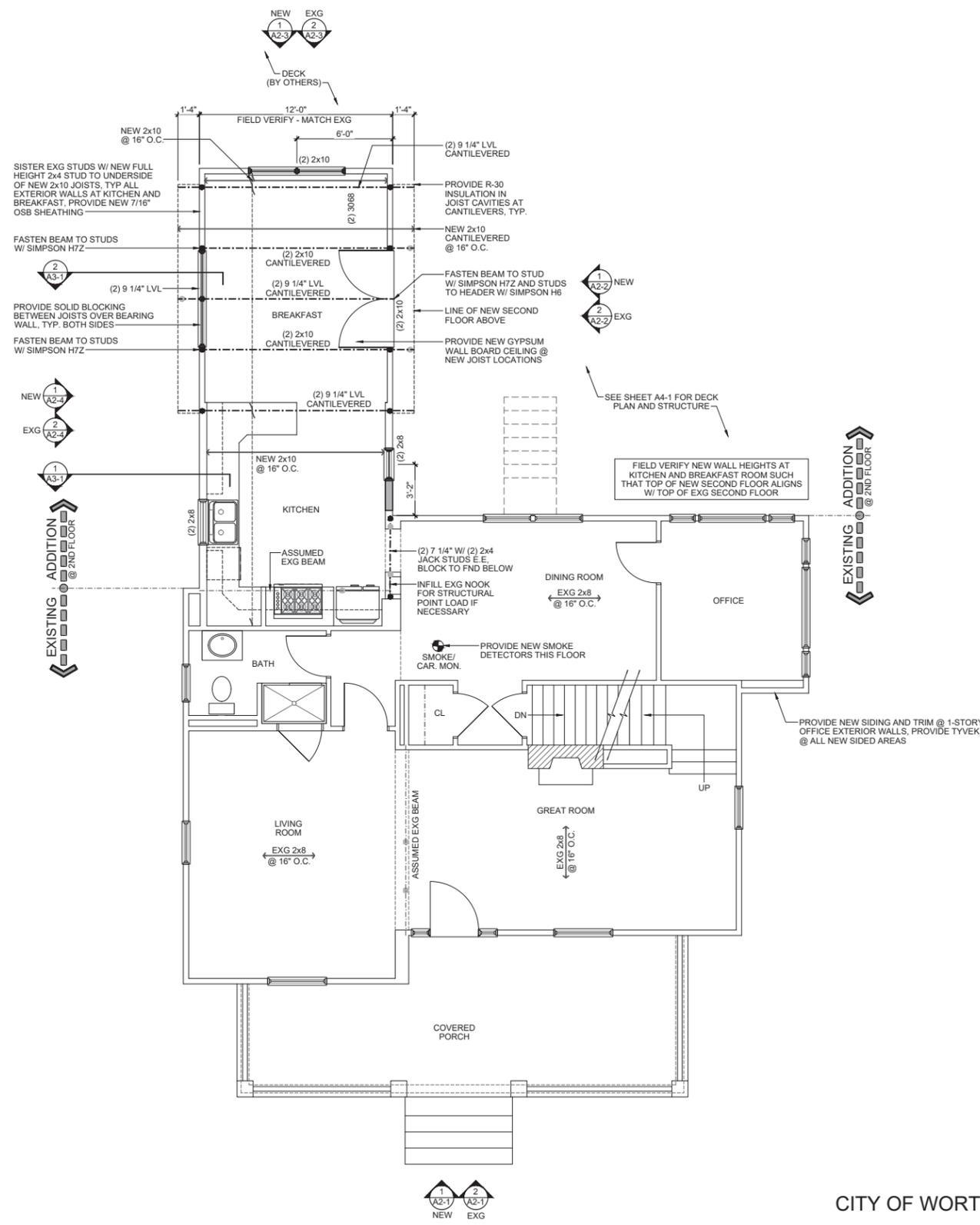


SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
BASEMENT PLAN
A1-0
DATE: 09.21.2020
CONSTRUCTION DOCUMENTS
SBA STUDIOS PROJECT # 2020-294

CITY OF WORTHINGTON
DRAWINGS NO. AR 75-2020
DATE 10/09/2020

- BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION.
- LVL SHEETS TO BE PROVIDED AT FRAMING INSPECTION.
- FOOTER REINFORCING SCHED (3" CLEAR FROM BOTTOM)
24"x24"x12" = NONE REQUIRED
30"x30"x12" = (3) #5 E.W.
36"x36"x12" = (3) #5 E.W.
42"x42"x12" = (4) #5 E.W.
48"x48"x12" = (4) #5 E.W.
54"x54"x12" = (5) #5 E.W.
60"x60"x12" = (6) #5 E.W.
- PROVIDE NEW SIMPSON JOIST HANGERS @ ALL FLUSH JOIST AND FLUSH BEAM CONNECTIONS
- SISTER ALL CUT, DAMAGED OR CRACKED EXISTING FLOOR JOISTS W/ NEW FULL LENGTH JOIST TO MATCH EXG SIZE, TYP.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.
- SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER. ALL SMOKE ALARMS TO USE IONIZATION AND PHOTOELECTRIC TECHNOLOGY ON ALL LEVELS. SMOKE ALARMS OUTSIDE OF BEDROOMS TO USE PHOTOELECTRIC TECHNOLOGY
- MOST CHEMICALS USED TO PRESSURE TREAT LUMBER HAVE BEEN FOUND TO BE INCOMPATIBLE WITH STANDARD GALVANIZED CONNECTORS, BOLTS AND SCREWS, AS WELL AS MANY PNEUMATIC NAIL PRODUCTS. WHEN SELECTING FASTENERS AND/OR CONNECTORS TO USE WITH TREATED LUMBER, CHECK FOR CORROSION COMPATIBILITY ISSUES. WHEN USING STAINLESS STEEL OR G-185 HOT DIPPED GALVANIZED METAL PRODUCTS, THE CONNECTORS AND FASTENERS MUST BE MADE OF THE SAME MATERIAL.

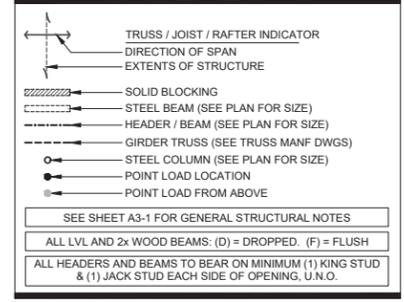




FLOOR PLAN NOTES

- ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL UNLESS NOTED OTHERWISE.
- ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
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STRUCTURAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION
FIRST FLOOR PLAN

A1-1

DATE: 09.21.2020

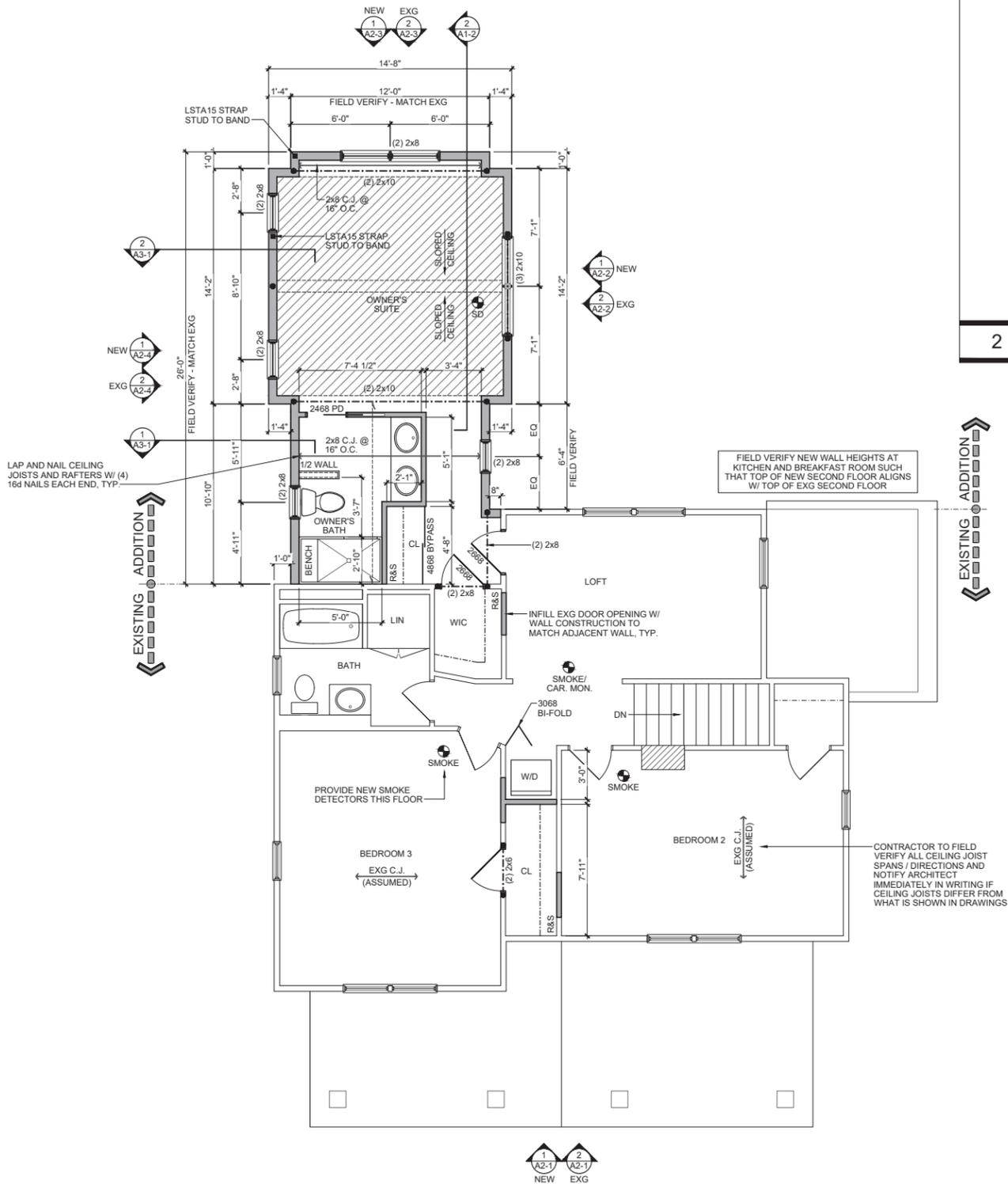
CONSTRUCTION DOCUMENTS

SBA STUDIOS PROJECT # 2020-294

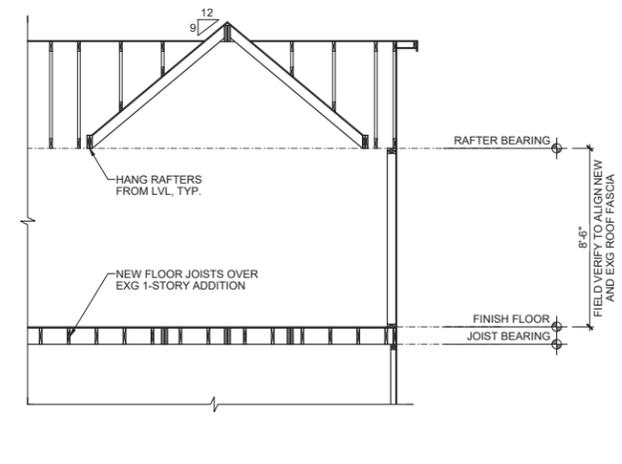
STATE OF OHIO
REGISTERED ARCHITECT
SCOTT BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2021

- LVL SHEETS TO BE PROVIDED AT FRAMING INSPECTION.
- BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION.
- ALL VERTICAL AND HORIZONTAL JOINTS IN THE EXTERIOR WALL SHEATHING ARE TO FALL ON A STUD, PLATE, BAND BOARD OR 2x BLOCKING
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.
- SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER. ALL SMOKE ALARMS TO USE IONIZATION AND PHOTOELECTRIC TECHNOLOGY ON ALL LEVELS. SMOKE ALARMS OUTSIDE OF BEDROOMS TO USE PHOTOELECTRIC TECHNOLOGY
- EXTERIOR BRACED WALL PANEL: CONTINUOUS SHEATHING, MINIMUM 7/16" OSB OR PLYWOOD PER CODE:
 - METHOD CS-WSP PER RCO 2019 TABLE 602.10.4 - ATTACHED PER TABLE 602.3(3)
 - RCO 2019 TABLE 602.10.1.3: BRACED WALL LINE SPACING 60 FT MAX WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATIO
 - RCO 2019 SECTION 602.4.2: CONTINUOUS SHEATHING
 - TABLE 602.10.5: MIN. PANEL LENGTHS

CITY OF WORTHINGTON
DRAWINGS NO. AR 75-2020
DATE 10/09/2020



2 SHELL SECTION



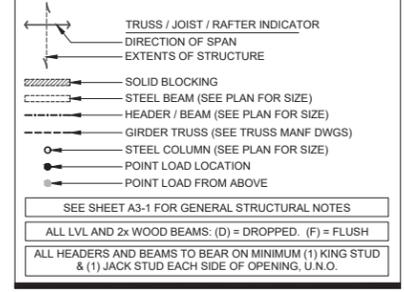
FLOOR PLAN NOTES

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WALL LEGEND



STRUCTURAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
SECOND FLOOR PLAN
A1-2
DATE: 09.21.2020
CONSTRUCTION DOCUMENTS
SCOTT BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2021
SBA STUDIOS PROJECT # 2020-294

LVL SHEETS TO BE PROVIDED AT FRAMING INSPECTION.

BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION.

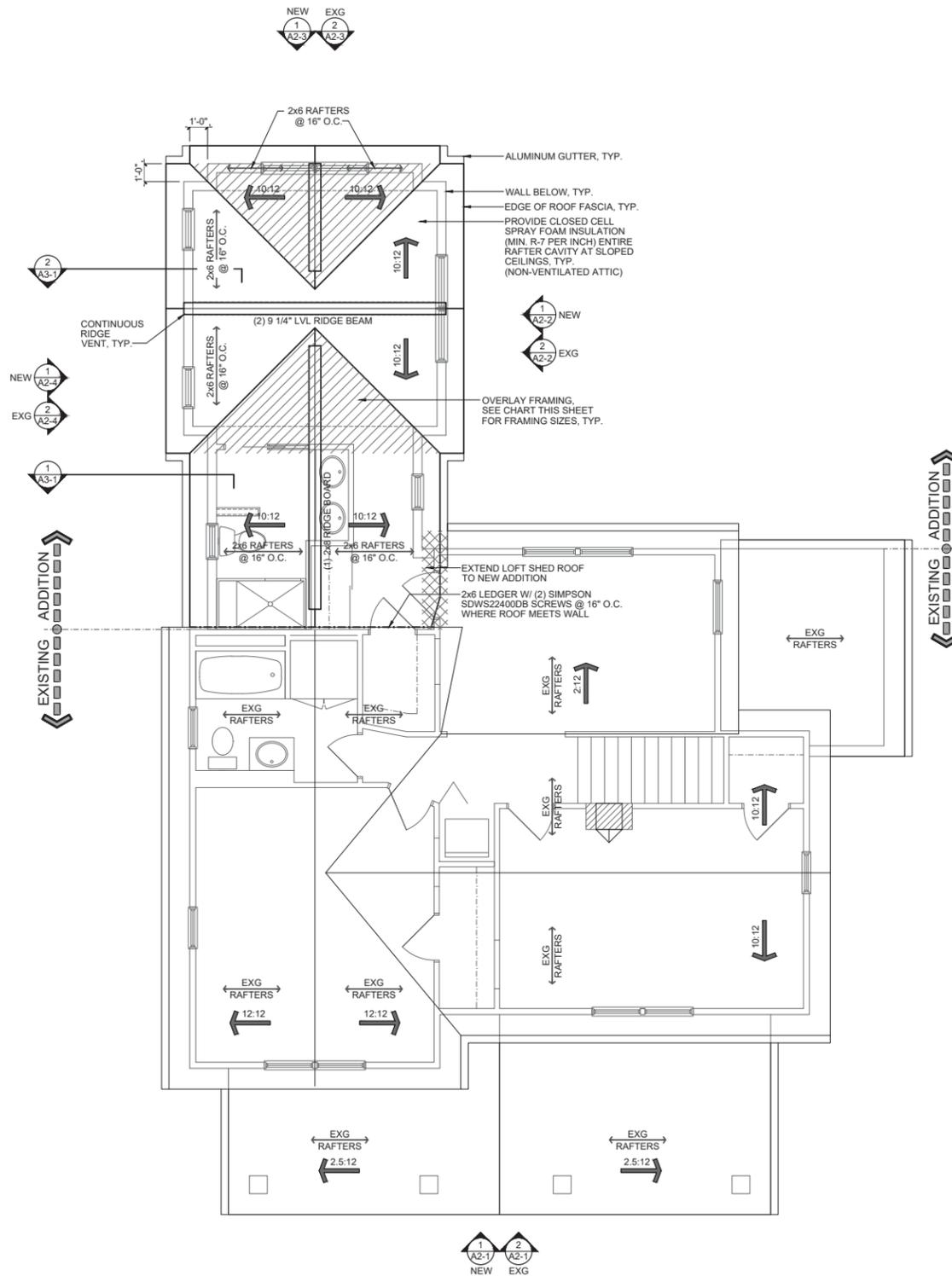
ALL VERTICAL AND HORIZONTAL JOINTS IN THE EXTERIOR WALL SHEATHING ARE TO FALL ON A STUD, PLATE, BAND BOARD OR 2x BLOCKING

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.

SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER. ALL SMOKE ALARMS TO USE IONIZATION AND PHOTOELECTRIC TECHNOLOGY ON ALL LEVELS. SMOKE ALARMS OUTSIDE OF BEDROOMS TO USE PHOTOELECTRIC TECHNOLOGY

EXTERIOR BRACED WALL PANEL: CONTINUOUS SHEATHING, MINIMUM 7/16" OSB OR PLYWOOD PER CODE:
• METHOD CS-WSP PER RCO 2019 TABLE 602.10.4 - ATTACHED PER TABLE 602.3(3)
• RCO 2019 TABLE 602.10.1.3: BRACED WALL LINE SPACING 60 FT MAX WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATIO
• RCO 2019 SECTION 602.4.2: CONTINUOUS SHEATHING
• TABLE 602.10.5: MIN. PANEL LENGTHS

CITY OF WORTHINGTON
DRAWINGS NO. AR 75-2020
DATE 10/09/2020



ROOF PLAN NOTES

- CONTRACTOR TO DETERMINE NUMBER, SIZE AND LOCATION OF DOWNSPOUTS PER CODE FOR PROPER ROOF DRAINAGE.
- FALSE CHIMNEYS, DORMERS, CUPOLAS AND OTHER SIMILAR FEATURES SHOULD NOT BE FRAMED AS A BOX ON THE ROOF. THE BOX SHOULD BE FRAMED DOWN INTO THE ROOF TO THE CEILING LEVEL AND STRUCTURALLY TIED INTO THE ADJACENT RAFTERS AND CEILING JOISTS, OR TRUSSES. THE EXTERIOR SHEATHING SHALL EXTEND DOWN TO THIS LEVEL OTHER THAN WHERE A METAL FLU NEEDS TO GO THROUGH FROM A FIREBOX. PROVIDE MINIMUM 22"x30" ATTIC ACCESS OPENING INTO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. PROVIDE MINIMUM 22"x30" ATTIC ACCESS OPENINGS FROM CONDITIONED SPACES TO BE GASKETED. ROOFS TO HAVE A 1'-0" OVERHANG FROM OUTSIDE FACE OF EXTERIOR SHEATHING TO OUTSIDE FACE OF FASCIA, U.N.O.

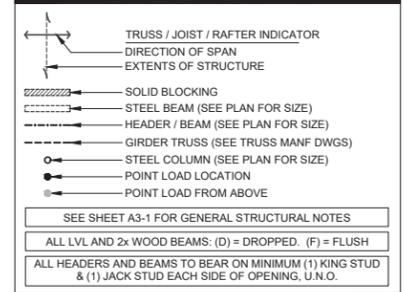
TRUSS NOTES

- TRUSS PROFILES (SEE ELEVATIONS) ARE FOR TRUSS MANUFACTURER'S REFERENCE ONLY. TRUSS MANUFACTURER TO VERIFY ALL TRUSS SIZES AND DIMENSIONS ARE CORRECT PER THE CONSTRUCTION DOCUMENTS.
- FINAL TRUSS LAYOUT AND DESIGN ARE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. VERIFY INTERIOR SLOPES OF SCISSOR TRUSSES AND HEIGHTS OF TRAY CEILINGS W/ BUILDER / OWNER PRIOR TO FABRICATION. IF TRUSS DESIGN DIFFERS FROM THESE DOCUMENTS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT.
- TRUSS MANUFACTURER TO ENSURE TRUSSES ARE DESIGNED SUCH THAT ALL FASCIA ALIGN PER EXTERIOR ELEVATIONS.

RAFTER NOTES

- ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE PARALLEL TO THE RAFTERS. WHERE RAFTERS ARE NOT PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE WHICH SHALL BE LOCATED AS NEAR TO THE PLATE AS PRACTICAL. RAFTER TIES SHALL NOT BE SPACED MORE THAN 48" O.C. RAFTERS SHALL BE FRAMED TO RIDGE BOARD, OR TO EACH OTHER, WITH GUSSET PLATES AS A TIE.
- RIDGE BOARDS SHALL BE AT LEAST 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF THE RAFTER EXCEEDS 11 1/4" THE RIDGE BOARD SHALL BE CONSTRUCTED OF A SOLID 2x12 WITH AN ADDITIONAL 2x FURRED TO THE BOTTOM EDGE OF THE 2x12.
- VALLEY AND HIP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A SUPPORTING PARTITION WALL, OR BE DESIGNED TO CARRY / DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.

STRUCTURAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
ROOF PLAN
A1-3
DATE: 09.21.2020
CONSTRUCTION DOCUMENTS
SCOTT BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2021
SBA STUDIOS PROJECT # 2020-294

BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION.
CONTRACTOR TO PROVIDE TRUSS DATA AND TRUSS LAYOUT ON SITE AT FRAMING INSPECTION

ROOF SHEATHING SHALL BE SUPPORTED WITH BLOCKING OR EDGE CLIPPING WHEN RAFTERS OR TRUSSES ARE 24" O.C. OR GREATER

OVERLAY FRAMING:
0'-0" - 6'-0" SPAN: 2x4 @ 24" O.C.
6'-0" - 9'-0" SPAN: 2x6 @ 24" O.C.
9'-0" - 12'-0" SPAN: 2x8 @ 24" O.C.
12'-0" - 15'-0" SPAN: 2x10 @ 24" O.C.
15'-0" - 18'-0" SPAN: 2x12 @ 24" O.C.

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.

PROVIDE ICE AND WATER SHIELD AT:
1. ALL VALLEYS, INTERSECTIONS OF ROOF PITCH CHANGES & ROOF PENETRATIONS.
2. FROM EDGE OF ROOF TO 24" PAST THE INSIDE FACE OF THE EXTERIOR WALL.
3. WHERE ROOF PLANES INTERSECT VERT. WALLS (18" MIN. UP WALL AND ONTO ROOF).

FOR AIR-PERMEABLE INSULATIONS IN VENTED ATTICS, A BAFFLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION MINIMUM 4" MEASURED VERTICALLY. BAFFLE TO BE A SOLID MATERIAL.

ROOF VENT NFVA CALCULATION:
CONTINUOUS RIDGE VENT ASSUMED TO BE 18" NET FREE VENT AREA PER LINEAR FOOT OF RIDGE VENT. ROOF LOUVERS (HAT VENTS) ASSUMED TO BE 50" NET FREE VENT AREA PER INDIVIDUAL ROOF LOUVER. SHED VENT ASSUMED TO BE 9" NET FREE VENT AREA PER LINEAR FOOT OF VENT.

ATTIC VENTILATION:
ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN OR SNOW.

THE MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE VENTILATED SPACE. EXCEPT THAT THE AREA MAY BE 1 TO 300 IF NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.

UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM 1/3 OF THE ATTIC SPACE.

CITY OF WORTHINGTON
DRAWINGS NO. AR 75-2020
DATE 10/09/2020

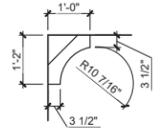


2 EXISTING FRONT ELEVATION

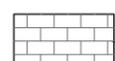
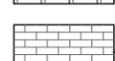


1 PROPOSED FRONT ELEVATION

DECORATIVE BRACKET DETAIL



ELEVATION MATERIAL LEGEND

-  ASPHALT SHINGLES (NEW SHINGLES TO MATCH EXG)
-  EXG SIDING (ADDITION AND OFFICE TO HAVE NEW SIDING = GAF WEATHERSIDE PURITY WAVY, 12"x24" FIBER CEMENT SIDING SHINGLE)
-  EXG CMU FOUNDATION
-  EXG CMU FOUNDATION
-  EXG BRICK
-  EXG LATTICE

ELEVATION MATERIAL COLORS

- EXG AND NEW SIDING: VALSPAR - WOOD ASH (C2-923)
- DOORS AND SHUTTERS: SHERWIN WILLIAMS - BUNGLEHOUSE BLUE (SW0048)
- EXG AND NEW TRIM: SHERWIN WILLIAMS - GREEK VILLA (SW7551)
- AREAS WITH NEW SIDING: NEW TYVEK MUST BE PROVIDED

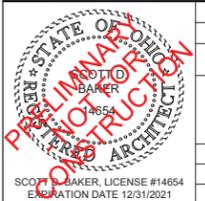
#	DATE	ISSUED WITH: CHANGE DESCRIPTION

WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



CITY OF WORTHINGTON
DRAWINGS NO. AR 75-2020
DATE 10/09/2020

SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
FRONT ELEVATIONS
A2-1
DATE: 09.21.2020
CONSTRUCTION DOCUMENTS
SBA STUDIOS PROJECT # 2020-294





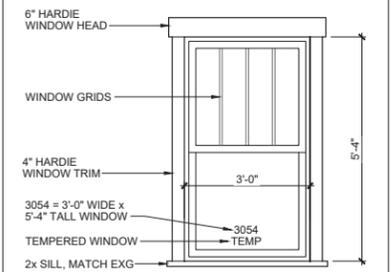
2 EXISTING RIGHT ELEVATION



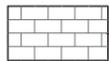
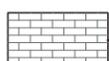
CITY OF WORTHINGTON
DRAWINGS NO. AR 75-2020
DATE 10/09/2020

1 PROPOSED RIGHT ELEVATION

WINDOW ELEVATION



ELEVATION MATERIAL LEGEND

-  ASPHALT SHINGLES (NEW SHINGLES TO MATCH EXG)
-  EXG SIDING (ADDITION AND OFFICE TO HAVE NEW SIDING = GAF WEATHERSIDE PURITY WAVY, 12"x24" FIBER CEMENT SIDING SHINGLE)
-  EXG CMU FOUNDATION
-  EXG CMU FOUNDATION
-  EXG BRICK
-  EXG LATTICE

ELEVATION MATERIAL COLORS

- EXG AND NEW SIDING: VALSPAR - WOOD ASH (C2-923)
- DOORS AND SHUTTERS: SHERWIN WILLIAMS - BUNGLEHOUSE BLUE (SW0048)
- EXG AND NEW TRIM: SHERWIN WILLIAMS - GREEK VILLA (SW7551)
- AREAS WITH NEW SIDING: NEW TYVEK MUST BE PROVIDED

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION
RIGHT ELEVATIONS

A2-2

DATE: 09.21.2020
CONSTRUCTION DOCUMENTS

SCOTT BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2021

SBA STUDIOS PROJECT # 2020-294

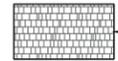
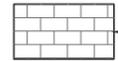
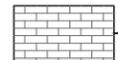


2 EXISTING REAR ELEVATION



1 PROPOSED REAR ELEVATION

ELEVATION MATERIAL LEGEND

-  ASPHALT SHINGLES (NEW SHINGLES TO MATCH EXG)
-  EXG SIDING (ADDITION AND OFFICE TO HAVE NEW SIDING = GAF WEATHERSIDE PURITY WAVY, 12"x24" FIBER CEMENT SIDING SHINGLE)
-  EXG CMU FOUNDATION
-  EXG CMU FOUNDATION
-  EXG BRICK
-  EXG LATTICE

ELEVATION MATERIAL COLORS

- EXG AND NEW SIDING: VALSPAR - WOOD ASH (C2-923)
- DOORS AND SHUTTERS: SHERWIN WILLIAMS - BUNGLEHOUSE BLUE (SW0048)
- EXG AND NEW TRIM: SHERWIN WILLIAMS - GREEK VILLA (SW7551)
- AREAS WITH NEW SIDING: NEW TYVEK MUST BE PROVIDED

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

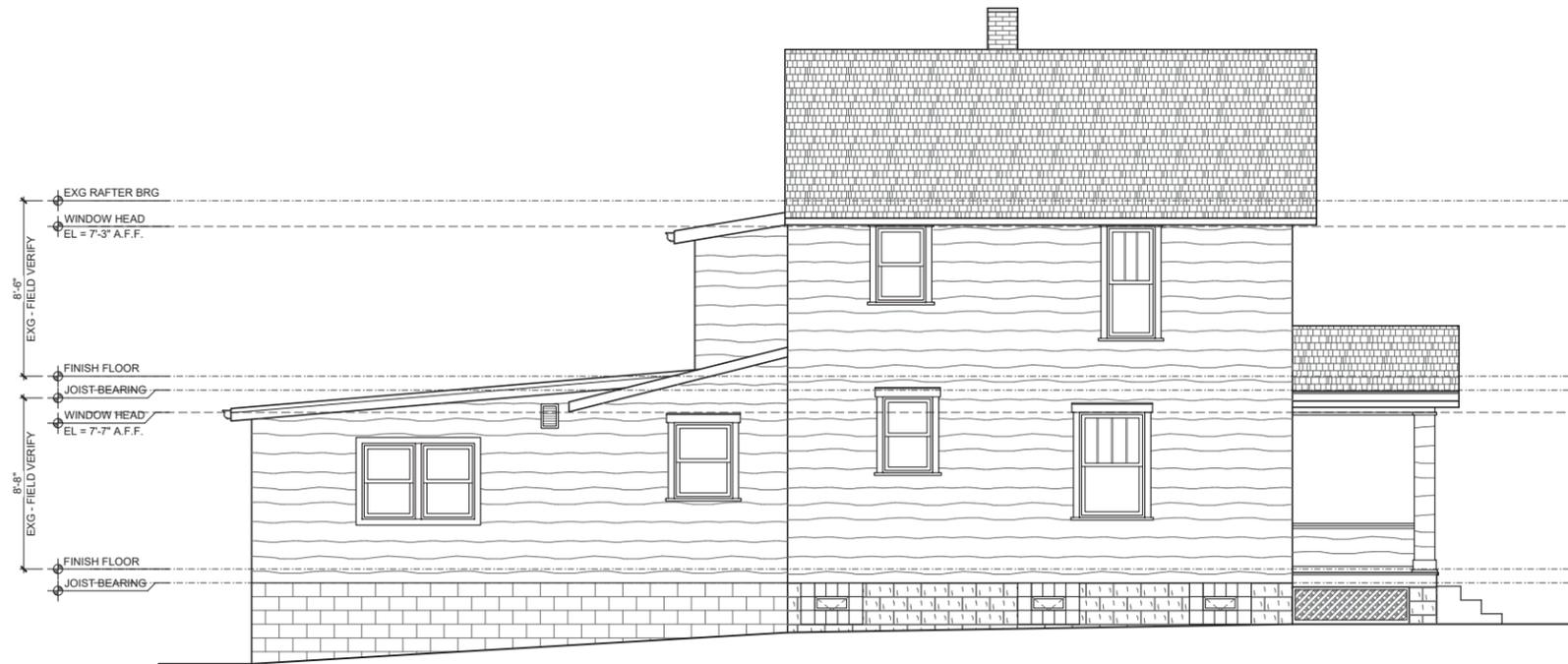
WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



CITY OF WORTHINGTON
DRAWINGS NO. AR 75-2020
DATE 10/09/2020

SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
REAR ELEVATIONS
A2-3
DATE: 09.21.2020
CONSTRUCTION DOCUMENTS
SBA STUDIOS PROJECT # 2020-294

SCOTT BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2021

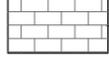
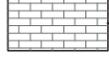


2 EXISTING LEFT ELEVATION



1 PROPOSED LEFT ELEVATION

ELEVATION MATERIAL LEGEND

-  ASPHALT SHINGLES (NEW SHINGLES TO MATCH EXG)
-  EXG SIDING (ADDITION AND OFFICE TO HAVE NEW SIDING = GAF WEATHERSIDE PURITY WAVY, 12"x24" FIBER CEMENT SIDING SHINGLE)
-  EXG CMU FOUNDATION
-  EXG CMU FOUNDATION
-  EXG BRICK
-  EXG LATTICE

ELEVATION MATERIAL COLORS

- EXG AND NEW SIDING: VALSPAR - WOOD ASH (C2-923)
- DOORS AND SHUTTERS: SHERWIN WILLIAMS - BUNGLEHOUSE BLUE (SW0048)
- EXG AND NEW TRIM: SHERWIN WILLIAMS - GREEK VILLA (SW7551)
- AREAS WITH NEW SIDING: NEW TYVEK MUST BE PROVIDED

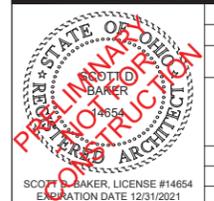
#	DATE	ISSUED WITH: CHANGE DESCRIPTION

WITSKEN RESIDENCE
151 E DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085



CITY OF WORTHINGTON
DRAWINGS NO. AR 75-2020
DATE 10/09/2020

SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
LEFT ELEVATIONS
A2-4
DATE: 09.21.2020
CONSTRUCTION DOCUMENTS
SBA STUDIOS PROJECT # 2020-294



CITY OF WORTHINGTON
 DRAWINGS NO. AR 75-2020
 DATE 10/09/2020

GENERAL STAIR NOTES

- HANDRAILS SHALL HAVE A HEIGHT OF 34" - 38" AND SHALL RUN CONTINUOUS THE FULL LENGTH OF THE STAIRS, AND SHALL EXTEND 6" BEYOND THE TOP AND BOTTOM RISER. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE INTO A NEWEL POST. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. ANY OPEN SIDES SHALL HAVE BALUSTERS WITH LESS THAN 4" CLEAR SPACE BETWEEN. HANDRAIL TO BE NO LESS THAN 1 1/4" DIA. AND NO GREATER THAN 2" DIAMETER. GUARDRAILS SHALL BE PROVIDED WHEN FLOOR ELEVATION IS MORE THAN 36" ABOVE ADJACENT FLOOR OR GRADE.
- MAXIMUM RISER HEIGHT TO BE 8 1/4". THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LANDING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- MINIMUM TREAD DEPTH TO BE 9". THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- ALL NOSING TO BE A 1" PROTRUSION. THE RADIUS OF THE CURVATURE OF THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16". A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" BETWEEN TWO STORES, INCLUDING THE NOSING AT THE FLOORS AND LANDINGS. BEVELING OF NOSING SHALL NOT EXCEED 1/2". RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4-INCH DIAMETER SPHERE.
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIR, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING IN THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLES (11 LUX) MEASURED AT THE CENTER OF THE TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY.
- ALL STAIRS, INTERIOR AND EXTERIOR, TO BE CONSTRUCTED WITH A MINIMUM OF (1) 2x12 STRINGER PER 16" OF WIDTH OF STAIR, AND A MINIMUM OF 3 STRINGERS PER STAIR, UNLESS ENGINEERED OTHERWISE. ALL STRINGERS TO BE SPACED EQUALLY.

4 NOT USED

3 NOT USED

STRUCTURAL LEGEND

TRUSS / JOIST / RAFTER INDICATOR
 DIRECTION OF SPAN
 EXTENTS OF STRUCTURE

SOLID BLOCKING

STEEL BEAM (SEE PLAN FOR SIZE)

HEADER / BEAM (SEE PLAN FOR SIZE)

GIRDER TRUSS (SEE TRUSS MANF DWGS)

STEEL COLUMN (SEE PLAN FOR SIZE)

POINT LOAD LOCATION

POINT LOAD FROM ABOVE

SEE SHEET A3-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED, (F) = FLUSH

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

WITSKEN RESIDENCE
 151 E DUBLIN GRANVILLE ROAD
 WORTHINGTON, OHIO 43085



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION

DECK PLANS

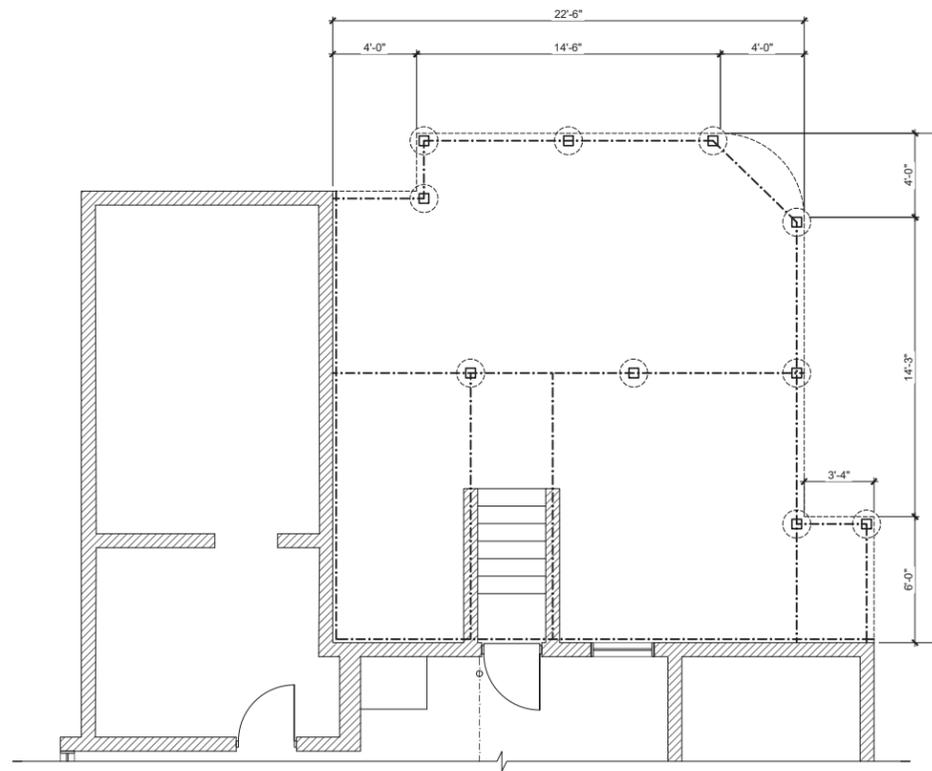
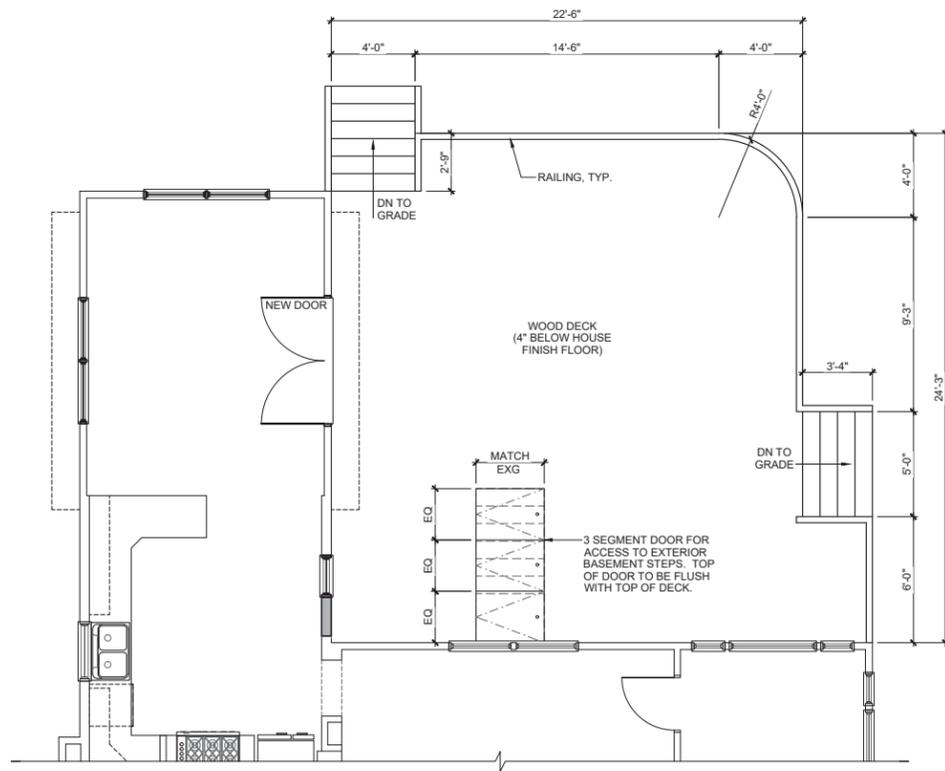
A4-1

DATE: 09.21.2020

CONSTRUCTION DOCUMENTS

SBA STUDIOS PROJECT # 2020-294

SCOTT BAKER, LICENSE #14654
 EXPIRATION DATE 12/31/2021



2 FIRST FLOOR DECK PLAN

1 DECK FOUNDATION PLAN



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Case # AR 76-2020 Date Received 10/09/2020 Fee \$2.00 pd Meeting Date 10-22-2020 Filing Deadline Receipt # 69205

- 1. Property Location 50 East Dublin-Granville Rd, Worthington, OH 43085
2. Present/Proposed Use Middle School
3. Zoning District City of Worthington Historic District, 100006615
4. Applicant Schorr Architects Address 230 Bradenton Avenue, Dublin, OH 43017 Phone Number(s) 614-798-2096
5. Property Owner Worthington Board of Education Address 200 E. Wilson Bridge Rd. Worthington, OH 43085 Phone Number(s) 614-450-6000
6. Project Description Update to previously approved project. Requesting consideration for a fixed two-plane window. Additionally, requesting approval on the added roof-access door to west facade.

7. Project Details:

- a) Design Shown on elevations
b) Color Shown on elevations
c) Size ~10,500sf addition
d) Approximate Cost ~3.4 - 3.6 million Expected Completion Date August 2021

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature) [Signature]

10.08.2020 Date

Property Owner (Signature) [Signature]

10.08.2020 Date

Abutting Property Owners List for
50 E. Granville Rd.

Huntington National Bank	800 High St	Worthington, OH 43085
Worthington Public Library	820 High St	Worthington, OH 43085
Victoria Brankamp	782 Hartford St	Worthington, OH 43085
Robert & Susan Davidson	865 Caxambas Dr.	Marco Island, FL 34145
Tenant	73 E. Granville Rd.	Worthington, OH 43085
Tenant	77 E. Granville Rd	Worthington, OH 43085
Tenant	81 E. Granville Rd.	Worthington, OH 43085
Tenant	85 E. Granville Rd	Worthington, OH 43085
Tenant	89 E. Granville Rd.	Worthington, OH 43085
James & Jordy Ventresca	72 Granville Rd.	Worthington, OH 43085
St. Johns Church	700 High St.	Worthington, OH 43085

Kilbourne Middle School Addition and Renovations
Supporting Statement
10/09/2020

The project is an addition and partial renovation to the existing middle school.

Windows

The base bid windows for the current GMP are double-hung windows to match the existing, historic windows.

Attached in this submission is a render of a fixed window which has an offset plane to give the appearance of a double-hung window. The window would be designed to match the existing, historic windows.

We are having discussions looking into the pricing for fixed windows. We are requesting that the Architectural Review Board review the render and sections to determine if such an option is acceptable. The project will NOT proceed with any window type not approved by the ARB.

Added Door

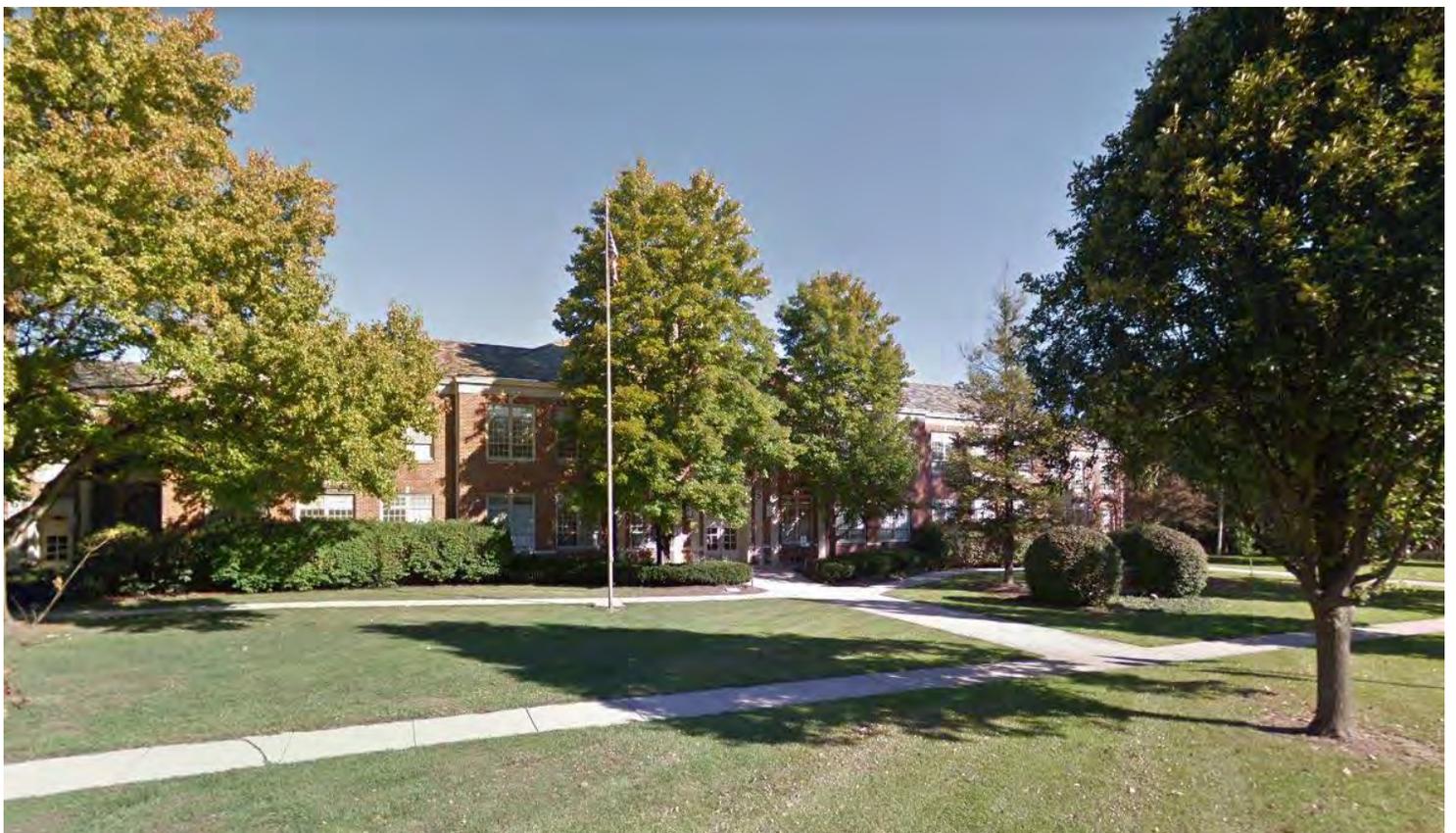
In the 100% GMP documents for Kilbourne Middle School – a submission post the ARB approved design, a door was added to the west façade. The attached elevation and plan from the documents show the door. It was pointed out during the plan review for re-submittal to the ARB. The door is for roof access, and is placed in a location previously determined acceptable for the building's mechanical units due to its lack of visibility from the east and north. We are requesting that the Architectural Review Board review the location of the door to determine if the location is acceptable.

CITY OF WORTHINGTON

DRAWINGS NO. AR 76-2020

DATE 10/09/2020

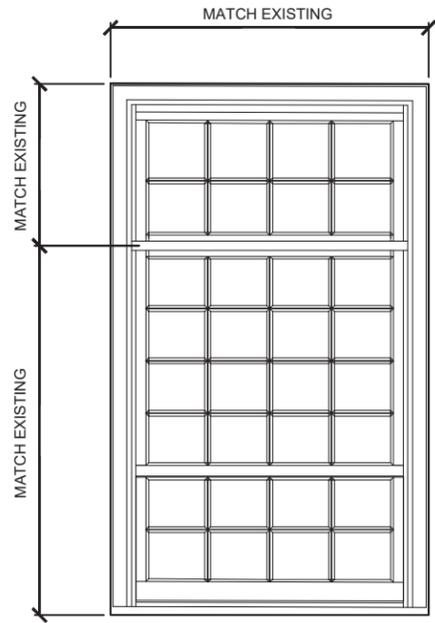
50 E. Granville Rd.



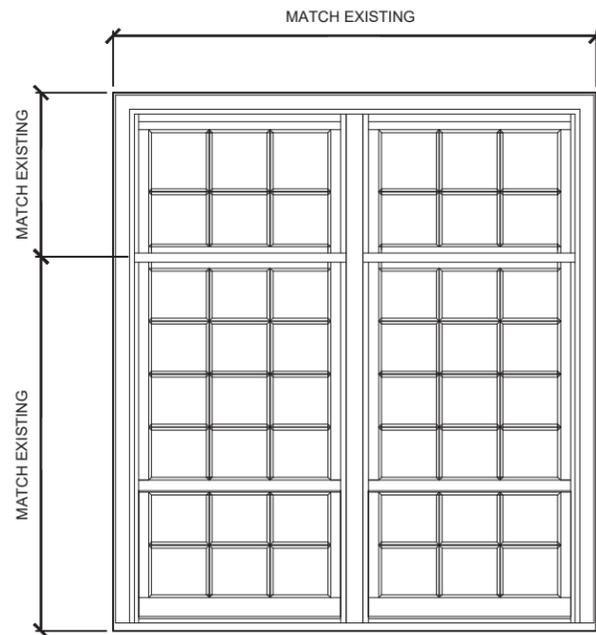


CITY OF WORTHINGTON
DRAWINGS NO. AR 76-2020
DATE 10/09/2020

AR Design Inc.
 10915 READING ROAD - CINCINNATI, OH 45241
 (P) 513 554-4633 - (F) 513 554-4628

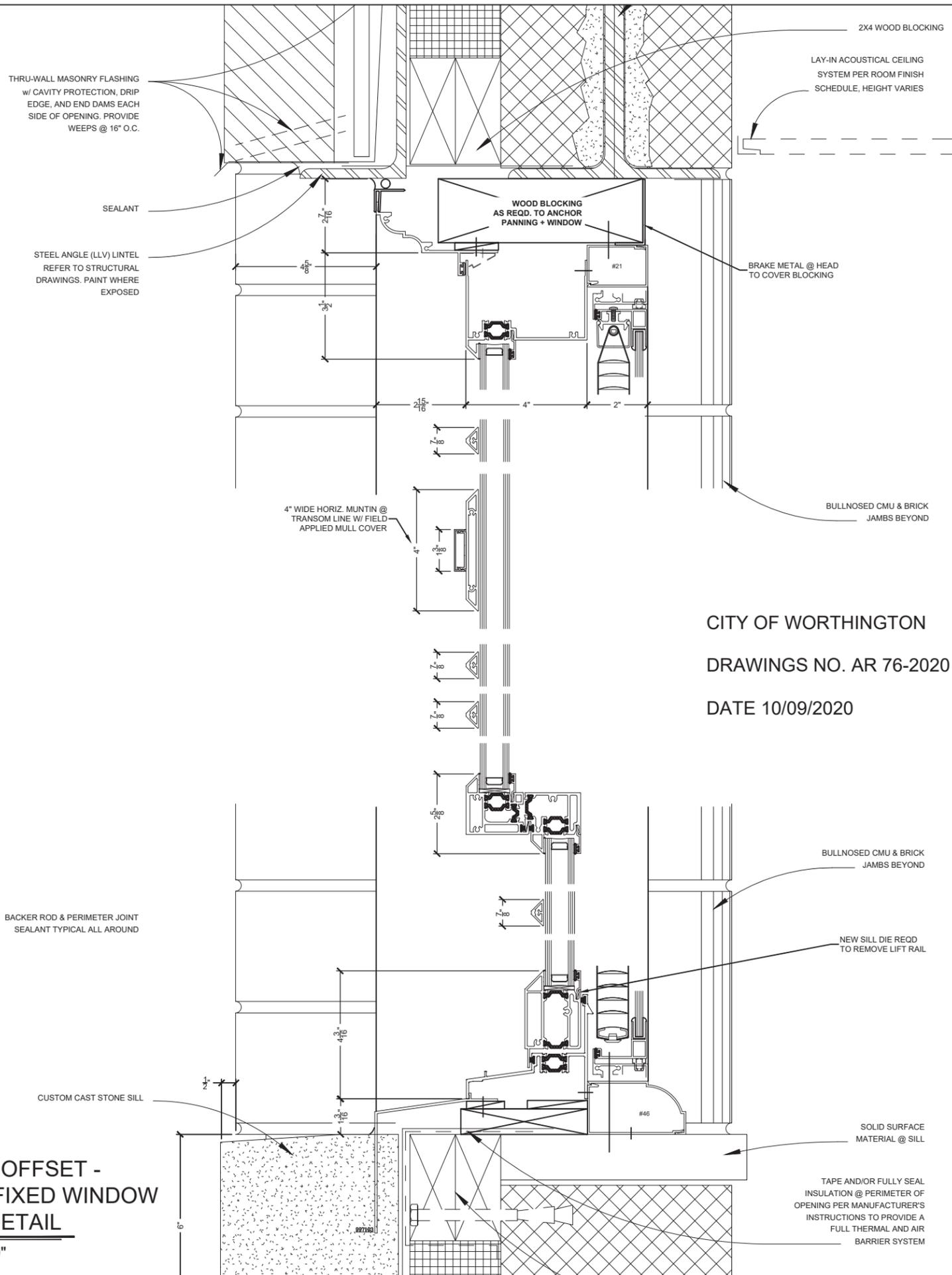


MARK	QTY.
A	12



MARK	QTY.
B	16

1 S1400H FX OFFSET -
 HISTORIC FIXED WINDOW
 SECTION DETAIL
 SCALE: 3" = 1'-0"



CITY OF WORTHINGTON
 DRAWINGS NO. AR 76-2020
 DATE 10/09/2020



KILBOURNE
 WORTHINGTON, OH
 PROPOSAL DRAWINGS

SUBMITTED ON:	9/21/2020
REVISIONS:	10/05/2020

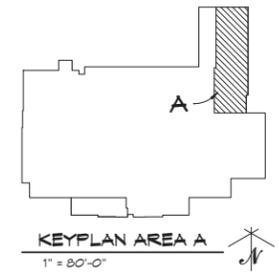
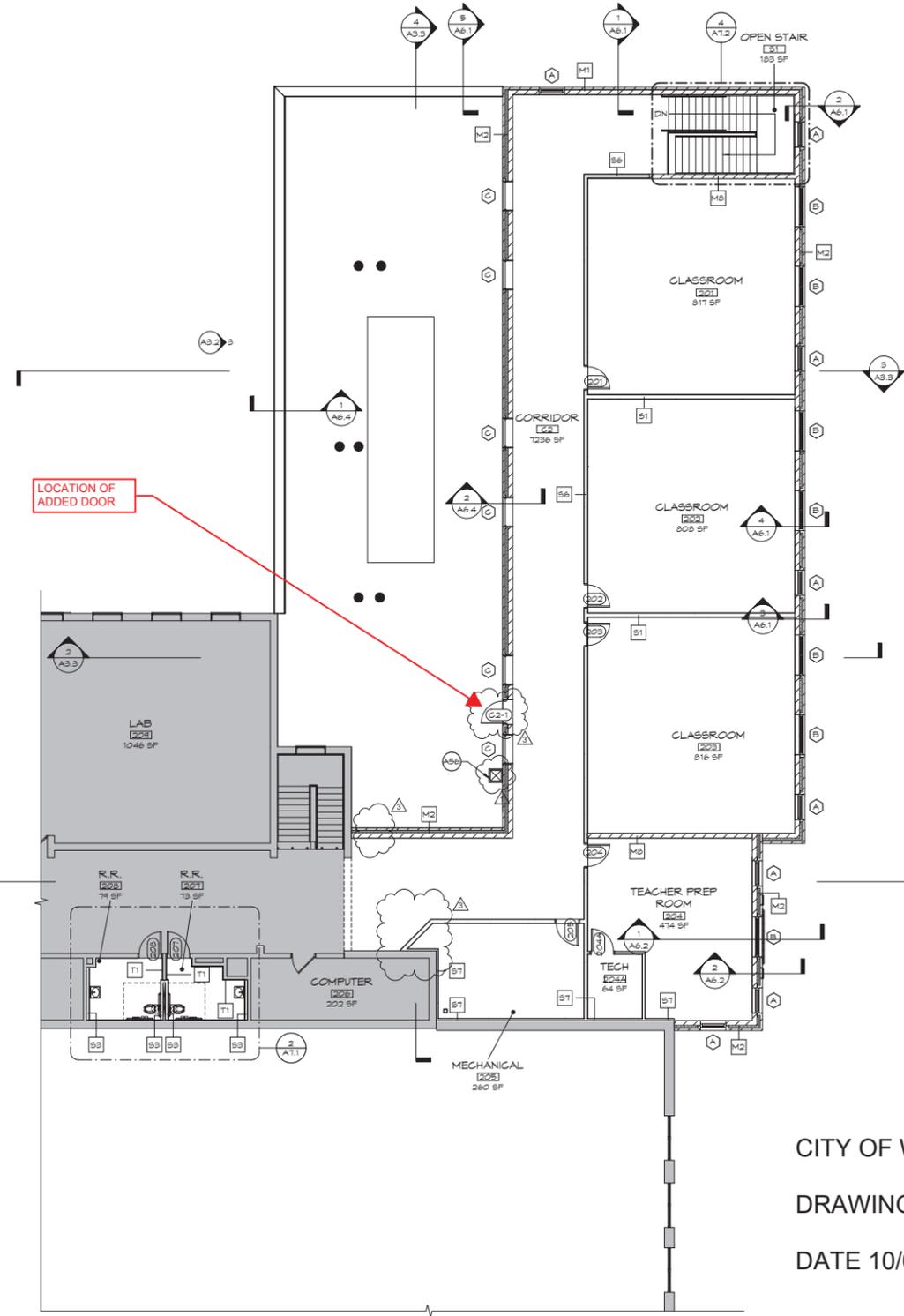
DETAILS
 SCALE: AS NOTED
D-2A

WALL TYPE SCHEDULE			
MARK	DESCRIPTION	FIRE RATING	STC RATING
M1	EXTERIOR MASONRY CAVITY WALL CONSISTING OF 4" NOMINAL MASONRY VENEER ANCHORED TO 8" NOMINAL C.M.U. WITH HORIZONTAL REINFORCING AT 16" ON CENTER VERTICALLY. COORDINATE WITH WALL SECTIONS FOR WIDTH AND HEIGHT.	0	
M2	EXTERIOR MASONRY CAVITY WALL CONSISTING OF 4" NOMINAL MASONRY VENEER ANCHORED TO 8" NOMINAL C.M.U. WITH HORIZONTAL REINFORCING AT 16" ON CENTER VERTICALLY. COORDINATE WITH WALL SECTIONS FOR WIDTH AND HEIGHT.	0	
M3	INTERIOR MASONRY WALL: 4" NOMINAL C.M.U. PAINT AND PLASTER TO MATCH EXISTING ADJACENT CONSTRUCTION.	0	
M4	8" NOMINAL C.M.U. NON-RATED CORRIDOR/PARTITION WALL WITH HORIZONTAL REINFORCING AT 16" ON CENTER VERTICALLY. EXTEND FULL HEIGHT TO DECK ABOVE.	0	
M4R	EXTERIOR MASONRY CAVITY WALL CONSISTING OF 4" NOMINAL PRE-CAST STONE VENEER ANCHORED TO 8" NOMINAL C.M.U. WITH HORIZONTAL REINFORCING AT 16" ON CENTER VERTICALLY. COORDINATE WITH WALL SECTIONS FOR WIDTH AND HEIGHT.		
S1	6" WIDE STUD WALL ASSEMBLY. EXTEND FULL HEIGHT TO DECK ABOVE WITH DOUBLE 3 5/8" METAL STUDS STAGGERED AT 16" ON CENTER WITH 5/8" ABUSE RESISTANT GYPSUM BOARD ON EACH FACE. PROVIDE CONTINUOUS R-11 MIN. SOUND-ATTENUATION BLANKET.	0	
S2	NON-RATED STUD WALL ASSEMBLY. EXTEND FULL HEIGHT TO DECK ABOVE WITH 3 5/8" NON-STRUCTURAL STEEL STUD FRAMING AT 16" ON CENTER WITH 5/8" ABUSE RESISTANT GYPSUM BOARD ON EACH FACE. PROVIDE CONTINUOUS R-11 MIN. SOUND-ATTENUATION INSULATION.	0	
S3	3-5/8" NON-STRUCTURAL METAL FRAMING WITH 3/8" CERAMIC TILE OVER 5/8" MOLD AND MILDEW RESISTANT GYPSUM BOARD ON ONE SIDE ON EXPOSED FACES. PROVIDE SOUND ATTENUATION INSULATION AND ACOUSTICAL SEALANT AS REQUIRED TO ACHIEVE STC RATING INDICATED.	0	
S4	3 5/8" NON-STRUCTURAL METAL FRAMING WITH 5/8" MOLD AND MILDEW RESISTANT GYPSUM BOARD ON BOTH SIDES. PROVIDE 5/8" CERAMIC TILE OVER 5/8" MOLD AND MILDEW RESISTANT GYPSUM BOARD ON FACES EXPOSED TO INTERIOR OF RESTROOM.	0	4*
S6	6" NON-STRUCTURAL METAL FRAMING WITH 5/8" ABUSE RESISTANT GYPSUM BOARD ON BOTH SIDES. PROVIDE CONTINUOUS R-11 MIN. SOUND-ATTENUATION INSULATION. REFER TO STRUCTURAL FOR REINFORCING. EXTEND TO DECK.	0	
S7	3 5/8" GYPSUM OVER 3/8" HAT CHANNEL FURRING.		
T1	3/8" CERAMIC TILE OVER 5/8" MOLD AND MILDEW RESISTANT GYPSUM BOARD OVER 5/8" HAT CHANNEL FURRING.	0	

CODED NOTES - ARCHITECTURAL
 A36 DUCT INSULATION REFER TO DETAIL 2/A1.21 REFER TO HVAC.

- GENERAL PLAN NOTES**
 APPLICABLE TO ALL FLOOR PLAN SHEETS
- ALL DIMENSIONS ARE APPROXIMATE UNLESS NOTED OTHERWISE AND MUST BE FIELD VERIFIED PRIOR TO UNDERTAKING OF SUBSEQUENT WORK. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCY PRIOR TO START OF WORK.
 - SECURE ALL WALL-HUNG ASSEMBLIES TO C.M.U. WALL ASSEMBLIES WITH EXPANSION ANCHORS.
 - PROVIDE FIRE-RESISTANT TREATED WOOD BLOCKING BACK-UP IN ALL STUD WALL ASSEMBLIES AS REQUIRED FOR MOUNTING OF ALL WALL-HUNG FIXTURES, VISUAL DISPLAYS, ETC.
 - CLEAN AND APPROPRIATELY PREPARE, TO MEET MANUFACTURER'S RECOMMENDATION. ALL SURFACES SPECIFIED TO BE PAINTED. THIS INCLUDES PATCH AND REPAIR OF ANY MISCELLANEOUS VOIDS.
 - CLEAN AND APPROPRIATELY PREPARE, TO MEET MANUFACTURER'S RECOMMENDATION. ALL FLOOR SURFACES SPECIFIED TO RECEIVE FLOOR FINISHES. PROVIDE LEVELING UNDERLAYMENT COMPOUND AS REQUIRED.
 - PROVIDE BULL NOSE AT EXPOSED C.M.U. TERMINATIONS, CORNERS, RETURNS, SILLS, AND JAMBS.
 - PROVIDE CORNER GUARD WALL PROTECTION AT ALL GYPSUM BOARD CORNERS.
 - PROVIDE CONTROL JOINTS IN GYPSUM BOARD SO THAT NO UNJOINTED AREA EXCEEDS 30'-0".

- ARCHITECTURAL PLAN SYMBOLS LEGEND**
- (A*) CODED NOTE. REFER TO SPECIFIC CODED NOTE LIST FOR EACH DRAWING SHEET.
 - NO WORK IN THIS AREA
 - (M#) WALL TYPE. REFER TO FLOOR PLANS FOR WALL TYPE LEGENDS.
 - (A) WINDOW TYPE. REFER TO SHEET A1.11 FOR WINDOW TYPE ELEVATIONS.
 - (D#) DOOR NUMBER SYMBOL. REFER TO SHEET 0.11 FOR PROJECT DOOR SCHEDULE.
 - FIRST FLOOR PLAN EL. 100'-0"
 - PROJECT REFERENCE ELEVATION SYMBOL. REFER TO CIVIL DRAWINGS FOR ACTUAL GRADE ELEVATION AT REFERENCE ELEVATION 100'-0".
 - PLAN DETAIL OR PLAN ENLARGEMENT CALLOUT. BOTTOM NUMBER INDICATED SHEET NUMBER OF DETAIL/ENLARGEMENT. TOP NUMBER INDICATES THE LOCATION OF THE SPECIFIED DETAIL/ENLARGEMENT ON THE INDICATED SHEET.
 - EXTERIOR ELEVATION CALLOUT. NUMBER WITHIN THE CIRCLE INDICATES SHEET NUMBER OF ELEVATION DRAWING. OUTSIDE NUMBER INDICATES THE LOCATION OF THE SPECIFIED ELEVATION ON THE INDICATED SHEET.
 - INTERIOR ELEVATION CALLOUT. NUMBER INSIDE THE CIRCLE INDICATES SHEET NUMBER OF ELEVATION DRAWING. OUTSIDE NUMBERS INDICATE THE LOCATION OF THE SPECIFIED ELEVATION ON THE INDICATED SHEET.
 - WALL SECTION CUT. BOTTOM NUMBER INDICATES SHEET NUMBER OF WALL SECTION DRAWING. TOP NUMBER INDICATES THE LOCATION OF THE SPECIFIED WALL SECTION ON THE INDICATED SHEET.
 - INDICATES CENTERLINE OF NOTED OBJECT.



SECOND FLOOR PLAN - AREA A

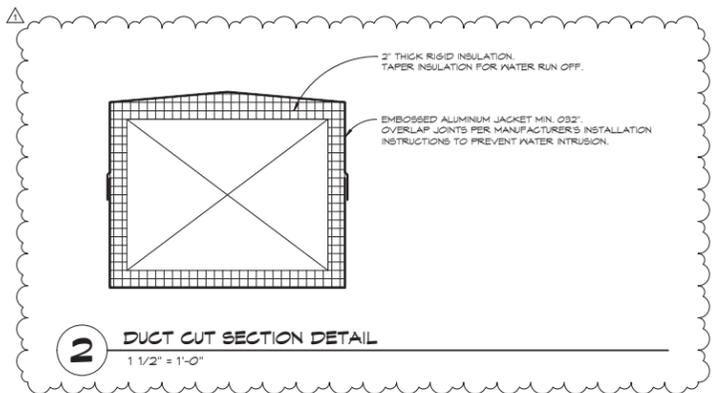
KILBOURNE M.S. ADDITION AND RENOVATIONS
 50 EAST DUBLIN GRANVILLE ROAD
 WORTHINGTON, OHIO 43085

PREPARED FOR:
 WORTHINGTON CITY SCHOOLS
 200 East Wilson Bridge Road
 Worthington, Ohio 43085



CITY OF WORTHINGTON
 DRAWINGS NO. AR 76-2020
 DATE 10/09/2020

90% CD: 06/08/2020	
ADDENDIUM 1: 06/22/2020	1
DESIGN INTENT STATEMENT	2
PROPOSAL REQUEST 001: 06/08/20	3
100% CD: 06/29/20	
COMM. NO.: 1853	
A1.21	
SIGNED	06/29/2020 DATE



1 SECOND FLOOR PLAN
 1/8" = 1'-0"

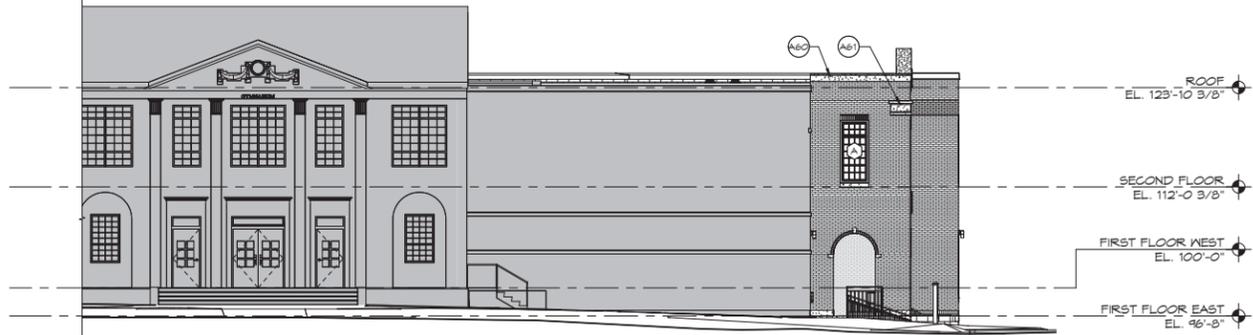
CITY OF WORTHINGTON

DRAWINGS NO. AR 76-2020

DATE 10/09/2020

CODED NOTES - ARCHITECTURAL

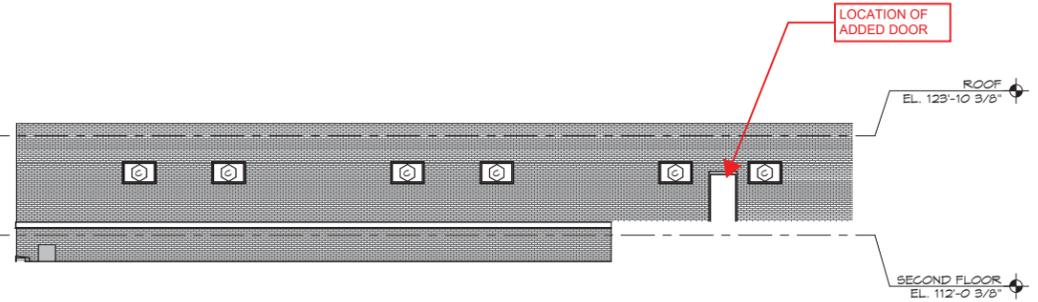
- A31 NEW LOCATION OF THE EXISTING CAST STONE LOW RELIEF SCULPTURE REFER TO DETAIL 8/A6.2.
- A32 STACK BOND THIS COURSE.
- A33 CAST-STONE WATERTABLE.
- A34 CAST-STONE COPING.
- A61 CAST-STONE ORNAMENT. REFER TO DETAILS.



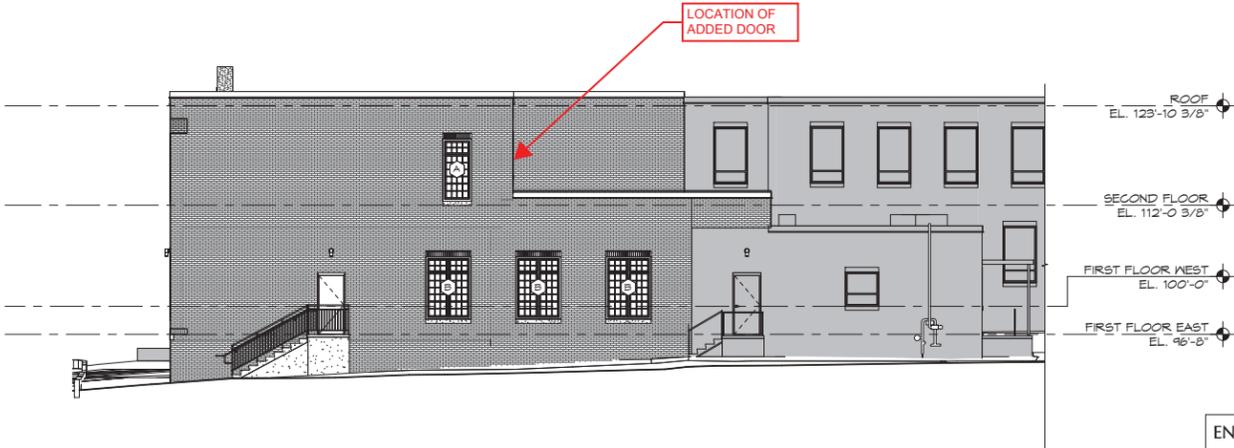
4 ENLARGED PARTIAL SOUTH ELEVATION AT ADDITION
1/8" = 1'-0"

ELEVATION SYMBOLS LEGEND

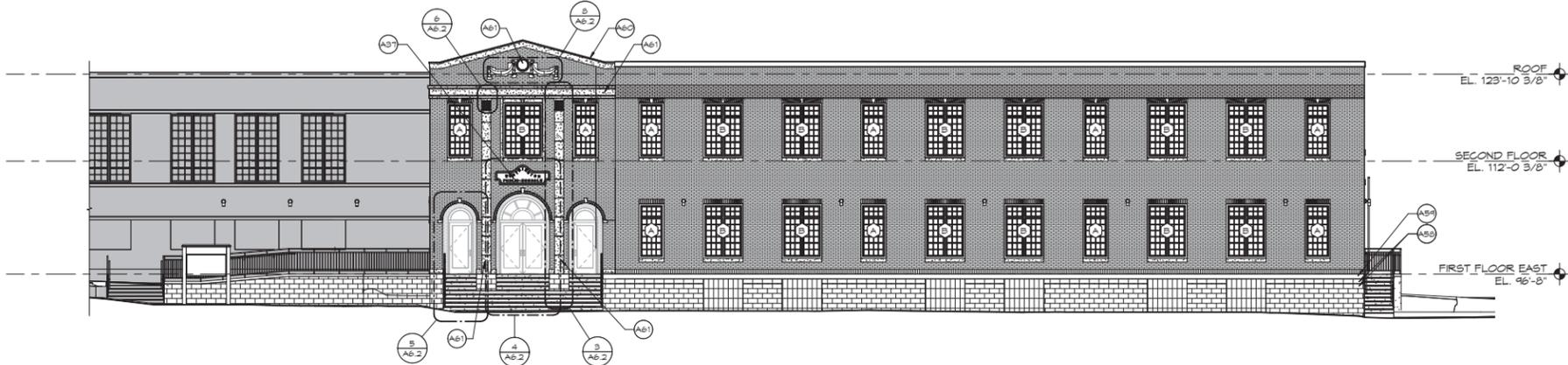
- (EN) CODED NOTE. REFER TO SPECIFIC CODED NOTE LIST FOR EACH DRAWING SHEET.
- [Blank] NO WORK IN THIS AREA
- [Vertical Lines] UNIT MASONRY - TYPE B STRINGCOURSE
- [Stippled] UNIT MASONRY - TYPE B - STACK BOND
- [Cross-hatched] UNIT MASONRY - TYPE A - STACK BOND
- [Dotted] ARCHITECTURAL STONE VENEER
- [Window Symbol] WINDOW TYPE. REFER TO SHEET AR.11 FOR WINDOW TYPE ELEVATIONS
- [Dashed Line] INDICATES CENTERLINE OF NOTED OBJECT.



3 ENLARGED PARTIAL WEST ELEVATION AT ADDITION
1/8" = 1'-0"



2 ENLARGED PARTIAL NORTH ELEVATION AT ADDITION
1/8" = 1'-0"



1 ENLARGED PARTIAL EAST ELEVATION AT ADDITION
1/8" = 1'-0"

ENLARGED EXTERIOR BUILDING ELEVATIONS

KILBOURNE M.S. ADDITION AND RENOVATIONS

50 EAST DUBLIN GRANVILLE ROAD
WORTHINGTON, OHIO 43085

PREPARED FOR:
WORTHINGTON CITY SCHOOLS
200 East Wilson Bridge Road
Worthington, Ohio 43085

schorr architects
INC.

CDA COMMUNITY DESIGN ALLIANCE

90% CD: 06/08/2020

ADDENDIUM 1: 06/22/2020

DESIGN INTENT STATEMENT

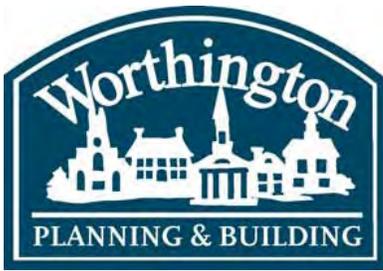
PROPOSAL REQUEST 001: 06/08/20

100% CD: 06/29/20

COMM. NO.: 1853

A3.2

SIGNED _____ DATE 06/29/2020



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Table with application details: Case # AR 77-2020, Date Received 10/9/2020, Fee \$2, Meeting Date, Filing Deadline, Receipt #

1. Property Location 184 E. Dublin Granville Rd.
2. Present/Proposed Use Residential

3. Zoning District R-10

4. Applicant Ellen Bloch

Address 184 E. Dublin Granville Rd

Phone Number(s) 330-697-7812

Email ellen.j.bloch@gmail.com

5. Property Owner same

Address

Phone Number(s)

Email

6. Project Description Fence - Amendment to original approval grants in # AR 30-2020

7. Project Details:

a) Design no change

b) Color no change

c) Size depth extension requested - see attached

d) Approximate Cost \$10k Expected Completion Date 11/15/20

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Handwritten signature of Ellen J. Bloch

10/9/2020 Date

Applicant (Signature)

Property Owner (Signature)

Date

ABUTTING PROPERTY OWNERS
FOR
184 E. Granville Rd.

Andrew Hartwick	178 E. Granville Rd.	Worthington, OH 43085
Anthony & Corinne Konecny	196 E. Granville Rd.	Worthington, OH 43085
Brian & Mary Arthmire	189 Franklin Ave.	Worthington, OH 43085
Linda Roomann & William Slutz	1285 LaRochelle Dr.	Upper Arlington, OH 43221
John Guzzo	203 Franklin Ave.	Worthington, OH 43085
Julia & James Miller	187 E. Granville Rd.	Worthington, OH 43085
David Robinson	195 E. Granville Rd.	Worthington, OH 43085

184 E. Granville Rd.



October 9, 2020

CITY OF WORTHINGTON

Architectural Review Board – Supporting Statement

DRAWINGS NO. AR 77-2020

RE: 184 E. Dublin-Granville Road – Fence Approval – Amendment Request

DATE 10/09/2020

SUMMARY

I am requesting the Board’s approval of a variance to extend the rear fence line of the previously approved fence to the setback. By extending the rear fence line to the setback, we will achieve the following goals:

- The fence will not cross through the high-flood/standing water areas of the yard which could impact the condition of the fence long term.
- Appropriate water-friendly landscaping can be added along the west property line to help mitigate the flooding/standing water without the interference of the fence.
- My property will continue to collect the additional storm runoff and excess water from the neighboring properties – without creating new water issues for my neighbors.

DISCUSSION

Previously, the Board approved the following fence option for my property:

- 48” Black Metal Picket
- Rear fence line approximately 80’ off Rear Property Line (based on the location of the split rail fence post on the neighbor’s property to the East)



Additionally, we discussed the flooding/significant pooling of water on the West property line of my backyard and the potential impact this water may have on the fence and any future property changes (such as a pool). The board requested that I address the water issue before bringing any additional changes.

Following our meeting in May, I met with 3 different landscape experts, 1 excavation company, 4 fence companies, and a general contractor to discuss options for resolving the water pooling in the yard, as well as the implications for the fence long term. Overall, the following facts were confirmed:

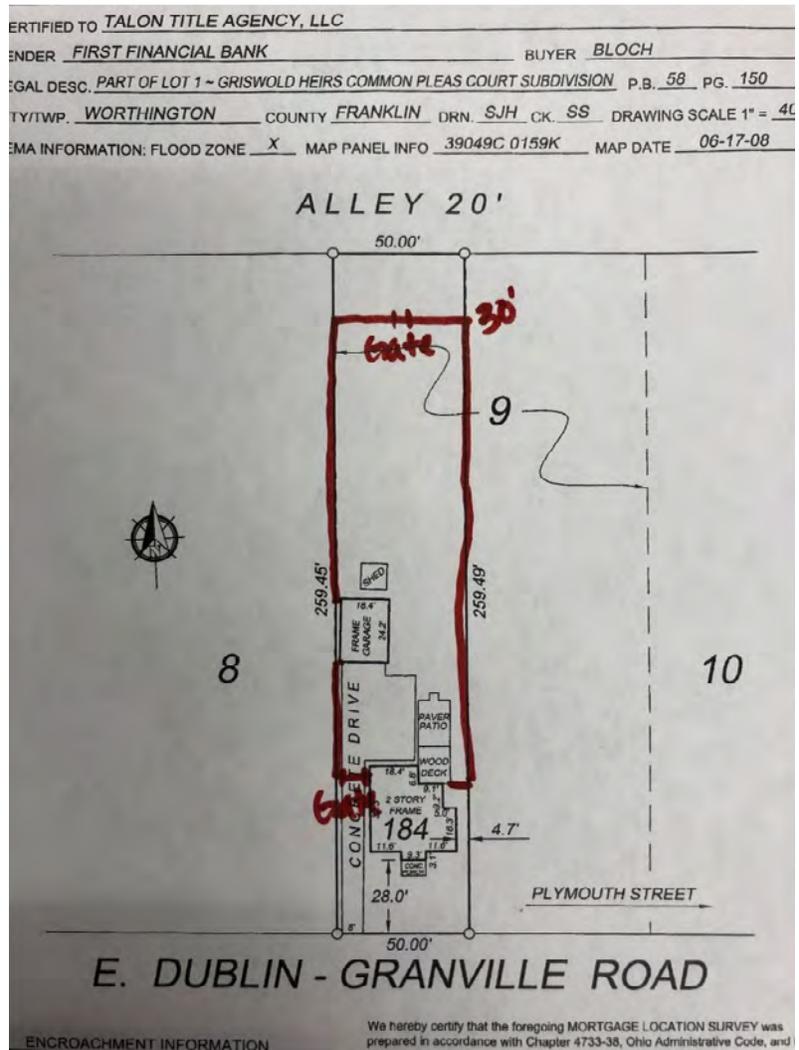
- My property is the lowest yard of the surrounding properties and will continue to naturally attract most of the water run-offs during heavy periods of rain.
- Raising or regrading my yard (or even just the impacted areas) to resolve my water issues would most definitely create water/flooding issues for my neighbors – and may not resolve my own water issues.
- Adding drain systems to divert more water into the sewers would increase the burden on our already overburdened River.

The best answer for the larger neighborhood would be to allow the water to continue to pool/collect on my property as it pleases. To mitigate the impact this has on the usability of my yard, I would like the ability to add natural landscaping that is water friendly including a rain garden in the main impacted area. However, the current approved fence depth cuts through the middle of the main impacted area, which would make it challenging to landscape – in addition to putting additional strain on the long term condition of the fence.

The main impacted area runs from the shed to the large tree and brush pile on the west neighbors' property line. This area is so heavily impacted by the flooding that a different type of grass grows in this area during the dry months. Below I have included pictures of the yard from May (just after flooding) and October (after many dry weeks). In the pictures, you can clearly see that the impacted area runs the full length of the west property line. For your reference, the previously approved fence line would approximately end at the small evergreen tree on the west property line – effectively putting the fence through the middle of the impacted area.

With this new information, I request that the Board approve the extension of the fence to the setback of the rear property line. This will enable me to appropriately address the water issues that impact the long term resale value and usability of my home.

Site Plan (Mortgage Survey Map)



CITY OF WORTHINGTON
 DRAWINGS NO. AR 77-2020
 DATE 10/09/2020

May 2020 – West property line:



October 2020 – West property line:



CITY OF WORTHINGTON
DRAWINGS NO. AR 77-2020
DATE 10/09/2020



CITY OF WORTHINGTON
DRAWINGS NO. AR 77-2020
DATE 10/09/2020



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case #	AR 74-2020
Date Received	10-09-2020
Fee	\$4.00 Ad
Meeting Date	10-22-2020
Filing Deadline	
Receipt #	69202

1. Property Location 6816 EVENING ST.

2. Present/Proposed Use RESIDENCE

3. Zoning District R-10

4. Applicant MIKEL COULTER

Address 6816 EVENING ST.

Phone Number(s) 614-716-9754

Email mikcoulter@aol.com

5. Property Owner MIKEL COULTER

Address 6816 EVENING ST.

Phone Number(s) 614-716-9754

Email MIKCOULTER@aol.com

6. Project Description Replace low slope shingle roof with EPDM, replace (2) garage windows on garage to match home

7. Project Details:

a) Design Install black EPDM roof & (2) double hung windows

b) Color roof-black, windows-white

c) Size 26'x20'

d) Approximate Cost \$3,500.00 Expected Completion Date Nov. 2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Mikel Coultter
Applicant (Signature)

10/4/2020
Date

Mikel Coultter
Property Owner (Signature)

10/4/2020
Date

Abutting Property Owners List for
686 Evening St.

Chad Kiner	690 Evening St.	Worthington, Oh 43085
Joseph & Sarah Ziems	689 Oxford St.	Worthington, Oh 43085
Robert Scheuneman	685 Oxford St.	Worthington, Oh 43085
Benjamin and Amy Struewing	109 W. Granville Rd.	Worthington, Oh 43085
William & Mary Mirick	700 Evening St.	Worthington, Oh 43085
David & Kathleen Griffin	669 Evening St.	Worthington, Oh 43085
Mary Debitetto	693 Evening St.	Worthington, Oh 43085
Joesph and Shelly Stotzer	687 Evening St.	Worthington, Oh 43085

686 Evening St.





Roof to be Replaced



CITY OF WORTHINGTON
DRAWINGS NO. AR 74-2020
DATE 10/09/2020



CITY OF WORTHINGTON
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DATE 10/09/2020



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