



**ARCHITECTURAL REVIEW BOARD  
MUNICIPAL PLANNING COMMISSION  
-AGENDA-  
Thursday, June 28, 2018 at 7:00 P.M.**

Louis J. R. Goorey Worthington Municipal Building  
The John P. Coleman Council Chamber  
*6550 North High Street  
Worthington, Ohio 43085*

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the June 14, 2018 meeting
4. Affirmation/swearing in of witnesses

**B. Architectural Review Board – Unfinished**

1. Signage – **445 E. Granville Rd.** (Danite Sign Co./Boundless) **AR 31-18**

**C. Architectural Review Board - New**

1. Signs – **559 High St.** (Jackriya Thi/Elevated Beauty) **AR 48-18**
2. Fence – **6770 N. High St.** (T-Built Construction Services Inc./All Saints Lutheran Church) **AR 50-18**
3. Sign Face Replacement – **6525 N. High St. & 65 Wesley Blvd.** (Custom Sign Center Inc./Bickford Senior Living) **AR 51-18**
4. Window & Door Modifications – **570 Hartford St.** (Brant & Suzanne Gipson) **AR 52-18**  
(Amendment to AR 21-18)

5. Windows – **136 W. Stafford Ave.** (Richardson Exteriors/Limes) **AR 54-18**
  
6. Patio, Retaining Wall, Sidewalk, Steps – **30 Kenyon Brook Dr.** (Joseph Foust)  
**AR 55-18**

**D. Municipal Planning Commission**

1. **Wilson Bridge Corridor**

- a. Multi-family Residential – **181 E. Wilson Bridge Rd.** (Oxford Circle LLC)  
**WBC 01-18**

**E. Other**

**F. Adjournment**



## MEMORANDUM

TO: Members of the Architectural Review Board  
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: June 22, 2018

SUBJECT: Staff Memo for the Meeting of June 28, 2018

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### **B. Architectural Review Board - Unfinished**

1. Sign – **445 E. Granville Rd.** (Danite Sign Co./Boundless) **AR 31-18**

#### **Findings of Fact & Conclusions**

##### **Background & Request:**

Harding Hospital was founded in 1916 by George T. Harding II, MD as the Columbus Rural Rest Home. The hospital provided treatment for people with physical, mental, social and spiritual needs on the 45 acre Worthington campus until 1999, when it became part of The Ohio State University's Wexner Medical Center. In 2014, Step by Step (now Boundless) academy purchased the property and has been providing mental health services out of some of the buildings on the property. Many of the buildings have not been used or maintained in years. Last year, buildings D, E, and F were approved for demolition, which is currently taking place. Also, the existing pole sign near the entrance was modified.

**This application initially was a request to install a new post and panel sign near the entrance. Now, the applicant would like approval instead to install new sign faces for the existing pole sign, and add directional signage to the site.**

##### **Project Details:**

1. In fall of 2017 the existing pole sign was revised to have the roof removed, and 41" X 41" sign faces with a white background, brown address, and tree branch decorations were installed. At one point, lettering spelling "Step by Step" was mounted on the wall but is no longer there. **The newly proposed sign faces for the pole sign are 42 1/2" wide x 42" high aluminum panels painted white. The copy would include the address in gray at the top, "boundless" plus a logo in the middle in teal and orange, and "Center of Excellence for Health & Human Services" in gray at the bottom.**

2. **Three types of directional signs are proposed for the site, all of which are non-illuminated:**
  - **Six 2' high x 3'6" wide post and panel signs would be installed at intersections that offer a choice of direction with a list of options and arrows. The signs are proposed as aluminum with white backgrounds, gray lettering, and orange borders across the top.**
  - **Nine post and panel 18" high x 3' wide signs are proposed near buildings to identify program locations. The signs would be aluminum with white backgrounds, gray lettering and orange or teal borders across the top, except the sign by the building along E. Granville Rd. is proposed with a blue border and the Boundless logo.**
  - **Two 18" x 18" signs would identify parking locations for staff and customers. The signs are proposed with white backgrounds, gray lettering, orange borders and teal arrows.**
3. **Variances are required for the freestanding sign, the northernmost directional signs, and the parking signs having too many colors; the size and height of the directional signs; and total directional sign area.**

**Land Use Plans:**

Worthington Design Guidelines

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. The design guidelines recommend minimizing the size of signs; traditional sign materials and lighting are preferred (wood or composite to look like wood; individually mounted lettering is preferred; no cabinet box signs or exposed raceways; external or halo illumination).

**Recommendation:**

Staff is recommending approval of this application. Replacement of the pole sign faces is a better short term alternative for an identification sign than something that would look more temporary. A more significant sign can be considered in the future. The size and amount of directional signage is appropriate for such a large site.

**Motion:**

**THAT THE REQUEST BY DANITE SIGN CO. ON BEHALF OF BOUNDLESS FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW FREESTANDING SIGN FACES AND DIRECTIONAL SIGNS AT 445 E. GRANVILLE RD. AS PER CASE NO. AR 31-18, DRAWINGS NO. AR 31-18, DATED JUNE 22, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

## C. Architectural Review Board - New

### 1. Signs – 559 High St. (Jackriya Thi/Elevated Beauty) AR 48-18

#### Findings of Fact & Conclusions

##### **Background & Request:**

This parcel has a commercial building (constructed in 1969) at the front and a single family home (constructed in 1930) at the rear, with split zoning to reflect those uses. The property owners purchased the property in 2012, moved their business, Haddad Oriental Rugs, into the commercial building near High St., and lived in the house to the rear. Both buildings were renovated, including new siding and roofing on the commercial building and a new garage was approved behind that was never constructed. In 2012 there was also approval of a change to the signage, including a new awning sign and new sign faces for the existing freestanding sign.

This application is being made by a new tenant for the commercial building who plans to operate a spa called Elevated Beauty, and would like to change the signs accordingly.

##### **Project Details:**

1. In 2016, the existing metal awning was painted burgundy and graphics were applied to identify Haddad oriental Rugs. This application is a request for approval to paint the awning semi-gloss black and apply white graphics identifying “*elevated beauty*” with “SPA & LOUNGE” below.
2. The freestanding sign faces are proposed to be painted with the same semi-gloss black for the existing 61” wide x 27” high background panels, and there would be white acrylic graphics to match the awning sign. The sign would either need to have an opaque background or the internal illumination could not be used.

##### **Land Use Plans:**

###### Worthington Design Guidelines and Architectural District Ordinance

Guideline recommendations for signage include being efficient in using signs. Try to use as few and as small signs as are necessary to get the business message across to the public. Signage, including the appropriateness of signage to the building, is a standard of review per the Architectural District ordinance.

##### **Recommendation:**

Staff is recommending *approval* of the proposed changes as the awning and freestanding signs would be appropriate for this site.

##### **Motion:**

**THAT THE REQUEST BY JACKRIYA THI OF ELEVATED BEAUTY FOR A CERTIFICATE OF APPROPRIATENESS TO CHANGE THE AWNING AND FREESTANDING SIGNS AT 559 HIGH ST. AS PER CASE NO. AR 48-18, DRAWINGS NO. AR 48-18, DATED JUNE 5, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

2. Fence – **6770 N. High St.** (T-Built Construction Services Inc./All Saints Lutheran Church)  
**AR 50-18**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

The playground for All Saints was moved to its location at the northeast corner of the building when the rear addition was constructed in the early 1990's. Approved and constructed at that time were a 6' high solid wood fence on a 2' high retaining wall around the perimeter of the playground. This application is a request for approval to replace the deteriorating fencing and retaining wall.

#### **Project Details:**

1. Proposed is a 6' high Simtek Ashland vinyl privacy fence that would appear as though it had vertical boards with a trim panel at the top and bottom. The proposed color is Walnut Brown and a sample has been submitted.
2. The retaining wall below the fence is also proposed for replacement and would be Versa-lok stones in various shades of brown.

#### **Land Use Plans:**

##### **Worthington Design Guidelines and Architectural District Ordinance**

Fences and walls are traditionally used as boundary markers and security features. Traditional types of fences and walls include masonry walls, cast and wrought iron fences, wood rail or board fences, rows of trees and shrubs, or a combination of these. Paint or opaque stain are the preferred finishes for wood fencing. Avoid non-traditional materials such as concrete, basket-weave, stockade and "cyclone" fencing. Fences are not permitted in front of the building line so the building and storefronts can remain visible. Side and rear fences may be as much as six feet in height, especially when concealing trash containers and utility boxes.

#### **Recommendation:**

Staff is recommending *approval* of this application. Although the proposed fencing is vinyl, it is the most wood-like vinyl staff has seen. Also, the playground is somewhat hidden from view.

#### **Motion:**

**THAT THE REQUEST BY T-BUILT CONSTRUCTION SERVICES INC. ON BEHALF OF ALL SAINTS LUTHERAN CHURCH FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A NEW FENCE AND RETAINING WALL AT 6770 N. HIGH ST., AS PER CASE NO. AR 50-18, DRAWINGS NO. AR 50-18, DATED JUNE 12, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

3. Sign Face Replacement – **6525 N. High St. & 65 Wesley Blvd.** (Custom Sign Center Inc./Bickford Senior Living) **AR 51-18**

### **Findings of fact & Conclusions**

#### **Background & Request:**

This facility was originally constructed in the mid-1990's as a senior care facility, and was most recently owned by Sunrise. The main building is nearer to N. High St. and there is a smaller building to the rear along Wesley Blvd. Now owned by Bickford Senior Living, the applicant would like approval to change the sign faces on 2 freestanding signs, one near the N. High St. entrance and the other near the entrance from Wesley Blvd.

#### **Project Details:**

1. A Temporary Use Permit was granted for the owner to place temporary sign faces over the existing Sunrise sign panels. The permanent signs are proposed in the same style as the temporary signs, but would be constructed of HDU (high density urethane) that is routed so the text and logo are raised 2" from the background. Both signs are proposed with an arched top, a white background, and brown border, text and logos.
2. The High St. sign would be about 6'10" wide x 3' 8" high and mounted between the existing brick columns. The sign would identify "Bickford assisted living & memory care".
3. The Wesley Blvd. sign is proposed 5' wide x 4' high and mounted between the existing posts. The sign would have Bickford and the logo, and include "main entrance" with an arrow pointing to the left.

#### **Land Use Plans:**

##### **Worthington Design Guidelines and Architectural District Ordinance**

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. The design guidelines recommend minimizing the size of signs; traditional sign materials and lighting are preferred (wood or composite to look like wood; individually mounted lettering is preferred; no cabinet box signs or exposed raceways; external or halo illumination).

#### **Recommendation:**

Staff is recommending *approval* of this application. The proposed signs are in character with the site and appropriate for the District.

#### **Motion:**

**THAT THE REQUEST BY CUSTOM SIGN CENTER INC. ON BEHALF OF BICKFORD SENIOR LIVING FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE SIGN FACES AT 6525 N. HIGH ST. & 65 WESLEY BLVD., AS PER CASE NO. AR 51-18, DRAWINGS NO. AR 51-18, DATED JUNE 12, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

4. Window & Door Modifications – **570 Hartford St.** (Brant & Suzanne Gipson) **AR 52-18**  
(Amendment to AR 21-18)

### **Findings of Fact & Conclusions**

#### **Background & Request:**

This Bungalow was built in the early 1900's and is a contributing building in the Worthington Historic District. The garage was added in 1981. The house sits on a 0.58 acre parcel that is 100' wide and 240' deep.

A proposal to add 165 square feet at the northeast corner of the house to expand the kitchen was approved in April of this year. Approval of this application would allow minor modifications to the previous project.

#### **Project Details:**

1. On the north elevation, the door is proposed to move to the west, which would allow installation of an additional window to match the others in the house.
2. The roof structure that was to continue between the house and garage covering part of the patio is now proposed to be eliminated.

#### **Land Use Plans:**

##### Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.

#### **Recommendation:**

Staff is recommending *approval* of this application, as the proposed addition continues to be appropriately designed for this property.

#### **Motion:**

**THAT THE REQUEST BY BRANT & SUZANNE GIPSON TO AMEND CERTIFICATE OF APPROPRIATENESS NO. AR 21-18 TO CONSTRUCT A REAR ADDITION AT 570 HARTFORD ST., AS PER CASE NO. AR 52-18, DRAWINGS NO. AR 52-18, DATED JUNE 13, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

5. Windows – **136 W. Stafford Ave.** (Richardson Exteriors/Limes) **AR 54-18**

**Findings of Fact & Conclusions**

**Background & Request:**

This two-story house at the northeast corner of Evening St. and Stafford Ave. was constructed in 1987. The vinyl clad wood windows original to the home are reportedly in need of replacement. The only windows not being replaced at this time are those on a more recent rear addition.

**Project Details:**

1. Twenty-one windows are proposed for replacement of which 20 would be double hung to match the existing, and 1 would be a casement window on the east side in the kitchen. All would be sized to match existing openings and have the same muntin pattern as the existing windows.
2. Proposed are Provia all vinyl windows that would be white inside and out, with white muntins between the panes to match the windows in the addition. The existing windows in the original house are white and have brown interior muntins.
3. Three bathroom windows are proposed with obscure glass in a waterfall pattern in the bottom pane.
4. Full screens are proposed for all windows.

**Land Use Plans:**

Worthington Design Guidelines and Architectural District Ordinance

Be sure that window designs are appropriate for the style or time period of the house. Design and materials should be traditional, and compatible with the existing structure.

**Recommendation:**

Staff is recommending *approval* of this application, as the proposed windows are similar in style to the existing and white muntins are appropriate for this house.

**Motion:**

**THAT THE REQUEST BY RICHARDSON EXTERIORS ON BEHALF OF MICHAEL & DILFUZA LIMES FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW WINDOWS AT 136 W. STAFFORD AVE. AS PER CASE NO. AR 54-18, DRAWINGS NO. AR 54-18, DATED JUNE 15, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

6. Patio, Retaining Wall, Sidewalk, Steps – **30 Kenyon Brook Dr.** (Joseph Foust) **AR 55-18**

**Findings of Fact & Conclusions**

**Background & Request:**

This two-story house was one of three in place when the Kenyon Brook Subdivision was approved. The property is on the north side of the drive that branches to the north from the main road, and the English cottage style house is at the north end of the property. The  $\frac{3}{4}$  acre lot slopes down about 9 feet from the house to the street. A covered porch at the southeast corner of the house was enclosed in the early 1990's, and the existing stairs to the porch are deteriorating.

This is a request to add a new elevated patio at the southeast corner of the house, replace the stairs for the covered patio, and replace the sidewalk and stairs that lead to the front of the home.

**Project Details:**

1. At the southeast corner of the house, removal and replacement of the existing stairs leading to the enclosed porch, and creation of an 18.5' x 12' patio with a bronze colored iron railing and steps to the front yard are proposed. The patio would be built at the same elevation as the porch floor, which is several feet above the adjacent grade. The railing proposed around the patio would likely need to continue along the steps to meet Building Code requirements. Construction of the patio is proposed with concrete block faced with random sized natural limestone to match the existing chimney. The floor would be buffwash finished concrete.
2. The existing sidewalk that runs from the driveway to the front door is proposed for replacement with the same limestone finish. The front steps and stoop on the west side of the house would also be replaced, and the steps would likely need a handrail.
3. A retaining wall with steps in the front yard is also proposed to be replaced with limestone to match.

**Land Use Plans:**

Worthington Design Guidelines and Architectural District Ordinance

Decks and patios should be limited to the rear of buildings. Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style. Design and materials should be compatible with the existing structure.

**Recommendations:**

Staff is recommending *approval* of this application. Although the Design Guidelines recommend patios be located to the rear, this property is suited for a raised patio in the front. The design is complimentary to the house.

**Motion:**

**THAT THE REQUEST BY JOSEPH FOUST FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A NEW PATIO, WALKWAY AND STEPS AT 30 KENYON BROOK DR. AS PER CASE NO. AR 55-18, DRAWINGS NO. AR 55-18, DATED JUNE 15, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

## **D. Municipal Planning Commission**

### **1. Wilson Bridge Corridor**

- a. Multi-family Residential – **181 E. Wilson Bridge Rd.** (Oxford Circle LLC) **WBC 01-18**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

City Council adopted Wilson Bridge Road Corridor (WBC) zoning in 2016 to reflect the planning working that was done for the corridor. Last year approval was granted to rezone this property as WBC-1 – Medium Density Residential to match the zoning district created and recommended for this property as part of the corridor planning. Single family residential properties are located east, west and south of the property. The property to the west was designated for professional office and the parcel to the east was to be medium density residential per the WBC zoning. Commercial property is to the north.

The property consists of two parcels totaling approximately +/- 2.05 acres on the south side of E. Wilson Bridge Rd. just east of the center of the block. The vacant properties are lots 16 & 17 of the Northhigh Acres subdivision, which was created in 1923. The parcels are identified by numbers 100-002477 (Lot #16) & 100-002478 (Lot #17). Lot #16 is also known as 181 E. Wilson Bridge Rd. as there was a house on the lot from about 1995 – 2011. Lot #17 has always been vacant. The parcels would be combined as part of this request to develop multi-family residential.

#### **Project Details:**

##### **1. Site Layout.**

- Two buildings are proposed for the site at the north and south ends with parking between.
- The northern structure (Building 1) would be located 25-30' from the street, and parallel to the street. The exact location of the right-of-way line is being determined, and the city is requesting additional right-of-way for future location of a recreation path, so the setback from the property line is yet to be determined. Sidewalk and steps are proposed along the front of the building to provide access to the individual units. Building 1 is proposed about 40' from the west property line and 25' from the east property line. Variances would be required for the building to be closer than 50' from an "R" District for the proximity to the side property lines. If the corridor had all been rezoned to match the WBC districts, variances would not be needed.
- The southern structure (Building 2) is proposed 50' from the south property line, and ~14' from the east and west property lines. Sidewalk is proposed around the entire building, with walkways to each unit entrance. Variances would be required for the building to be closer than 50' from an "R" District for the proximity to the side property lines. If the corridor had all been rezoned to match the WBC districts, variances would not be needed. The rear setback meets the requirement.
- West of Building 1 would be a 25' wide drive entrance that appears to be wider than the 30' at the curb line allowed by Code in residential districts, and the 45' width allowed in all other districts. If the drive is not narrowed a variance would be needed.

The drive would continue to form a rectangular loop between the buildings that allows 22' wide two-way access to 58 parking spaces. The proposed parking is adjacent to the buildings' sidewalks; 30' from the west property line; and on both sides of the northern and eastern parts of the drive. A 7-car garage is proposed about 25' from the east property line.

- Sidewalk would connect from the southern building along the west side of the parking to the front property line. The area inside the rectangle would also have sidewalk and house the mail boxes for the units.
- Bicycle racks are proposed at the northeast corner of Building 1, and the northwest corner of Building 2.
- Two benches are proposed in front of and centered on Building 1.
- Screening for the "R" properties to the south is proposed with existing and proposed landscape material. A combination of Spruce trees 6' – 7' tall at planting and grasses are proposed to be added near the property line, and 6 healthy trees would remain south of the building.
- Trees to be preserved on the site total 404 caliper inches. In addition to the trees on the south side, trees would be retained in the parking lot island, and along the east and west property lines. Many of the trees slated for removal ( $\pm 1688$  caliper inches) are in poor condition. New trees (343 caliper inches) are proposed for planting along the east property line, in parking lot islands, and in the tree lawn. A variance is requested from the provision requiring \$150 payment for each caliper inch of tree lost and not replaced.
- Shrubs, perennials and grasses are also proposed in planting beds adjacent to the buildings, parking lot, and drive entrance.
- A trash dumpster enclosure is proposed south of the garage. The exact location and screening of other mechanical equipment has not been identified, but is called out as being located to the rear of buildings and screened with walls, fences or landscaping.
- Coverage with impervious surface would be on 1.157 acres of the 2 acre property.
- Utilities are available to the site from main lines in Wilson Bridge Rd.
- The Fire Department wants to ensure access for its vehicles and adequate water flow for the new hydrant.

## 2. Buildings.

- The buildings would have 16 dwelling units each, or 16 units per acre. A variance would be needed to exceed the number of units by 2 per acre.
- Building dimensions are needed, and preliminary floor plans are requested.
- Renderings of the buildings and garage have been presented, but all building elevations have not been submitted. Both residential buildings are proposed to be 2 stories in height, with all units being a single level. All units would have a separate entry door, with 8 on each side of the buildings.
- Both buildings would have a gabled roof, with various gabled elements to break up the facades. Some units are proposed with patios or balconies, all of which would have matching railings.
- Materials would consist of Hardiplank board and batten and lap siding, cement board shake siding, brick and asphalt shingles. The windows appear to be double-hung in a

6 over 6 pattern, and would have shutters. Six-panel entry doors and divided light patio doors are proposed. More detail of the materials is needed.

- The garage structure would be a one-story building with a gabled roof. The rendering indicates 7 matching garage doors and an additional wider door at the south end, likely for storage of equipment. The garage is proposed with Hardiplank lap siding and a brick water table. The proposed dumpster enclosure south of the garage appears to be brick with metal doors.

3. Lighting.

- Four pole lights are shown on the north side of Building 1.
- The poles and fixtures would be black and are not to exceed 10' in height.
- Other exterior lighting details are needed.

4. Sign.

- A 16'8" wide by 4'5" tall brick wall is proposed in front of Building 1 at the west end. The wall would have a limestone cap with a rock faced edge, and the brick would be painted to match the lap siding color on the buildings.
- Halo lit cast aluminum 1'6" and 1' high capital letters would identify "Granby Place".

5. Public Spaces.

The applicant shows total building area of ±36,275 square feet, thus requiring 8 Public Space Amenities. The following Public Space Amenities have been identified:

- 3 Bicycle racks
- 4 Decorative light poles
- 2 Benches

6. Preliminary Plan Requirements.

See bold remarks below under Chapter 1181 – Preliminary Plan Requirements.

**Land Use Plans:**

**Chapter 1181 - Wilson Bridge Corridor Districts**

**Preliminary Plan Requirements:**

- a. A legal description and vicinity map showing the property lines, streets, existing Zoning, and land uses within 300' of the area proposed for development; **Included**
- b. Names and addresses of owners, developers and the registered land surveyor, engineer or architect who made the plan; **Included**
- c. Date, north arrow and total acreage of the site; **Included**
- d. A topographical survey of all land included in the application and such other land adjoining the subject property as may be reasonably required by the City. The topographical survey shall show two foot contours or contours at an interval as may be required by the Municipal Planning Commission to delineate the character of the land included in the application and such adjoining land as may be affected by the application. Elevations shall be based on North American Vertical Datum of 1988 (NAVD88). **Included**
- e. Existing Structures, parking and traffic facilities, Easements and public Rights-of-Way on the subject property as well as within 300' of the proposed area; **Included – except specifics of right-of-way being determined**

- f. Existing sanitary and storm sewers, water mains, culverts and other underground facilities within the tract and in the vicinity, indicating pipe size, grades and exact locations; **Included**
- g. The location of Natural Features and provisions necessary to preserve and/or restore and maintain them to maintain the character of the surrounding neighborhood and community. **Included**
- h. A tree preservation plan showing all existing trees 6" caliper or larger; **Included**
- i. A preliminary grading plan; **Included**
- j. Preliminary design and location of Structures, Accessory Structures, streets, drives, traffic patterns, Sidewalks or Recreation Paths, parking, entry features, site lighting, landscaping, screening, Public Space Amenities and other features as required by the City; **Included – except modifications may be needed to site details due to right-of-way and fire access issues. Room for a ladder truck would be required.**
- k. The proposed provision of water, sanitary sewer and surface drainage facilities, including engineering feasibility studies or other evidence of reasonableness of such facilities; **Included – except a fire flow analysis has been requested.**
- l. Parcels of land intended to be dedicated or temporarily reserved for public use, or reserved by deed covenant, and the condition proposed for such covenants and for the dedications; **Not applicable**
- m. Proposed Easements; **Not applicable**
- n. Proposed number of Dwelling Units per acre; **Included**
- o. Proposed uses, including area of land devoted to each use; **Included**
- p. Proposed phasing of development of the site, including a schedule for construction of each phase; **Needed**
- q. Homeowners or commercial owners' association materials; **Not applicable**
- r. A written narrative describing the project; **Included**
- s. Any additional information as required by the Municipal Planning Commission and the City Council.

**1181.05 WBC Development Standards:**

(a) Site Layout.

- (1) Setbacks. Buildings and parking should be set back to provide a buffer between the sidewalk and building, with some variations in the Building Setback Line encouraged throughout the WBC.
  - A. Buildings 50,000 square feet in area or less shall be located between 5' and 20' from adjacent Right-of-Way Lines. Buildings greater than 50,000 square feet in area shall be located at least 20' from adjacent Right-of-Way lines.
  - B. Buildings located along High Street north of Wilson Bridge Road shall be located at least 50' from the adjacent Right-of-Way lines.
  - C. Buildings on properties abutting properties in "R" districts shall not be located closer than 50' to the property line. Parking facilities and access drives on properties abutting properties in "R" districts shall not be located closer than 25' to the property line.
  - D. Setback areas in front of retail uses shall be primarily hardscaped, and may be used for outdoor dining and other commercial activities. Residential units with

individual entries may include landscaping, walkways, porches, raised planters, walls and fences.

- E. As building height increases, the buildings should consider the relationship between the setback, the street corridor, and the building height. A variety of techniques will be implemented to mitigate any potential "canyon/tunneling" effect along the corridor, such as the use of floor terracing, changes in building massing, insertion of a green commons, recessed seating and dining areas, and lush landscaping.
- (2) Right-of-Way Dedication. Dedication of Right-of-Way may be required to accommodate public improvements.
- (3) Screening. All development on parcels abutting properties in "R" districts shall be permanently screened in the setback area with the combination of a solid screen and landscape screening. The solid screen shall consist of a wall or fence at least 6' in height and maintained in good condition without any advertising thereon. Supporting members for walls or fences shall be installed so as not to be visible from any other property which adjoins or faces the fences or walls. This shall not apply to walls or fences with vertical supporting members designed to be identical in appearance on both sides.  
Landscape screening shall consist of one of the following options at a minimum:
  - A. One large evergreen tree with an ultimate height of 40' or greater for every 20 linear feet, plus one medium evergreen tree with an ultimate height of 20' to 40' for every 10 linear feet. Evergreen trees shall be at least 6' in height at the time of planting. Shrubs and ornamental grasses shall be incorporated into the setback area as to complement the tree plantings. A minimum of one shrub or ornamental grass, at least 24" in height, shall be provided for every 5 linear feet. Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.
  - B. One large deciduous tree with an ultimate height of 50' or greater for every 25 linear feet, plus one medium deciduous tree with an ultimate height of 20' to 40' for every 15 linear feet. Shrubs and ornamental grasses shall be incorporated into the setback area as to complement the tree plantings. A minimum of one shrub or ornamental grass, at least 24" in height, shall be provided for every 5 linear feet. Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.
- (4) Equipment. Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence or landscaping. Such equipment shall be completely screened from view. Materials shall be consistent with those used in the building and/or site. Equipment located on buildings shall match the color of the building.
- (5) Tract Coverage. A maximum of 75% of the property shall be covered with impervious surfaces.
- (6) Pedestrian Access. Sidewalks with a minimum width of 5', Recreation Paths with a minimum width of 10', or a combination of both shall be provided along all Rights-of-Way. Pedestrian connections from Sidewalks, Recreation Paths and parking lots to building entrances shall be provided.

(b) Buildings. Building design should enhance the character of the WBC. A diversity of architectural styles is encouraged to provide visual interest and add to the overall appeal of the corridor.

(1) Design.

- A. A principal building shall be oriented parallel to Wilson Bridge Road, or as parallel as the site permits, and should have an operational entry facing the street.
- B. The height of a building shall be a minimum of 18' for flat roof buildings measured to the top of the parapet, or 12' for pitched roof buildings measured to the eave. Maximum building height shall be per Section 1181.06 of the Code. Building Frontage that exceeds a width of 50' shall incorporate articulation and offset of the wall plane to prevent a large span of blank wall and add interest to the facade. To avoid a potential "canyon/tunneling" effect along the corridor, the use of floor terracing, changes in building massing, insertion of a green commons, recessed seating and dining areas, and lush landscaping will be required.
- C. Extensive blank walls that detract from the experience and appearance of an active streetscape should be avoided.
- D. Details and materials shall be varied horizontally to provide scale and three-dimensional qualities to the building.
- E. Entrances shall be well-marked to cue access and use, with public entrances to a building enhanced through compatible architectural or graphic treatment.
- F. When designing for different uses, an identifiable break between the building's ground floors and upper floors shall be provided. This break may include a change in material, change in fenestration pattern or similar means.
- G. Where appropriate, shade and shadow created by reveals, surface changes, overhangs and sunshades to provide sustainable benefits and visual interest should be used.
- H. Roof-mounted mechanical equipment shall be screened from view on all four sides to the height of the equipment. The materials used in screening must be architecturally compatible with the rooftop and the aesthetic character of the building.

(2) Materials.

- A. Any new building or redevelopment of a building façade should include, at a minimum, 75% of materials consisting of full set clay bricks, stone, cultured stone, wood or fiber cement board siding. Samples must be provided.
- B. Vinyl siding and other less durable materials should not be used.
- C. Long-lived and sustainable materials should be used.
- D. The material palette should provide variety and reinforce massing and changes in the horizontal or vertical plane.
- E. Especially durable materials on ground floor façades should be used.
- F. Generally, exterior insulation finishing systems (EIFS), are not preferred material types.
- G. A variety of textures that bear a direct relationship to the building's massing and structural elements to provide visual variety and depth should be provided.
- H. The color palette shall be designed to reinforce building identity and complement changes in the horizontal or vertical plane.

- (3) Windows and Doors.
- A. Ground-floor window and door glazing shall be transparent and non- reflective. Above the ground floor, both curtain wall and window/door glazing shall have the minimum reflectivity needed to achieve energy efficiency standards. Non-reflective coating or tints are preferred.
  - B. Walls adjacent to the primary building frontage, shall have the pattern of window glass continued from the primary building frontage a minimum distance of 10'.
  - C. Windows and doors shall be recessed from the exterior building wall, except where inappropriate to the building's architectural style.
  - D. For a primary building frontage of a commercial use, a minimum of 30% of the area between the height of 2' and 10' above grade shall be in clear window glass that permits a full, unobstructed view of the interior to a depth of at least 4'.
- (c) Landscaping. There shall be landscaping that complements other site features and creates relief from buildings, parking areas and other man-made elements.
- (1) Natural Features: Natural Features shall not be removed, damaged, altered or destroyed without approval per the procedures in Section 1181.07. All healthy trees 6" caliper or larger shall be retained, or replaced with total tree trunk equal in diameter to the removed tree, and this shall be documented as part of an approved Natural Features preservation plan and/or landscape plan. In the event the Municipal Planning Commission determines that full replacement would result in the unreasonable crowding of trees upon the Lot, or that such replacement is not feasible given site conditions, a fee of \$150.00 per caliper inch of trees lost and not replaced on such property shall be paid in cash to the City for deposit in the Special Parks Fund. Such deposits shall be used for reforestation on public property.
  - (2) Drought tolerant, salt tolerant, non-invasive, low maintenance trees and shrubs should be utilized.
  - (3) Deciduous trees shall be a minimum of 2" caliper at the time of installation; evergreen trees shall be a minimum of 6' in height at the time of installation; and shrubs shall be a minimum of 24" in height at the time of installation.
  - (4) Street trees shall be provided.
  - (5) Parking lot landscaping shall be required per the provisions in Chapter 1171.
  - (6) Seasonal plantings should be incorporated into the landscape plan.
  - (7) The approved landscape plan must be maintained across the life of the development.
- (d) Lighting. All exterior lighting shall be integrated with the building design and site and shall contribute to the night-time experience, including façade lighting, sign and display window illumination, landscape, parking lot, and streetscape lighting.
- (1) The average illumination level shall not exceed 3 footcandles. The light level along a property line shall not exceed 0 footcandles.
  - (2) The height of parking lot lighting shall not exceed 15' above grade and shall direct light downward. Parking lot lighting shall be accomplished from poles within the lot, and not building-mounted lights.
  - (3) For pedestrian walkways, decorative low light level fixtures shall be used and the height of the fixture shall not exceed 12' above grade.
  - (4) Security lighting shall be full cut-off type fixtures, shielded and aimed so that illumination is directed to the designated areas with the lowest possible illumination level to effectively allow surveillance.

(e) Signs.

(1) General.

- A. All new signs, including sign face replacement, shall be subject to the provisions herein.
- B. The provisions in Chapter 1170 shall apply to all signs in the WBC unless otherwise stated in this section.
- C. Exterior lighting fixtures are the preferred source of illumination.

(2) Freestanding Signs

- A. There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.
- B. Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10'. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.
- C. Freestanding signs may include the names of up to eight tenants of that parcel.
- D. Light sources shall be screened from motorist view.

(f) Parking.

- (1) Design. Surface parking shall be located to the rear or side of the buildings on the site. If parking is located on the side of the building, parking shall not exceed 2 rows of parking with a drive aisle between, shall not exceed 60' of street frontage, shall be located no closer to the Right-of-Way than the building, and shall be screened from view from the Right-of-Way.
- (2) Non-residential Uses. Parking shall be adequate to serve the proposed uses, but shall in no case exceed 125% of the parking requirement in Section 1171.01.
- (3) Residential Uses. There shall not be less than one parking space per Dwelling Unit.
- (4) Bicycle Parking. Bicycle parking should be provided and adequate to serve the proposed uses.
- (5) Structured Parking. Structured parking shall be permitted and encouraged within the WBC, and shall meet all other standards as outlined in this chapter.

(g) Public Spaces. A minimum of one Public Space Amenity as approved by the Municipal Planning Commission shall be required for every 5,000 square feet of gross floor area of multi-family dwellings, commercial or industrial space that is new in the WBC. Public Space Amenities are elements that directly affect the quality and character of the public domain such as:

- (1) An accessible plaza or courtyard designed for public use with a minimum area of 250 square feet;
- (2) Sitting space (e.g. dining area, benches, or ledges) which is a minimum of 16 inches in height and 48 inches in width;
- (3) Public art;
- (4) Decorative planters;
- (5) Bicycle racks;
- (6) Permanent fountains or other Water Features;
- (7) Decorative waste receptacles;
- (8) Decorative pedestrian lighting; and
- (9) Other items approved by the Municipal Planning Commission.

**WBC-1 – Medium Density Residential:**

An area along the WBC that allows for medium density residential housing, offering a variety of housing styles and pricing options that complement the residential and architectural patterns and styles in the City.

- (1) Permitted Uses: Multi-family dwellings, Home Occupations, Public uses, Essential services and Accessory uses.
- (2) Maximum Building Height: Three stories except buildings on the south side of Wilson Bridge Road between Westview Drive and McCord Park should be limited to 2 ½ stories and 30’.
- (3) Density: The maximum number of dwelling units allowed per acre for development within the WBD-1 shall be 14, with a desired number between 10 and 14 dwelling units.

**Staff Analysis:**

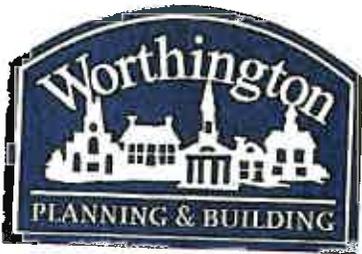
- As the Wilson Bridge Corridor Districts chapter of the Code was planned and adopted, it was anticipated the entire corridor would be rezoned at the same time. The adjacent properties to the east and west were purchased with full knowledge of the plan for the corridor, so this developer should not have to meet setback and screening requirements for being adjacent to “R” districts on those sides.
- Although the Code would require solid and landscape screening to the south, the building on the south side could act as a solid screen. With the building at 50’ with no parking or driveways closer, landscape screening could suffice unless the adjacent neighbors want a solid screen.
- Clarification is needed regarding how the placement of a 12” storm sewer on the south side of Building 2 might impact the existing and/or proposed vegetation.
- The proposed materials are appropriate, but placement of brick only to the bottom of the second floor windows is not typical in Worthington. Whole gabled building sections could be brick, or a brick water table could be utilized. Building elevations and material samples are needed.
- A variance to waive the tree replacement fee is reasonable given the quality of the trees and the amount of pervious surface for the development. The proposed retention of some existing trees and the planting of new is satisfactory.
- The request for a variance to exceed the allowable number of dwelling units by 2 units/acre is not substantial.
- The width of the driveway is appropriate for Fire Department access.

**Recommendation:**

Staff is recommending the Municipal Planning Commission discuss this request and either table the application until additional information is received or approve the Preliminary Plan knowing that any necessary revisions would be presented with the Final Plan.

**Motion:**

**THAT THE REQUEST BY OXFORD CIRCLE LLC FOR APPROVAL OF A PRELIMINARY PLAN TO DEVELOP THE PARCELS AT 181 E. WILSON BRIDGE RD. AS MEDIUM DENSITY RESIDENTIAL, AS PER CASE NO. WBC 01-18, DRAWINGS NO. WBC 01-18, DATED JUNE 19, 2018, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS, AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR 31-18
Date Received	4/13/18
Fee	\$200
Meeting Date	4/26/18
Filing Deadline	
Receipt #	65099

- Property Location** 445 E. Dublin Granville Road Worthington, OH 43085
- Present/Proposed Use** Boundless - Center of Excellence for Health & Human Services
- Zoning District** None
- Applicant** Oliver Holtsberry - DaNite Sign Co.  
**Address** 1640 Harmon Avenue Columbus, OH 43223  
**Phone Number(s)** 614-444-3333
- Property Owner** Michael Mayhugh - Boundless  
**Address** 445 E. Dublin Granville Road Worthington, OH 43085  
**Phone Number(s)** 817-343-7860
- Project Description** Install a <sup>Flags for Pole Sign</sup> New Double-Sided Non-Illuminated Post & Panel Sign (to go inside of the circular bush) + Directional Sign.
- Project Details:**
  - Design** Boundless logo & (under Hint) Center of Excellence for Health & Human Services
  - Color** orange, teal, grey, white background
  - Size** (4'h x 6'w) 24 sq. Ft.
  - Approximate Cost** \$ 2,000      **Expected Completion Date** 6/1/2018

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**  
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

*Tabled 4/26/18*

*Oliver Holtsberry*  
 Applicant (Signature)

4-12-2018  
 Date

*Michael Mayhugh*  
 Property Owner (Signature)

4/12/18  
 Date

**Abutting Property Owners List for  
445 E. Granville Rd.**

John & Laura Gorun		400 E. Granville Rd.	Worthington, OH 43085
Harding Heritage Foundation		430 E. Granville Rd.	Worthington, OH 43085
Michael Payne		5782 Indianola Ave.	Worthington, OH 43085
Thomas & Pamela Sheedy		11891 Monkey Hollow Rd.	Sunbury, OH 43074
Resident		5781 Indianola Ave.	Worthington, OH 43085
David & Kathleen Moore		567 Park Overlook Dr.	Worthington, OH 43085
Shawn & Karen Miller		560 Park Overlook Dr.	Worthington, OH 43085
Martin Shumway		554 Park Overlook Dr.	Worthington, OH 43085
Martin Shumway	Harvest Rider	546 Park Overlook Dr.	Worthington, OH 43085
Mark & Debra Warren		538 Park Overlook Dr.	Worthington, OH 43085
Edward & Cheryl D'Angelo		2318 N. Circle Dr.	Ann Arbor, MI 48103
Resident		532 Park Overlook Dr.	Worthington, OH 43085
Alicia Vandenberg	Evan Martin	524 Park Overlook Dr.	Worthington, OH 43085
Laurie Sutherland		518 Park Overlook Dr.	Worthington, OH 43085
Zachary Hammond	Devan Feeney	512 Park Overlook Dr.	Worthington, OH 43085
Heather Morris		506 Park Overlook Dr.	Worthington, OH 43085
Brian & Elizabeth Seitz		415 E. South St.	Worthington, OH 43085
Randy James		387 E. South St.	Worthington, OH 43085
William & Karen Alsnauer		544 White Oak Pl.	Worthington, OH 43085
Christopher Conner		554 White Oak Pl.	Worthington, OH 43085
Matthew Wunderle	Melanie Tolleson	563 White Oak Pl.	Worthington, OH 43085
The Michael Mae Trust		564 White Oak Pl.	Worthington, OH 43085
Phillip & Melanie George		327 E. New England Ave.	Worthington, OH 43085
David & Jennifer Stolfi		655 Andover St.	Worthington, OH 43085
Joan Harding Tr.		650 Andover St.	Worthington, OH 43085
Ohio Conference Assoc. of the 7th Day Adventist Church		385 E. Granville Rd.	Worthington, OH 43085

**Support Statement for New Sign**

***Business: Boundless – 445 E. Dublin Granville Road Worthington, OH 43085***

***Contractor: DaNite Sign Company***

Hi my name is Oliver Holtsberry from DaNite Sign Company here in Columbus. My client Michael Mayhugh, with Boundless, would like to do some new directional signage around the property at 445 E. Dublin Granville Road. The need for this new signage is evident to get people to the right building.

The first issue here is that the new Boundless logo exceeds 4 colors. We are hoping to gain approval to use the new logo as intended so the company can accurately brand themselves as intended.

The second issue is the size of the directional signs. They are a bit over the allowed size for such signs. We are proposing that they be larger due to the amount of information on each sign. There is so much wording on the sign that it would not be visible at the size allowed. We need to make them bigger so the public can easily view the signs & get to the right location. We are proposing that each sign be 3'6" wide x 2' high. The sign will be 4' feet above grade.

We hope you will understand the uniqueness of the situation & allow Mr. Michael Mayhugh & Boundless to move forward with the new logo & the directional sign package.

Thank you for your time!

Sincerely,

Oliver Holtsberry  
DaNite Sign Company

# 445 E. Granville Rd.



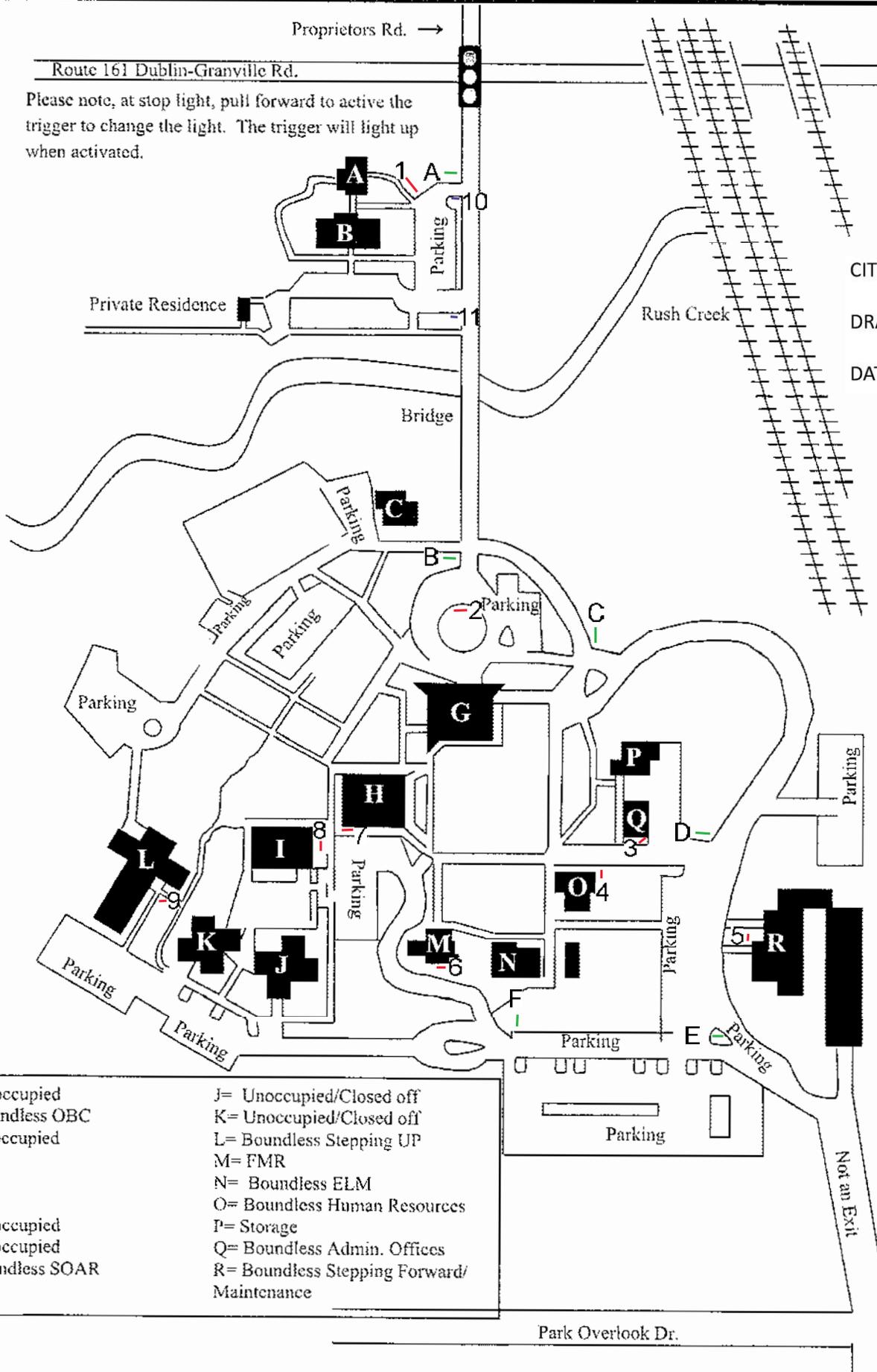
# Boundless Worthington Campus

Proprietors Rd. →

Route 161 Dublin-Granville Rd.

Please note, at stop light, pull forward to activate the trigger to change the light. The trigger will light up when activated.

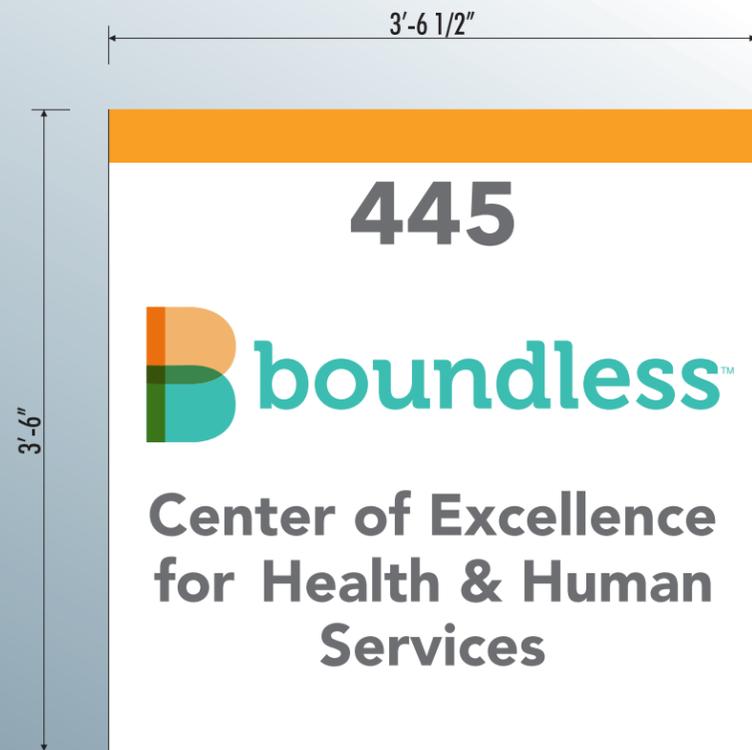
CITY OF WORTHINGTON  
DRAWING NO. AR 31-18  
DATE 06/22/18



- |                   |   |
|-------------------|---|
| A= Unoccupied     | J= Unoccupied/Closed off                      |
| B= Boundless OBC  | K= Unoccupied/Closed off                      |
| C= Unoccupied     | L= Boundless Stepping UP                      |
|                   | M= FMR  |
|                   | N= Boundless ELM                              |
| G= Unoccupied     | O= Boundless Human Resources                  |
| H= Unoccupied     | P= Storage                                    |
| I= Boundless SOAR | Q= Boundless Admin. Offices                   |
|                   | R= Boundless Stepping Forward/<br>Maintenance |

Park Overlook Dr.

← Indianola Ave.



#S4-34050-R1: REPLACEMENT FACES FOR D/F NON-ILLUMINATED SIGN 1" = 1'-0"

- FACES: .063 ALUMINUM PAINTED WHITE.
- GRAPHICS: DIGITALLY PRINTED VINYL.

CITY OF WORTHINGTON

DRAWING NO. AR 31-18

DATE 06/22/18



PROPOSED CONCEPTUAL 3/8" = 1'-0"

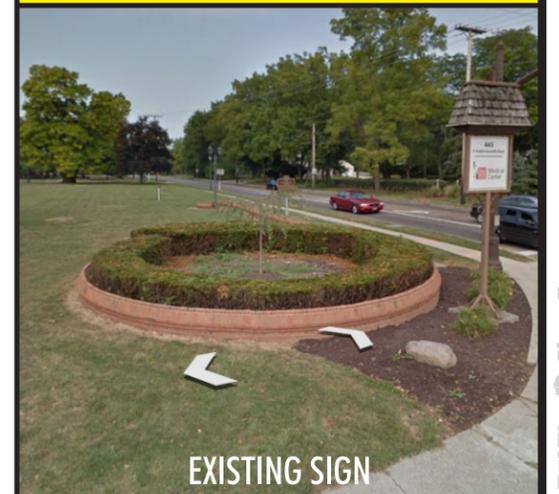


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www.danitesign.com

UL LISTED via STANDARD UL48  
FILE NO: E60042 DaNITE SIGN CO.

For electrical illuminated signs. For non-illuminated signs, UL does not apply.



EXISTING SIGN

COLORS

- WHITE
- DIGITALLY PRINTED VINYL

APPROVED-CUSTOMER \_\_\_\_\_ DATE \_\_\_\_\_



JOB NAME FRANKLIN MANAGEMENT RESOURCES #S4-34050-R1  
STREET 445 E. DUBLIN GRANVILLE ROAD  
CITY, STATE WORTHINGTON, OH  
SIGN TYPE REPLACEMENT FACE

DATE 4/24/18 REV. DATE: 4/24/18  
FILE NAME FRANKLIN MANAGEMENT RESOURCES.CDR  
DIRECTORY ANYA > 2018 > F

SCALE AS NOTED SALE OH DESIGNER AG

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ALL SIGN GRAPHICS (SCALE: 3/4" = 1'-0")

- ➔ Health & Wellness Center
- ⬆ Boundless Administration
- ⬆ ELM
- ⬆ SOAR
- ⬆ Stepping Up
- ⬆ Stepping Forward
- ⬆ Supported Living
- ⬆ PDP, FSS, ICF, Respite
- ⬆ Behavioral Health Center Based Administration

SIGN A

- ⬆ Boundless Administration
- ⬆ ELM
- ⬆ SOAR
- ⬆ Stepping Up
- ⬆ Stepping Forward
- ⬆ Supported Living
- ⬆ PDP, FSS, ICF, Respite
- ⬆ Behavioral Health Center Based Administration

SIGN B

- ⬆ ELM
- ⬆ SOAR
- ⬆ Stepping Up
- ⬆ Stepping Forward
- ⬆ Supported Living
- ⬆ PDP, FSS, ICF, Respite
- ⬆ Behavioral Health Center Based Administration

SIGN C

- ⬆ Stepping Forward
- ⬆ Behavioral Health Center Based Administration
- ⬆ PDP, FSS, ICF, Respite
- ⬆ ELM
- ⬆ SOAR
- ⬆ Stepping Up
- ⬆ Supported Living

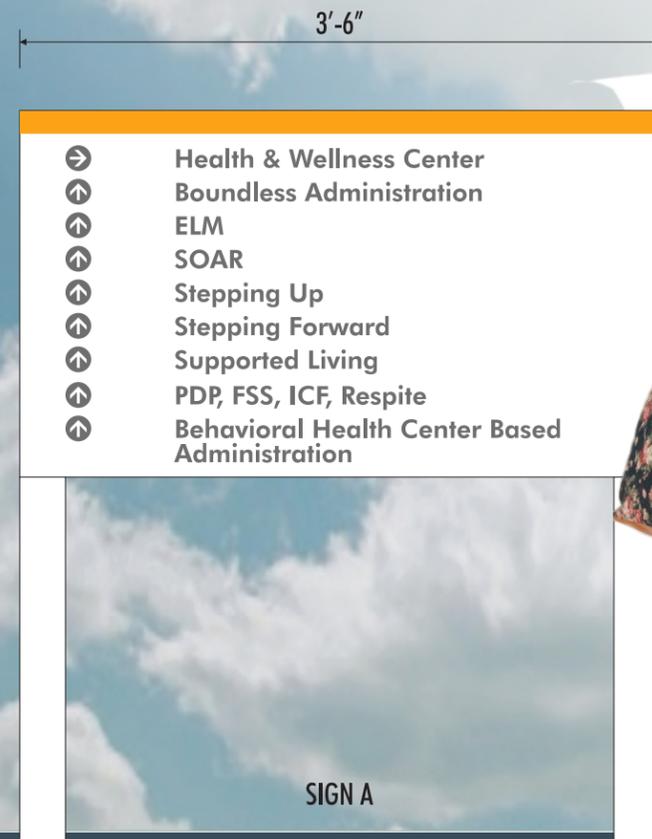
SIGN D

- ➔ ELM
- ➔ SOAR
- ➔ Stepping Up
- ➔ Supported Living

SIGN E

- ➔ Supported Living
- ➔ ELM
- ➔ SOAR
- ➔ Stepping Up

SIGN F



SIGN A



#S5-34050-R3: NEW S/F NON-ILLUMINATED POST AND PANEL SIGNS 1" = 1'-0"

- FRAME AND PANEL: 3" X 3" X 1/4" ALUMINUM TUBES WITH .090 FACES.
- GRAPHICS: DIGITALLY PRINTED VINYL.
- QTY: 6.

CITY OF WORTHINGTON

DRAWING NO. AR 31-18

DATE 06/22/18

COLORS

- WHITE
- DIGITALLY PRINTED VINYL

APPROVED-CUSTOMER \_\_\_\_\_ DATE \_\_\_\_\_



JOB NAME	FRANKLIN MANAGEMENT RESOURCES	#S5-34050-R3
STREET	445 E. DUBLIN GRANVILLE ROAD	
CITY, STATE	WORTHINGTON, OH	
SIGN TYPE	PARKING SIGNS	
DATE	6/5/18	REV. DATE: 6/22/18
FILE NAME	FRANKLIN MANAGEMENT RESOURCES.CDR	
DIRECTORY	ANYA > 2018 > F	

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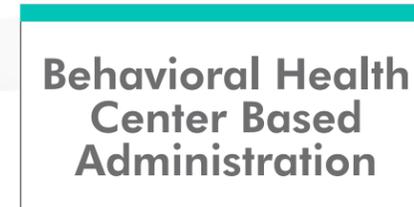
ALL SIGN GRAPHICS (SCALE: 3/4" = 1'-0")



SIGN 1



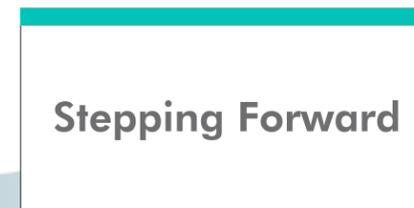
SIGN 2



SIGN 3



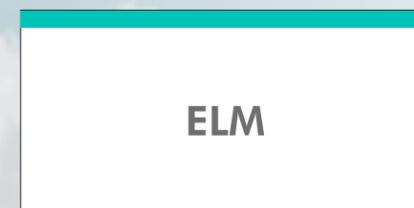
SIGN 4



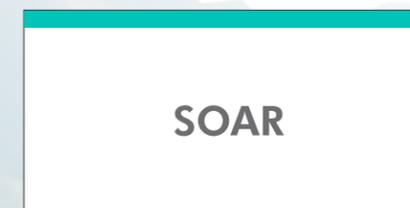
SIGN 5



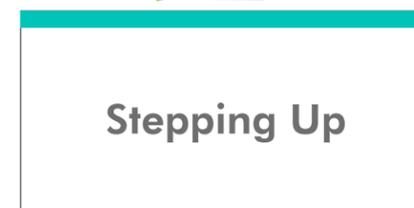
SIGN 6



SIGN 7



SIGN 8

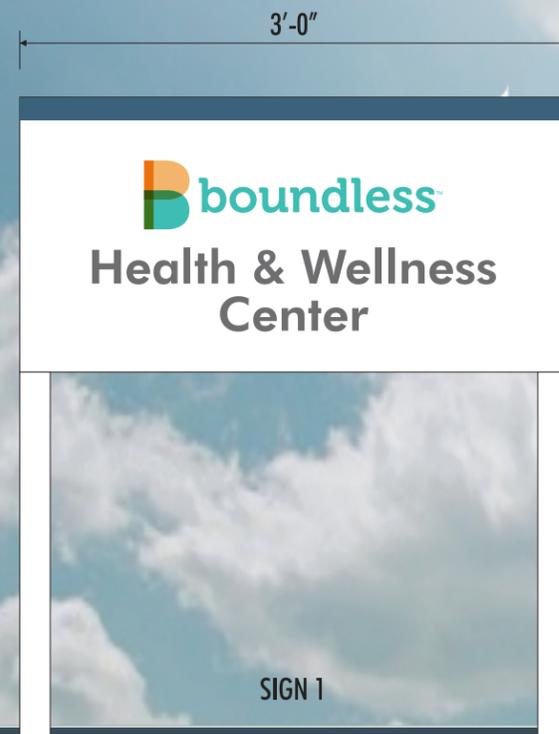


SIGN 9

CITY OF WORTHINGTON

DRAWING NO. AR 31-18

DATE 06/22/18



SIGN 1



#S5-34050-R3: NEW S/F NON-ILLUMINATED POST AND PANEL SIGNS 1" = 1'-0"

- FRAME AND PANEL: 2" X 2" ALUMINUM TUBES WITH .090 FACES.
- GRAPHICS: DIGITALLY PRINTED VINYL.
- QTY: 6.



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FILE NO: E60042 DaNITE SIGN CO.

For electrical illuminated signs. For non-illuminated signs, UL does not apply.

COLORS

- WHITE
- DIGITALLY PRINTED VINYL

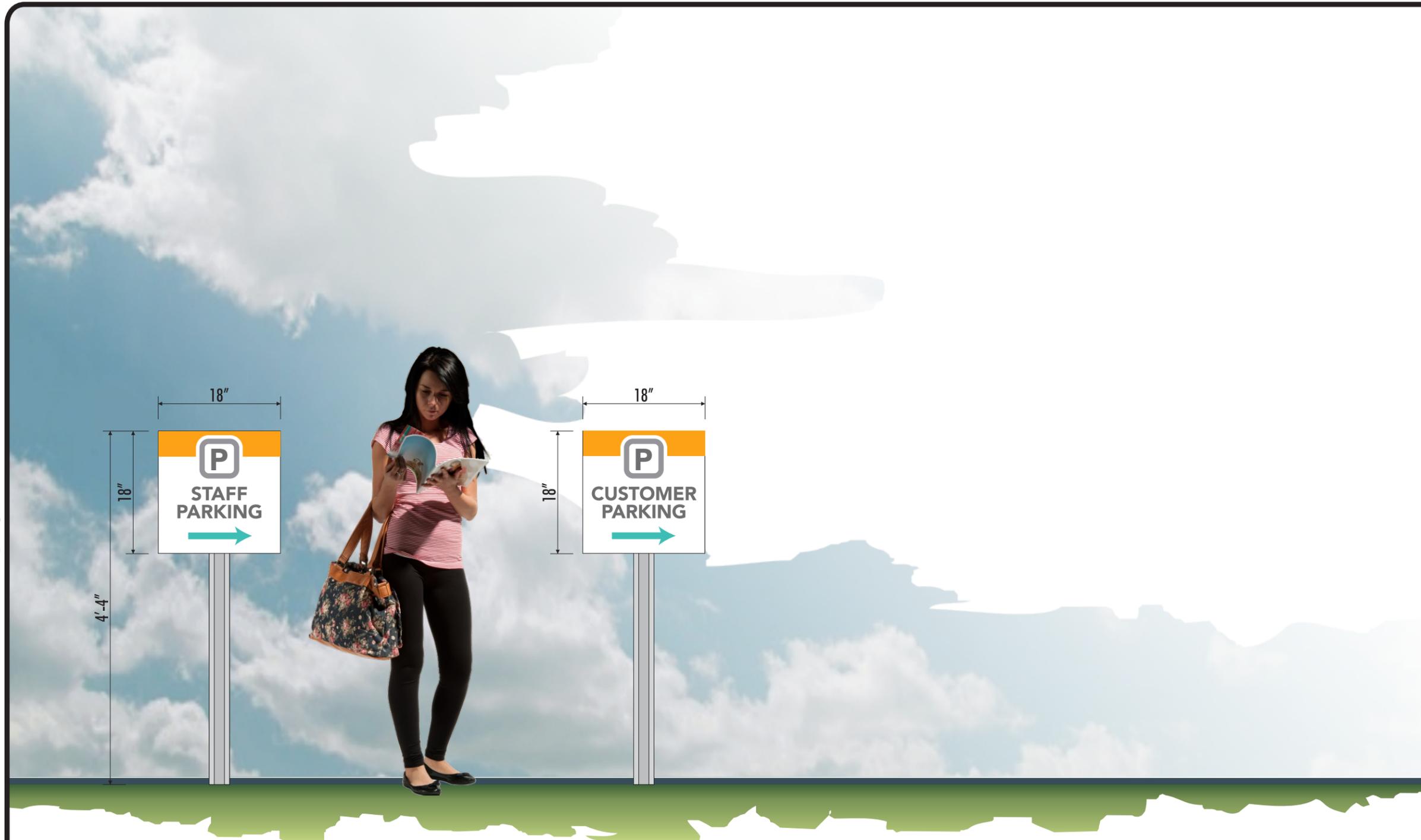
APPROVED-CUSTOMER \_\_\_\_\_ DATE \_\_\_\_\_



JOB NAME	FRANKLIN MANAGEMENT RESOURCES #S5-34050-R3	
STREET	445 E. DUBLIN GRANVILLE ROAD	
CITY, STATE	WORTHINGTON, OH	
SIGN TYPE	PARKING SIGNS	
DATE	6/5/18	REV. DATE: 6/22/18
FILE NAME	FRANKLIN MANAGEMENT RESOURCES.CDR	
DIRECTORY	ANYA > 2018 > F	

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SIGN 10

SIGN 11

**#S5-34050-R3: PARKING SIGNS**      3/4" = 1'-0"

- POSTS: GALVANIZED U CHANNELS.
- PANELS: .063 ALUMINUM.
- GRAPHICS: DIGITALLY PRINTED VINYL.

CITY OF WORTHINGTON

DRAWING NO. AR 31-18

DATE 06/22/18



**DaNite Sign Co.**

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 www.danitesign.com

**UL LISTED via STANDARD UL48**  
**FILE NO: E60042 DaNITE SIGN CO.**

For electrical illuminated signs. For non-illuminated signs, UL does not apply.

**COLORS**

- WHITE
- DIGITALLY PRINTED VINYL

APPROVED-CUSTOMER \_\_\_\_\_ DATE \_\_\_\_\_



<b>JOB NAME</b>	FRANKLIN MANAGEMENT RESOURCES #S5-34050-R3	
<b>STREET</b>	445 E. DUBLIN GRANVILLE ROAD	
<b>CITY, STATE</b>	WORTHINGTON, OH	
<b>SIGN TYPE</b>	PARKING SIGNS	
<b>DATE</b>	6/5/18	REV. DATE: 6/22/18
<b>FILE NAME</b>	FRANKLIN MANAGEMENT RESOURCES.CDR	
<b>DIRECTORY</b>	ANYA > 2018 > F	

SCALE AS NOTED    SALE OH    DESIGNER AG

This project is an original unpublished design concept protected by copyright laws of The United States of America. Prior to sale or print design fees, all visual materials, specifications, annexes and revisions remain the exclusive property of DaNite Sign Company. The use of any part herein to manufacture, sell or adapt this concept to other mediums by unauthorized parties constitutes an actionable plagiarism.





City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Table with case details: Case # AR 48-18, Date Received 6-5-2018, Fee \$200, Meeting Date 6-28-2018, Filing Deadline, Receipt # 65340

- 1. Property Location 559 HIGH ST. WORTHINGTON OH 43085
2. Present/Proposed Use Beauty Salon & Spa (Eco friendly)
3. Zoning District CMIXED-YC-SY
4. Applicant Jackriya Thi - Owner of Elevated Beauty
5. Property Owner SADIAR POUR AKBAR & HADIAR POUR MINOC
6. Project Description Change business name on awning and front sign to reflect change of business 'Elevated Beauty'
7. Project Details: a) Design AWNING: Black paint background w/ 12" Mylar stencil (white)
b) Color Black background / white letters
c) Size AWNING: 276" x 36" FRONT SIGN: 61" x 27"
d) Approximate Cost \$300 Expected Completion Date 6.29.18

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

6.5.18 Date

Property Owner (Signature)

6-5-18 Date

ABUTTING PROPERTY OWNERS  
FOR  
559 High St

571 High LLC		634 High St. Suite A	Worthington, OH 43085
Maris Clary		602 Oxford St.	Worthington, OH 43085
Chad Owens		48 W. South St.	Worthington, OH 43085
Bryan Fletcher	Jessica Hemmelgarn	36 W. South St.	Worthington, OH 43085
Guernsey Bank		547 High St.	Worthington, OH 43085
Colin & Robin Wigney		556 High St.	Worthington, OH 43085
Worthington Methodist Church		600 High St.	Worthington, OH 43085

1449 Worthington Woods Blvd

Worthington OH 43085

June 6, 2018

ATTN: City of Worthington Architectural Review Board

374 Highland Ave

Worthington OH 43085

To City of Worthington:

I am requesting to "change of copy" of the existing signs at 559 High St. The previous business of Haddad Oriental Rugs, currently have their business name on the awning and front marquis location (in white letters with brown backgrounds). I am simply requesting to repaint the brown backgrounds (awning and marquis) to black -- while our business name "Elevated Beauty - Spa & Lounge" -- will replace "Haddad Oriental Rugs" and remain white.

Please see attached pics to better illustrate my request ...

Best,

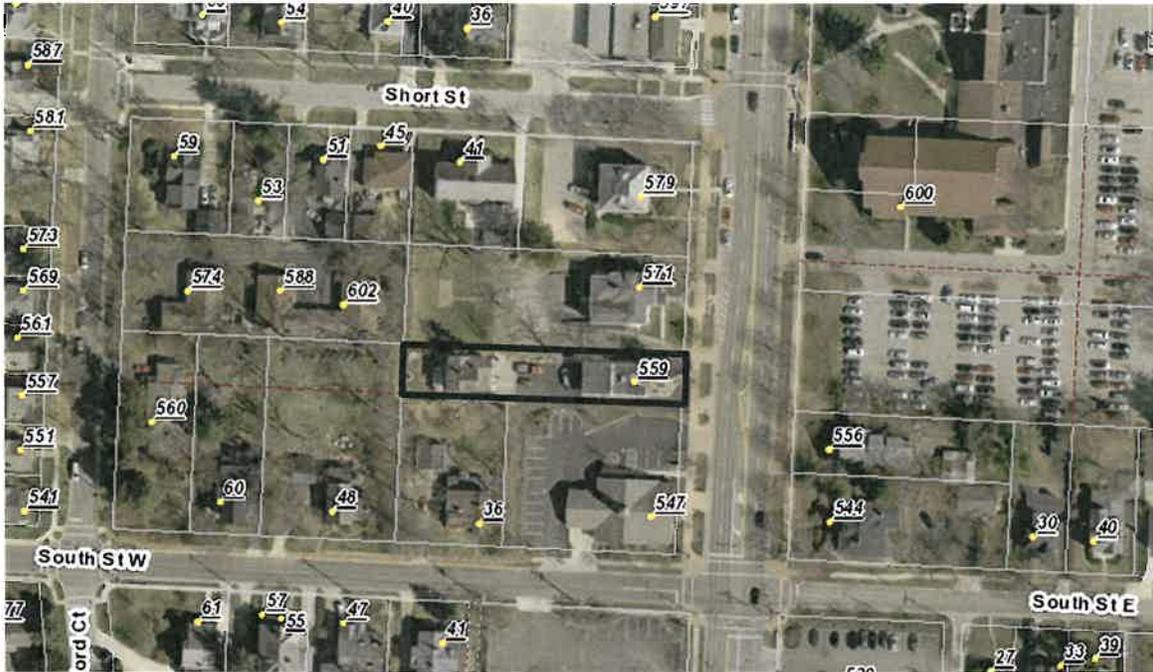


Jackiya Thi

Jackiya Thi

614.270.0994

# 559 High St.



100-000326 04/22/2017

*Haddad* ORIENTAL RUGS

559

559



CITY OF WORTHINGTON

DRAWING NO. AR 48-18

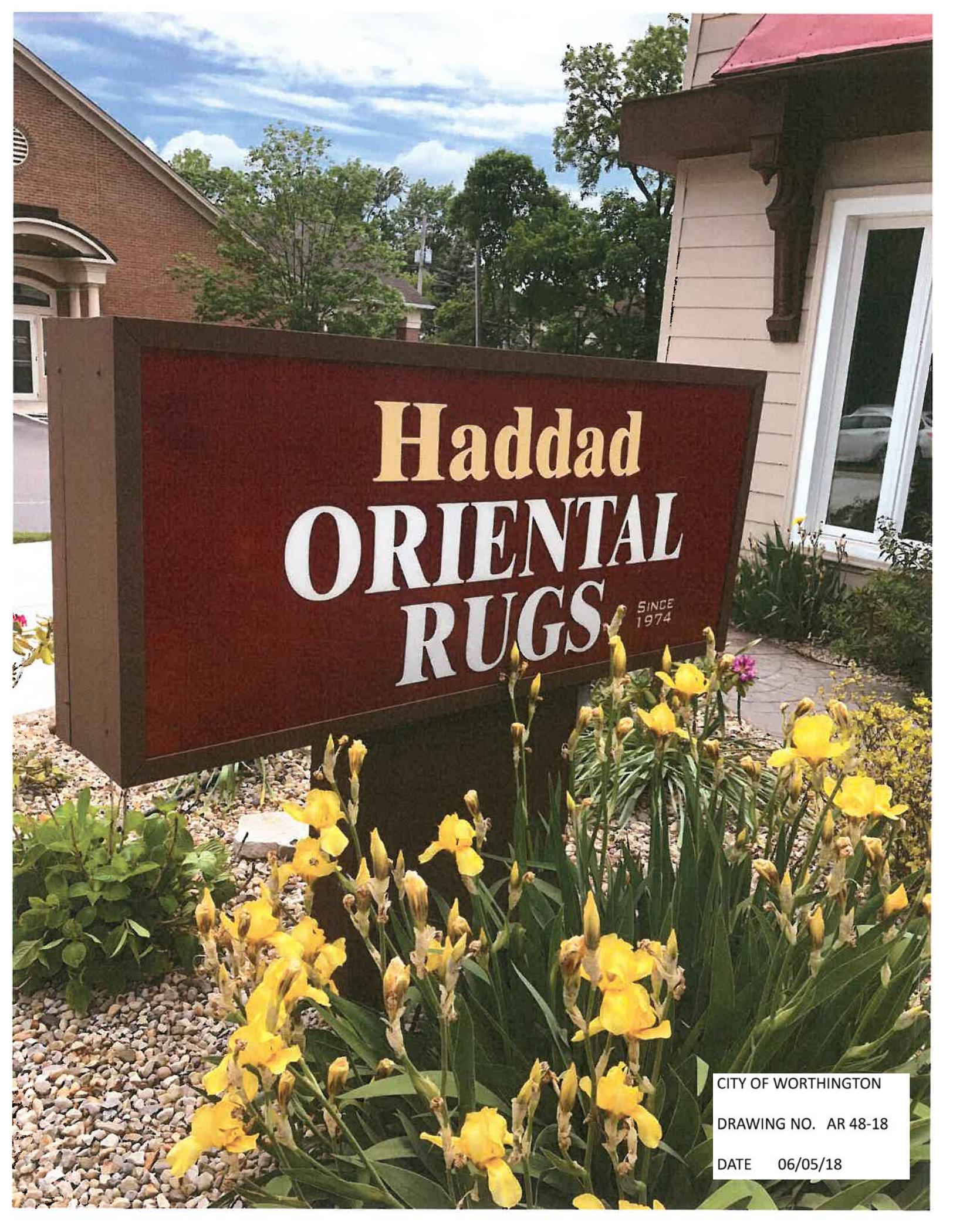
DATE 06/05/18



CITY OF WORTHINGTON

DRAWING NO. AR 48-18

DATE 06/05/18



**Haddad**  
**ORIENTAL**  
**RUGS** SINCE  
1974

CITY OF WORTHINGTON

DRAWING NO. AR 48-18

DATE 06/05/18

27"

*elevated beauty*

SPA & LOUNGE

61"

CITY OF WORTHINGTON

DRAWING NO. AR 48-18

DATE 06/05/18



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR 50-18
Date Received	6-12-18
Fee	\$25 Pd
Meeting Date	6-28-18
Filing Deadline	
Receipt #	65383

1. Property Location 6770 N. HIGH ST.
2. Present/Proposed Use CHURCH
3. Zoning District \_\_\_\_\_
4. Applicant T-BUILT CONSTRUCTION SERVICES INC  
 Address 5249 CAPTAINS CT COLS. OH 43723  
 Phone Number(s) 614 554 7240
5. Property Owner ALL SAINTS EVANGELICAL LUTHERN CHURCH  
 Address 6770 N. HIGH ST  
 Phone Number(s) 614-846 6060
6. Project Description REPLACEMENT OF EXISTING WOOD FENCE WITH VINYL + REPLACE TIMBER RETAINING WALL WITH MASONRY
7. Project Details:
  - a) Design FENCE SOLID VINYL RETAINING WALL
  - b) Color BROWN INTERLOCKING MASONRY
  - c) Size 4' HT. BROWN 18" TO 24"
  - d) Approximate Cost 25K Expected Completion Date 8-15-18

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Ed Thurston  
 Applicant (Signature)

6-10-18  
 Date

Susan Ekin  
 Property Owner (Signature)

6-10-18  
 Date

ABUTTING PROPERTY OWNERS  
FOR  
6770 N. High St.

C&C Properties  
Worthington 17 LLC  
AFSCME Ohio Council 8  
Executive House LP  
Andrew Scholl and Susan Riley  
Kathryn Jakes

6767 N. High St.  
50 W. Broad St. Suite 200  
6800 N. High St.  
3095 Standhal Laval  
55 Heischman Ave.  
56 Heischman Ave.

Worthington, Ohio 43085  
Columbus, Ohio 43215  
Worthington, Ohio 43085  
Quebec, Canada H7P OC3  
Worthington, Ohio 43085  
Worthington, Ohio 43085

# 6770 N. High St.



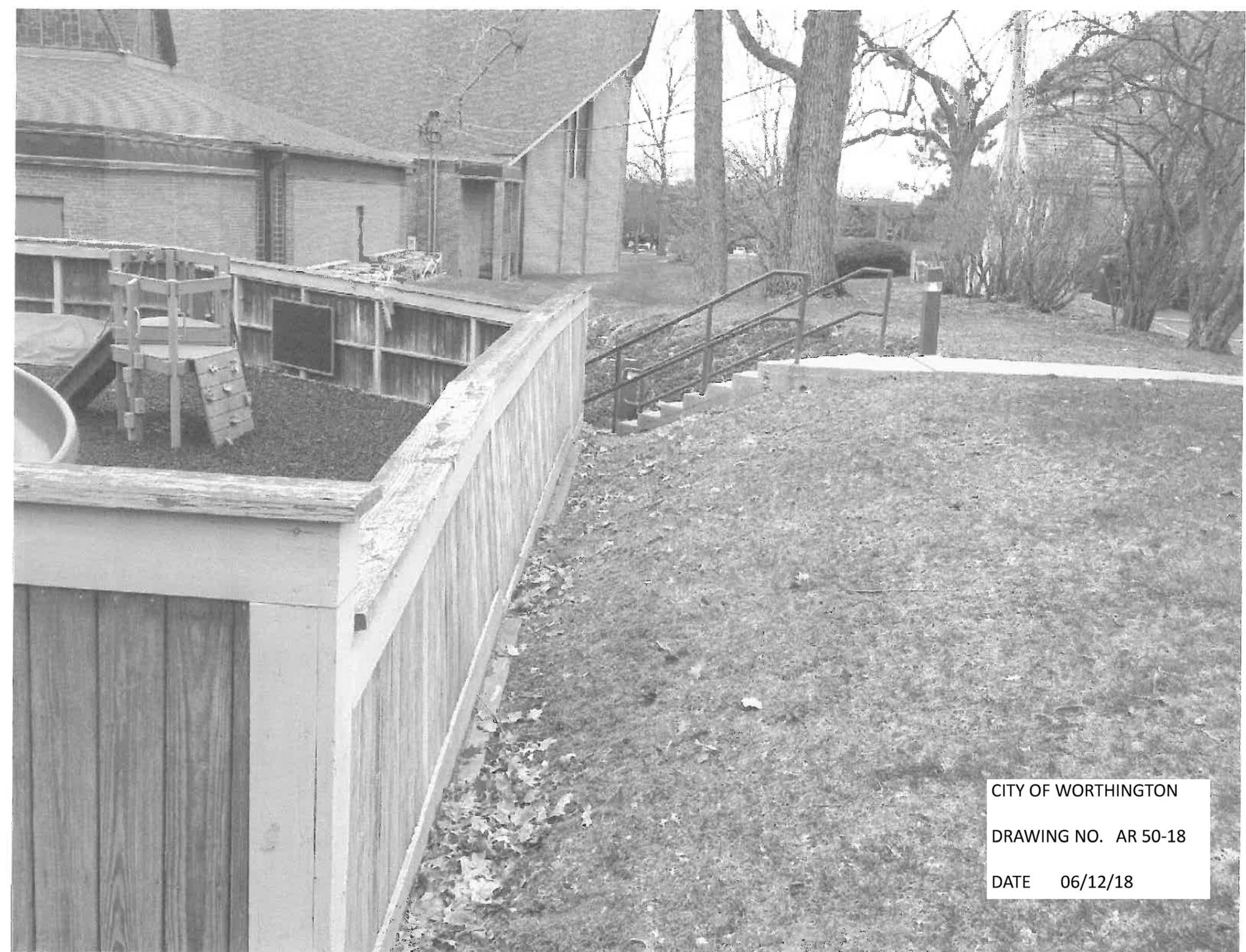
100-002118 04/17/2017



CITY OF WORTHINGTON

DRAWING NO. AR 50-18

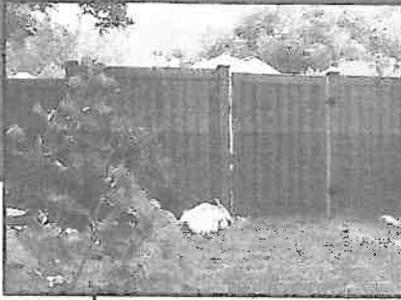
DATE 06/12/18



CITY OF WORTHINGTON

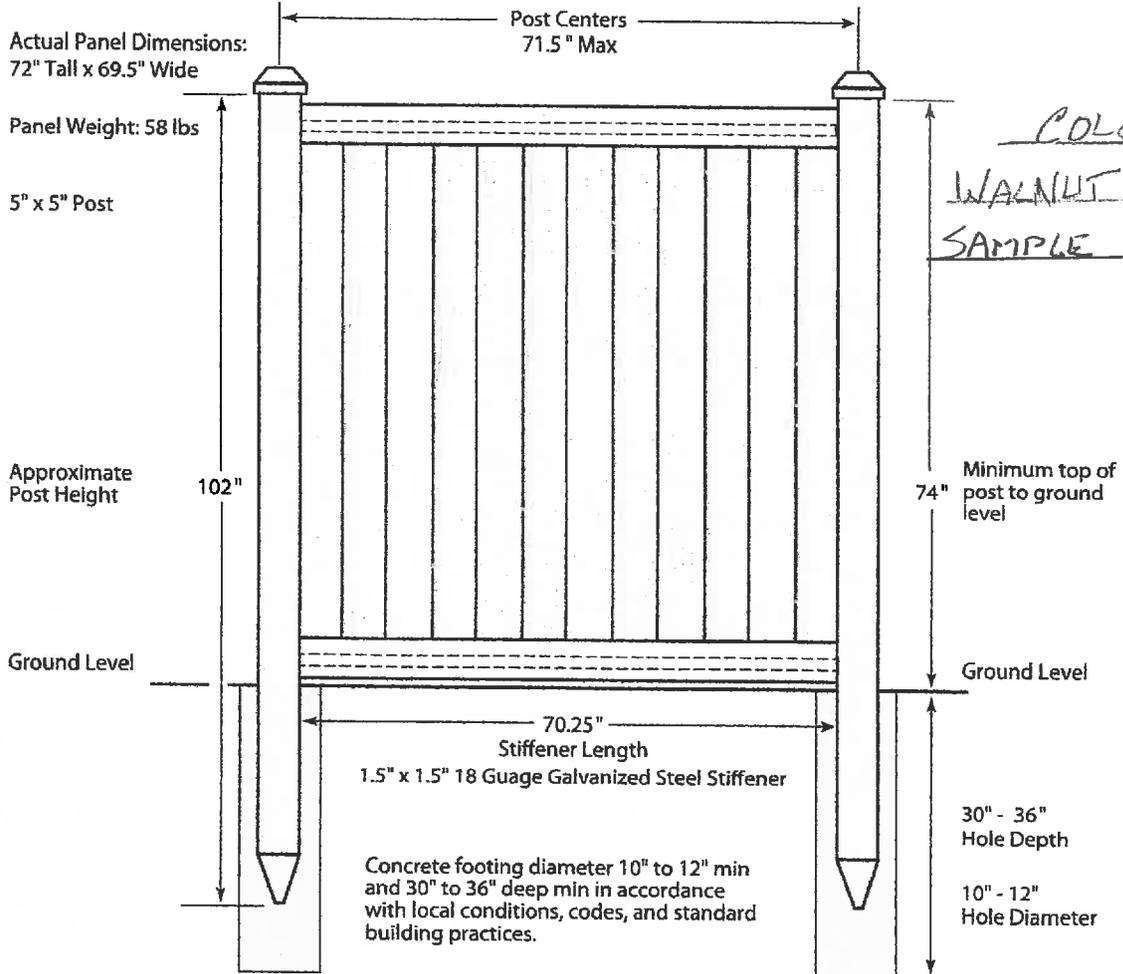
DRAWING NO. AR 50-18

DATE 06/12/18



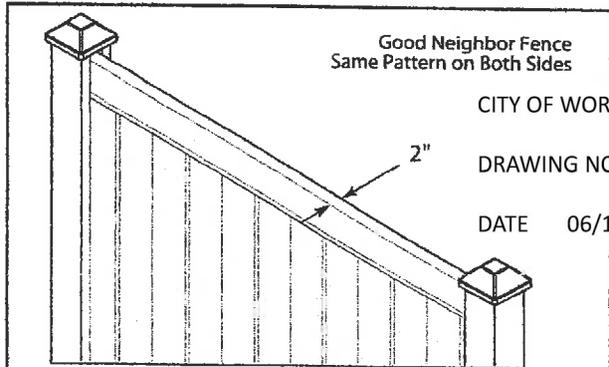
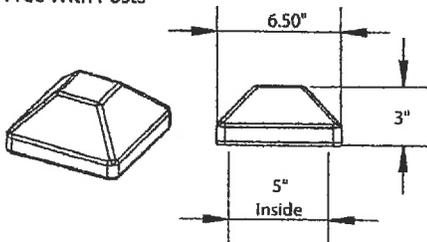
Vinyl Fence Wholesaler  
 Phone: (507) 206-4154 - Website: www.vinylfenceanddeck.com  
 Contact Us 24/7 For A FREE Quote!

**SIMTEK ASHLAND PRIVACY**  
 Technical Specifications: Ashland Privacy Fence by SimTek  
 Ashland Simulated Wood Privacy Fence 6' Tall x 6' Wide Sections



*COLOR*  
 WALNUT BROWN  
 SAMPLE SUBMITTED

Post Cap Details  
 Caps Included Free With Posts



CITY OF WORTHINGTON  
 DRAWING NO. AR 50-18  
 DATE 06/12/18

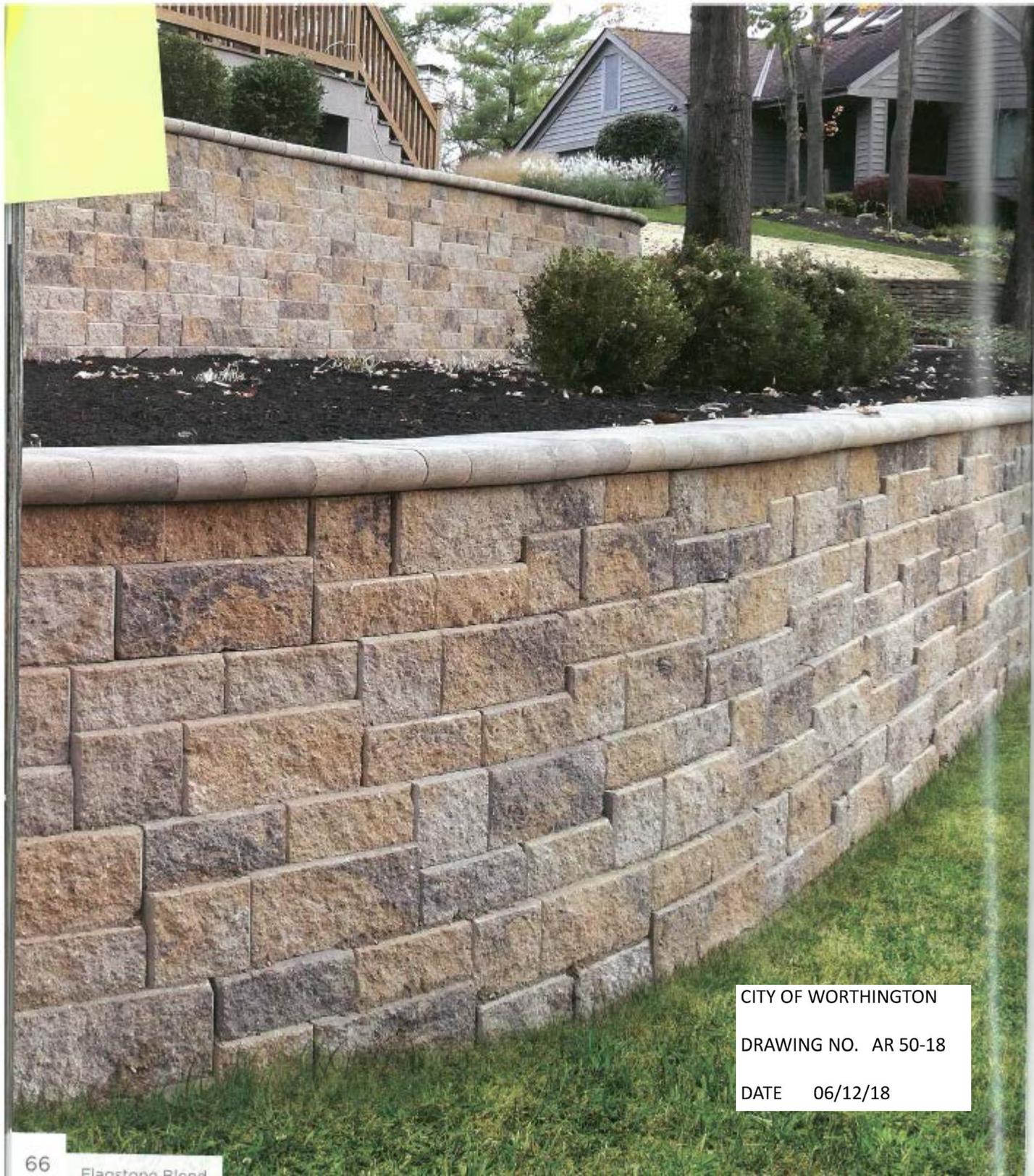
Model #: WP72X72	This drawing may not be altered or reproduced without permission.		
Date: May 1, 2015	Scale: not to scale	REV: A Gleason	
Sheet 1 of 1	U.S. Patents: 7,478,797 / 7,635,114 Foreign Patents Pending		



CITY OF WORTHINGTON

DRAWING NO. AR 50-18

DATE 06/12/18



CITY OF WORTHINGTON

DRAWING NO. AR 50-18

DATE 06/12/18

# VERSA-LOK<sup>®</sup> MOSAIC<sup>®</sup>

Four different segmental retaining wall options:

Standard, Accent, Cobble and Mosaic<sup>®</sup>. Our Non-Weathered Versa-Lok<sup>®</sup> Mosaic<sup>®</sup> Retaining walls can create everything from small, four-foot backyard walls to 40-foot serpentine walls. Use the three sizes together to form the Mosaic<sup>®</sup> System or separate for three unique walls.



## PRODUCT SPECS



a



b



c



d



e



f

a) **Versa-Lok<sup>®</sup> Non-Weathered Standard** - 16" (face) x 14" (rear) x 12" D x 6" H

b) **Versa-Lok<sup>®</sup> Non-Weathered Cobble** - 8" (face) x 12" D x 6" H

c) **Versa-Lok<sup>®</sup> Non-Weathered Accent** - 12" (face) x 12" D x 4" H

d) **Rectangular Cap** - 16" (face) x 11 5/8" D x 3 5/8" H

e) **Solid Corner** - 7 7/8" (face) x 12" D x 6" H

f) **Full Return Corner** - 16" (face) x 7 7/8" D x 6" H

## COLORS



Canyon Creek Blend



Earth Blend



Flagstone Blend

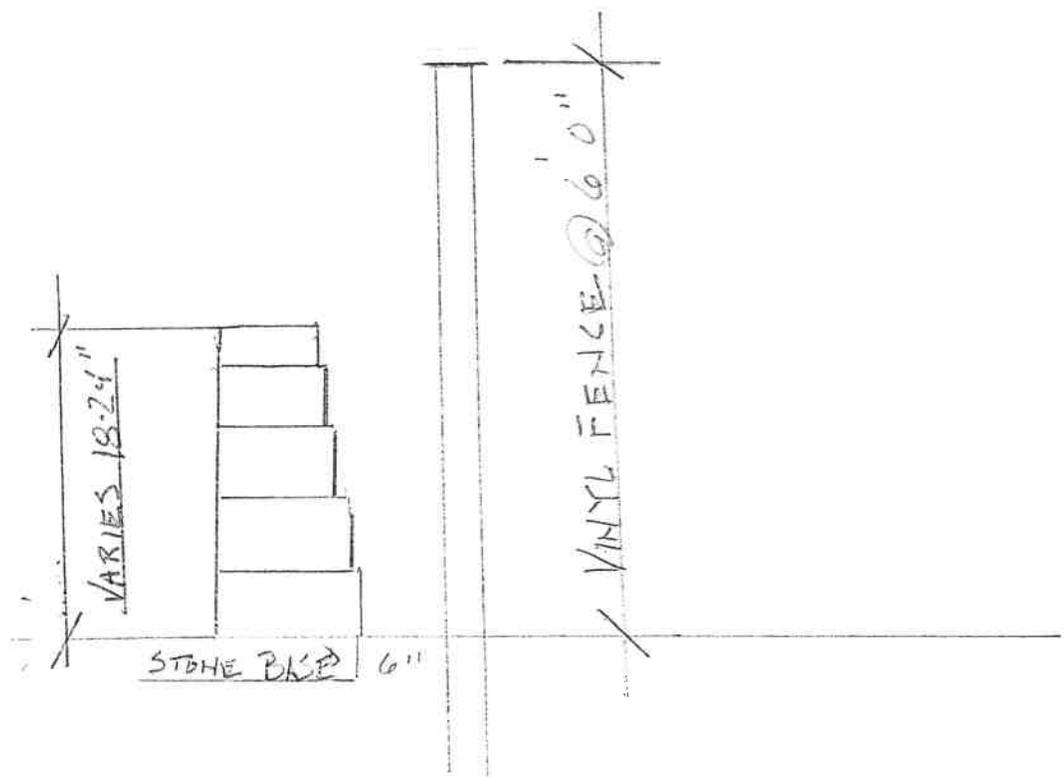
CITY OF WORTHINGTON

DRAWING NO. AR 50-18

DATE 06/12/18

ALL SAINTS CHURCH

SECTION CUT OF PROPOSED REPLACEMENT  
FENCE AND RETAINING WALL



NO SCALE

CITY OF WORTHINGTON

DRAWING NO. AR 50-18

DATE 06/12/18

# Welcome

Welcome to the VERSA-LOK Standard Retaining Wall System Design and Installation Guidelines.

This guide is intended to illustrate design and construction capabilities of the VERSA-LOK® Standard Retaining Wall System. There are many variables to consider, however, when planning or constructing any segmental retaining wall. Soil types, drainage, loading, topography, and height need to be addressed on every project to ensure safe, trouble-free installation.

Walls which support heavy loads or exceed four feet in height require special soil reinforcement and often professionally designed plans.

Consult a qualified engineer if you are unsure about any construction, site, or soil conditions.

MASONRY RETAINING  
WALL HT. 13" TO 24"

VERSA-LOK offers a variety of technical support including in-house engineering assistance and reference literature. Please call 800-770-4525 with questions or to request the following:

You also can download Technical Bulletins, product specifications and details from the VERSA-LOK website at [www.versa-lok.com](http://www.versa-lok.com).

- **Technical Bulletin #1**  
*Shoreline, Waterway, and Retention Pond Protection*
- **Technical Bulletin #2**  
*Stairs*
- **Technical Bulletin #3**  
*Curves and Corners*
- **Technical Bulletin #4**  
*Caps*
- **Technical Bulletin #5**  
*Base Installation*
- **Technical Bulletin #6**  
*Freestanding Walls, Columns, and Vertical Walls*
- **Technical Bulletin #7**  
*Tiered Walls*
- **Technical Bulletin #8**  
*Fences, Railings, and Traffic Barriers*

Also available from VERSA-LOK:

- **Design and Installation Guidelines**  
*- VERSA-LOK Mosaic®*
- **Technical Documentation for Versa-Grid® Soil Reinforcement**
- **VERSA-LOK Standard and Mosaic Construction Details CD-Rom** containing specifications, and drawings created with AutoCAD® software  
*AutoCad is a registered trademark of Autodesk, Inc.*

CITY OF WORTHINGTON

DRAWING NO. AR 50-18

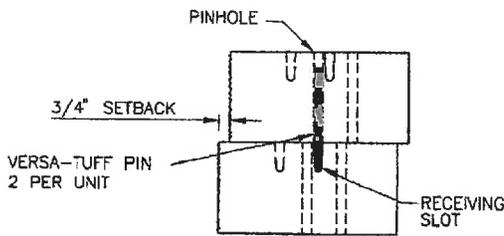
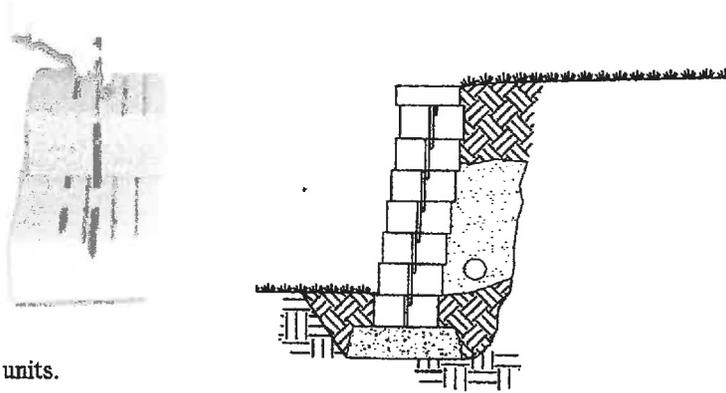
DATE 06/12/18

## VERSA-LOK® Standard System Overview

*VERSA-LOK Standard units have a unique hole-to-slot pinning system for easy installation and superior structural integrity.*

### Pinning

VERSA-LOK Standard units interlock with non-corrosive VERSA-TUFF® Pins (two per unit). As wall courses are installed, pins are inserted through holes in uppermost course units and are received in slots of adjacent lower course units. Pinning helps to align units in a consistent 3/4-inch setback per course.



**Pinning Detail**

### Unreinforced Walls

On many projects, VERSA-LOK Standard retaining walls work purely as gravity systems – unit weight alone provides resistance to earth pressures. Frictional forces between units and pin connections hold units together so walls behave as coherent structures. Batter setback of wall faces offers additional resistance against overturning.

Maximum allowable wall height for gravity walls varies with soil and loading conditions. Generally, with level backfill, good soils, and no excessive loading, VERSA-LOK Standard gravity walls are stable to heights of four feet.

### Reinforced Walls

When weight of units alone is not enough to resist soil loads, horizontal layers of geosynthetics are used to reinforce soil behind walls. With proper soil reinforcement and design, VERSA-LOK Standard walls can be constructed to heights in excess of 40 feet. Geosynthetics do not act as tie-backs for wall faces. Rather, geosynthetics and soil combine to create reinforced soil structures that are strong and massive enough to resist forces exerted on them. In soil-reinforced walls, Standard units simply retain soil between layers of geosynthetics and provide attractive, durable faces.

*Refer to next page*

CITY OF WORTHINGTON

DRAWING NO. AR 50-18

DATE 06/12/18

## VERSA-LOK® Standard Wall Components

*Mortarless  
VERSA-LOK  
Standard retaining  
walls do not  
require rigid  
concrete footings  
below frost.*

### Foundation

Foundation soils on which segmental retaining walls will rest must be stiff, firm, and have sufficient capacity to support wall system weight. Any loose, soft, or compressible material must be removed and replaced with properly compacted backfill. The bearing capacity of the foundation soils should be addressed by a soils engineer.

VERSA-LOK Standard retaining walls are installed on leveling pads consisting of coarse sand or well-graded angular gravel. The most commonly used material for leveling pads is that which is used locally as road base aggregate. Granular leveling pads provide stiff, yet somewhat flexible, bases to distribute wall weights.

Rigid concrete footings extending below frost are not required or recommended. Because Standard units are installed without mortar, they are free to move slightly in relation to each other. Flexibility of the leveling pads and wall units accommodates freeze/thaw cycles without damage to structures. VERSA-LOK Standard walls, installed on granular leveling pads, have been successfully used on projects throughout North America—including shoreline applications and walls exceeding 40 feet in height.



*Compacted granular leveling pads provide a stiff but flexible base.*

If a contractor chooses to form leveling pads using concrete, unreinforced pads should be made of lean concrete mix (200-300 psi) and no more than two inches thick. To ensure correct Standard unit alignment, special care needs to be taken to construct concrete pads that are exactly level. In rare situations where rigid, reinforced-concrete footings are required, they should be placed below seasonal frost depths.

CITY OF WORTHINGTON

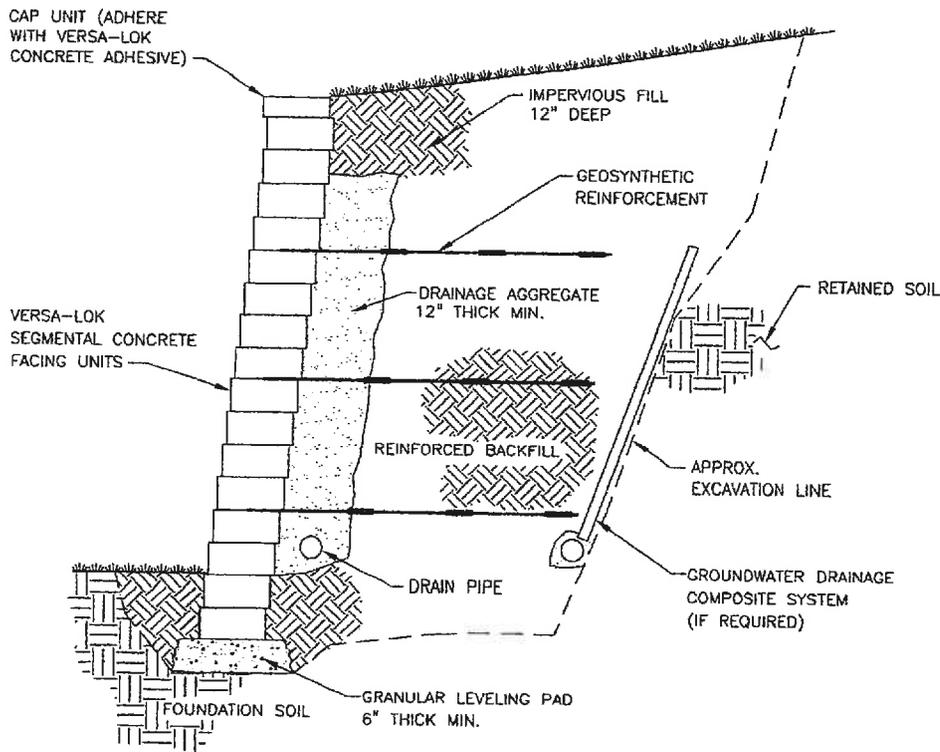
DRAWING NO. AR 50-18

DATE 06/12/18

## VERSA-LOK® Standard Wall Components

### Reinforced Wall Typical Section

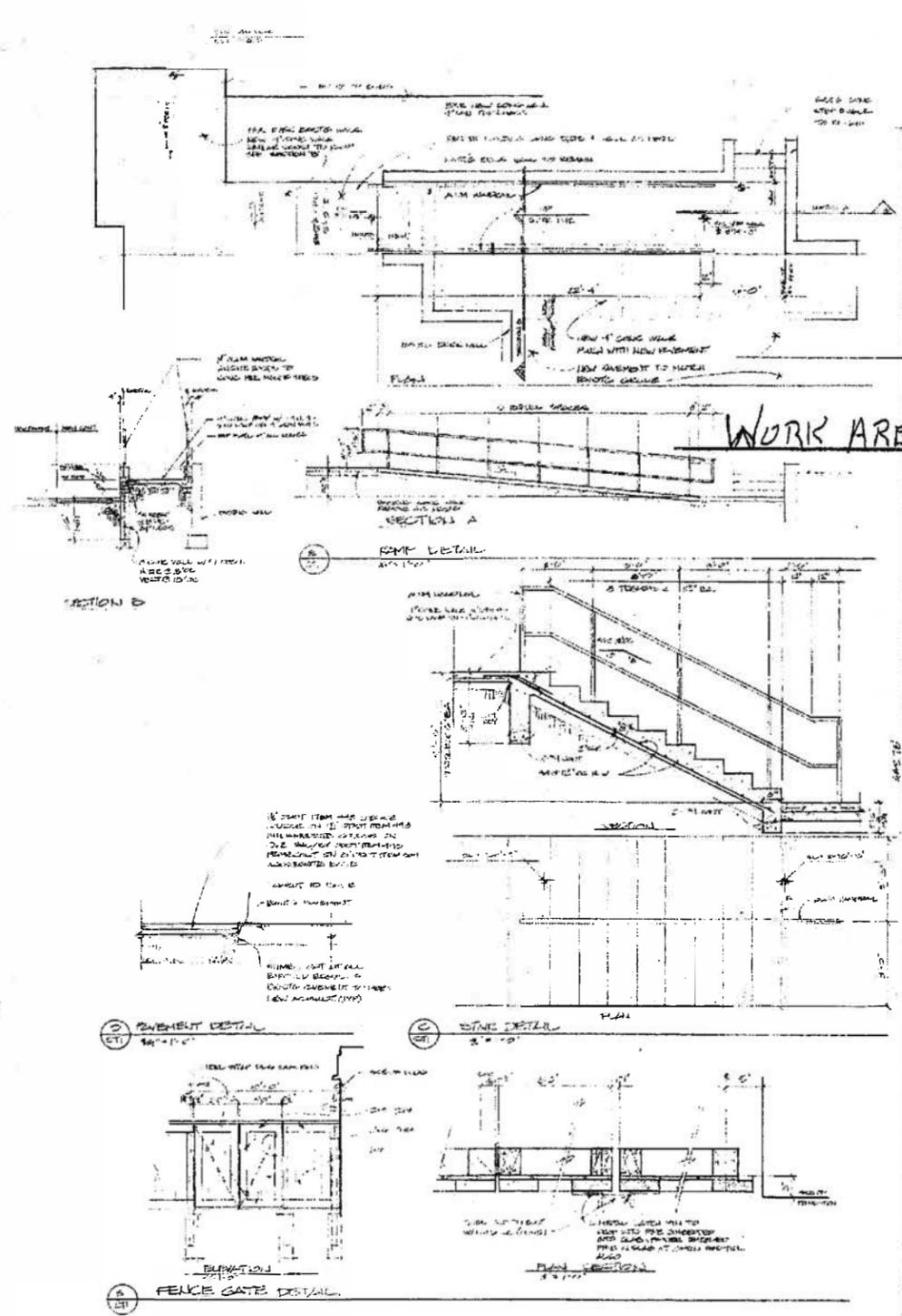
This cross section illustrates typical components of VERSA-LOK Standard retaining walls. Mortarless Standard walls are installed on granular leveling pads and do not require concrete footings below frost. The amount and layout of drainage materials and geosynthetic soil reinforcement is site/soil dependent and should be designed by a qualified engineer. The 3/4-inch setback of each unit creates a cant of approximately seven degrees. Canted walls are structurally more stable than vertical walls because gravitational forces “pull” walls into retained soil.



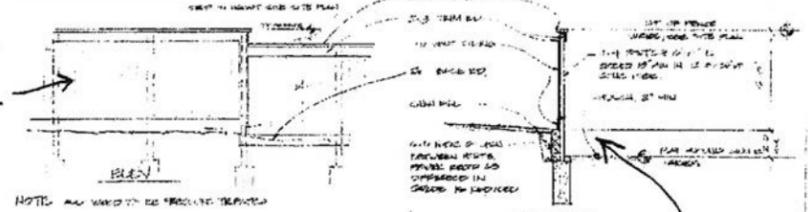
CITY OF WORTHINGTON

DRAWING NO. AR 50-18

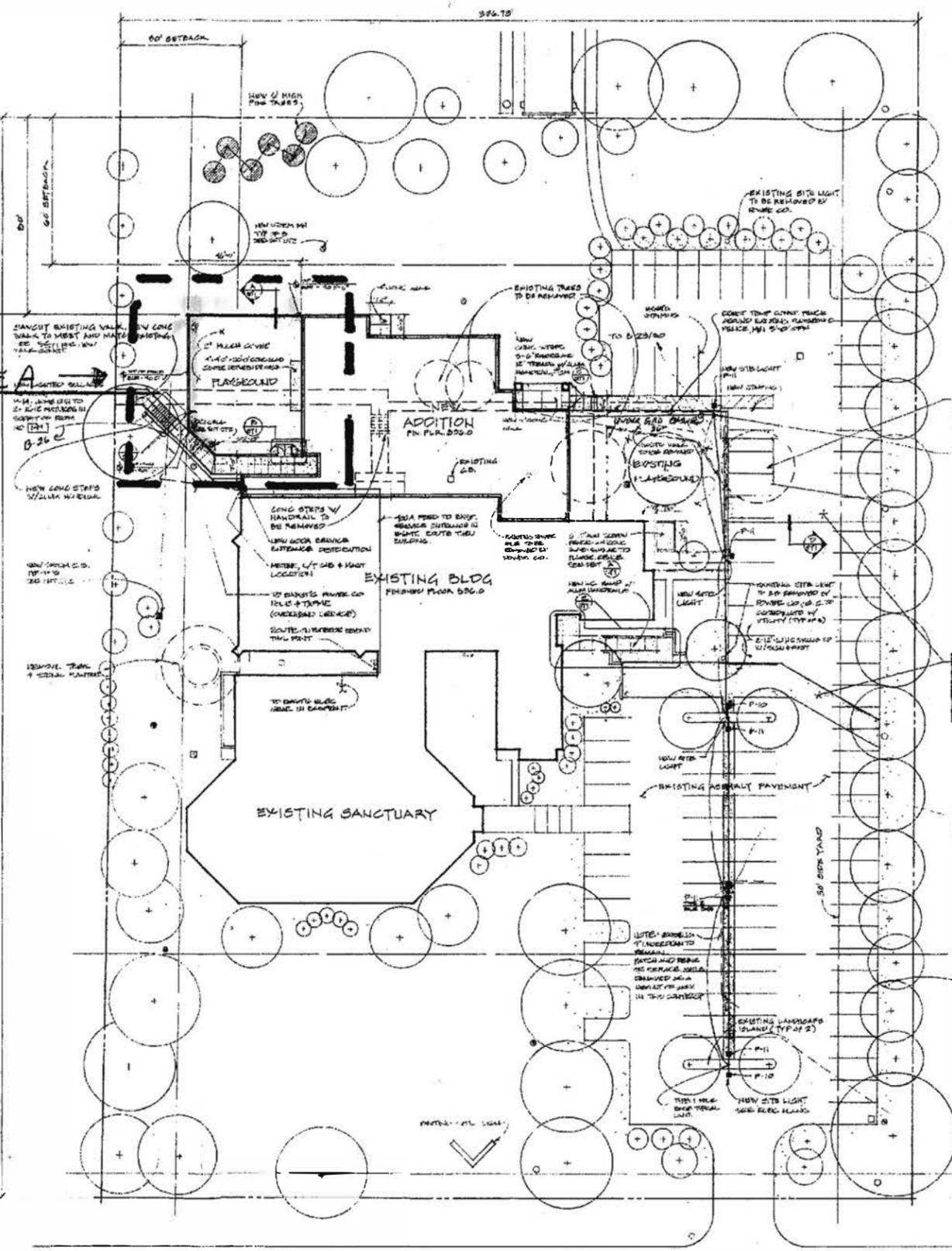
DATE 06/12/18



REPLACE EXISTING  
WOOD FENCE WITH  
NEW VINYL



REPLACE TIMBER  
RETAINING WALL WITH MASONRY



**LEGEND**

(+)	EXISTING PLANT TO REMAIN	(---)	EXISTING CONSTRUCTION TO BE REMOVED
(●)	NEW PLANT	(---)	NEW CONSTRUCTION
(○)	EXISTING PLANT TO BE REMOVED		

**ST. PLAN**  
1/8" = 1'-0"

CITY OF WORTHINGTON  
DRAWING NO. AR 50-18  
DATE 06/12/18

RWS BUILDING COMPANY  
SITE ELECTION  
**AS BUILT**

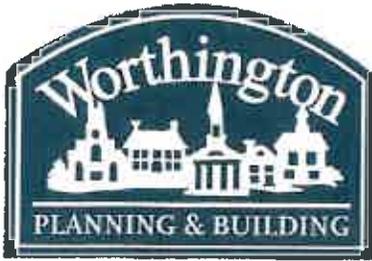
MEACHAM & APEL ARCHITECTS INC. BOX 34 DUBLIN OHIO 43017 614 764 0407

ALL SAINTS EVANGELICAL LUTHERAN CHURCH  
CLASSROOM ADDITION & OFFICE ALTERATION

2/10/18

CITY OF OHIO - RESIDENTIAL  
MECHANICAL  
ELECTRICAL  
PLUMBING  
REQUIREMENTS

**ST**



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
**Certificate of Appropriateness**  
**Application**

Case #	<u>AR 51-18</u>
Date Received	<u>6/12/18</u>
Fee	<u>\$ 9.00 pd</u>
Meeting Date	<u>6/28/18</u>
Filing Deadline	
Receipt #	<u>65385</u>

1. **Property Location** 6525 N. High Street

2. **Present/Proposed Use** Senior Assisted Living Facility

3. **Zoning District** SC

4. **Applicant** Custom Sign Center, Inc Doug Mann 614-300-4262

**Address** 3200 Valleyview Dr, Columbus, Ohio 43204

**Phone Number(s)** 614-300-4262

5. **Property Owner** Bickford Senior Living

**Address** 13795 S. Murlen Rd

**Phone Number(s)** 913-707-7039

6. **Project Description** Installation of Double side HDU (high density urathane) routed face replacement and single sided hdu sign face replacement.

**7. Project Details:**

a) **Design** Routed HDU

b) **Color** Brown & White

c) **Size** 6' 5" x 4' (on High St) 4' x 5' & 10" x 5' (internal grounds)

d) **Approximate Cost** \$8,173.00 **Expected Completion Date** 7/21/2018

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Doug Mann Doug Mann  
 Applicant (Signature)

5/29/2018  
 Date

Jeff Dalrymple Jeff Dalrymple  
 Property Owner (Signature)

5/29/2018  
 Date

**Abutting Property Owners List for  
65 Wesley Blvd.  
6525 N. High St.**

United Methodist Children Home West Ohio	1033 High St	Worthington, OH 43085
The West Ohio Conference of the United Metho	32 Wesley Blvd.	Worthington, OH 43085
Griff Real Property LLC	PO Box 2214	Worthington, OH 43085
Financing VI Healthcare Property LLC	303 W. Madison St., Suite 2400	Chicago, IL 60606





EXISTING



PROPOSED NOT TO SCALE

CITY OF WORTHINGTON

DRAWING NO. AR 51-18

DATE 06/12/18

PATH Z:\Bickford Assisted Living\6525 High St Worthington OH\Preliminary Drawings

SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<ul style="list-style-type: none"> <li>■ SINGLE FACE</li> <li>■ NON-ILLUM.</li> <li>■ GROUND</li> </ul>	<p><b>GROUND SIGN</b> - SINGLE FACE 2" ROUTED HDU WITH ROUTED GRAPHICS</p>	<ul style="list-style-type: none"> <li><input type="checkbox"/> WHITE</li> <li><input checked="" type="checkbox"/> PMS 1545 C</li> </ul>	<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> FACE TRIMS</li> <li><input checked="" type="checkbox"/> FASCIA COLOR</li> <li><input checked="" type="checkbox"/> RADIUS DIM.</li> <li><input checked="" type="checkbox"/> BUILDING DIM.</li> <li><input checked="" type="checkbox"/> FACADE ANGLE</li> <li><input checked="" type="checkbox"/> OTHER</li> </ul>	<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> PROVIDED</li> <li><input checked="" type="checkbox"/> REQUIRED</li> </ul> <p>If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.</p>
<p><b>FILENAME:</b> Bickford Worthington <b>DATE:</b> 4/16/18</p>	<p><b>REV#2</b> <b>REV.DATE:</b> 6/22/18 <b>DGNR:</b> jlb</p>	<p><b>SCALE:</b> 3/4" : 1' <b>SALES:</b> Jeff D.</p>	<p><b>Approval Signatures Required</b> to insure that all spelling, colors, and specifications for sign(s) rendered meets customer &amp; landlord approvals.</p>	
<p><b>CUSTOMER:</b> _____ <b>LANDLORD:</b> _____</p> <p><b>DATE:</b> _____ <b>DATE:</b> _____</p>		<div style="text-align: center;"> <p><b>custom SIGN Center, Inc.</b> Full Service Sign Company</p> <p>3200 Valleyview Drive PH: 614-279-6700</p> <p>Columbus, OH 43204 FX: 614-279-7525</p> </div> <p>This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden. © Copyright 2007 All rights reserved.</p>		



EXISTING



PROPOSED NOT TO SCALE

CITY OF WORTHINGTON

DRAWING NO. AR 51-18

DATE 06/12/18

PATH Z:\Bickford Assisted Living\6525 High St Worthington OH\Preliminary Drawings

SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<ul style="list-style-type: none"> <li>■ DOUBLE FACE</li> <li>■ NON-ILLUM.</li> <li>■ GROUND</li> </ul>	<b>GROUND SIGN</b> - DOUBLE FACE 2" ROUTED HDU WITH ROUTED GRAPHICS	<input type="checkbox"/> WHITE <input checked="" type="checkbox"/> PMS 1545 C	<input checked="" type="checkbox"/> FACE TRIMS <input checked="" type="checkbox"/> FASCIA COLOR <input checked="" type="checkbox"/> RADIUS DIM. <input checked="" type="checkbox"/> BUILDING DIM. <input checked="" type="checkbox"/> FACADE ANGLE <input checked="" type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> REQUIRED <small>If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.</small>
<b>FILENAME:</b> Bickford Worthington <b>REV#2</b> <b>SCALE:</b> 1" : 1' <b>DATE:</b> 4/16/18 <b>REV.DATE:</b> 6/22/18 <b>DGNR:</b> jlb <b>SALES:</b> Jeff D.		<b>Approval Signatures Required</b> to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.		<b>CUSTOMER:</b> _____ <b>LANDLORD:</b> _____ <b>DATE:</b> _____ <b>DATE:</b> _____

**custom SIGN Center, Inc.** Full Service Sign Company

3200 Valleyview Drive  
 PH: 614-279-6700

Columbus, OH 43204  
 FX: 614-279-7525

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CITY OF WORTHINGTON  
 DRAWING NO. AR 51-18  
 DATE 06/12/18

PATH Z:\Bickford Assisted Living\6525 High St Worthington OH\Preliminary Drawings

SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<input checked="" type="checkbox"/> DOUBLE FACE <input checked="" type="checkbox"/> NON-ILLUM. <input checked="" type="checkbox"/> GROUND	<b>GROUND SIGN</b> - DOUBLE FACE 2" ROUTED HDU WITH ROUTED GRAPHICS	<input type="checkbox"/> WHITE <input checked="" type="checkbox"/> PMS 1545 C	<input type="checkbox"/> FACE TRIMS <input type="checkbox"/> FASCIA COLOR <input type="checkbox"/> RADIUS DIM. <input type="checkbox"/> BUILDING DIM. <input type="checkbox"/> FACADE ANGLE <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> REQUIRED If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.
<b>FILENAME:</b> Bickford Worthington <b>DATE:</b> 4/16/18	<b>REV#</b> <b>REV.DATE:</b> <b>DGNR:</b> TLH	<b>SCALE:</b> 1" : 1' <b>SALES:</b> Jeff D.	<b>Approval Signatures Required</b> to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.	
		<b>CUSTOMER:</b> _____ <b>DATE:</b> _____	<b>LANDLORD:</b> _____ <b>DATE:</b> _____	

3200 Valleyview Drive  
 PH: 614-279-6700  
 Columbus, OH 43204  
 FX: 614-279-7525

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City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Case # AR 52-18 Date Received 6-13-18 Fee \$2 pd Meeting Date 6-28-18 Filing Deadline Receipt # 65394 Amend AR 21-18

- 1. Property Location 570 Hartford St.
2. Present/Proposed Use Residential
3. Zoning District
4. Applicant Brant + Suzanne Gipson Address 570 Hartford St. Phone Number(s) 614-285-9837
5. Property Owner Brant + Suzanne Gipson Address 570 Hartford St. Phone Number(s) 614-285-9837
6. Project Description Kitchen window, door, and roof elevation update from previously approved kitchen expansion project.
7. Project Details: a) Design New window matching existing, updated new door location b) Color Match Existing c) Size 165 square feet d) Approximate Cost \$1,000 Expected Completion Date August 2018

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME: The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature] Applicant (Signature)

6-12-18 Date

[Signature] Property Owner (Signature)

6-12-18 Date

Abutting Property Owners List for  
570 Hartford St.

Andrew & Bernice Tilton	580 Hartford St.	Worthington, OH 43085
Dale & Leigh Rhine	579 Morning St.	Worthington, OH 43085
Katharine Jobko	571 Morning St.	Worthington, OH 43085
Gilbert & Stephanie Borlaza	563 Morning St.	Worthington, OH 43085
Sean & Kelly Alto	142 E. South St.	Worthington, OH 43085
William & Shirley Brenner	136 E. South St.	Worthington, OH 43085
Jason & Megan Isaacson	130 E. South St.	Worthington, OH 43085
Sean & Kimberly Crowley	120 E. South St.	Worthington, OH 43085
Brian Dressel	Jennifer Rieman 550 Hartford St.	Worthington, OH 43085
Ian & Sally Sheldon	565 Hartford St.	Worthington, OH 43085
Kevin & Bonnie Guthrie	573 Hartford St.	Worthington, OH 43085
Michele Puckett	577 Hartford St.	Worthington, OH 43085

Brant and Suzanne Gipson  
570 Hartford St, Worthington OH 43085  
614-285-9837  
June 12, 2018

## SUPPORTING STATEMENT

**Project:** 570 Hartford Kitchen Window, Door, and Roof Elevation Update to Previously Approved Expansion

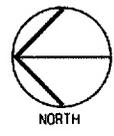
**Goal:** Update kitchen door and window location and roof elevation from previously approved kitchen expansion project.

**Details:** When reviewing the proposed layout of the previously presented door and window locations on the north wall of the expansion, we determined the close proximity of the door and window did not have adequate spacing to match the format of the rest of the house. We are requesting approval for the new location of the door and window to further blend in this expansion with the theme and charm of the rest of the house. Additionally, the covered patio roof between the house and the garage no longer has a purpose given the previously approved layout. As a result, we are requesting approval of the upgraded roof elevation which no longer includes the roof coverage from garage to house.

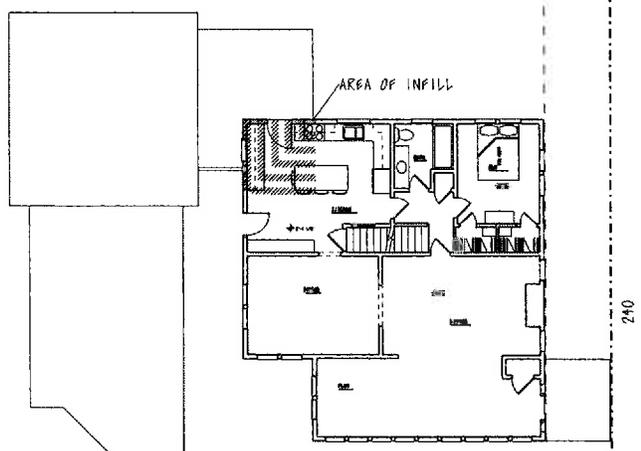


PROPOSED  
SITE PLAN

SCALE: 1/16" = 1'-0"



24000 SF  
LOT AREA



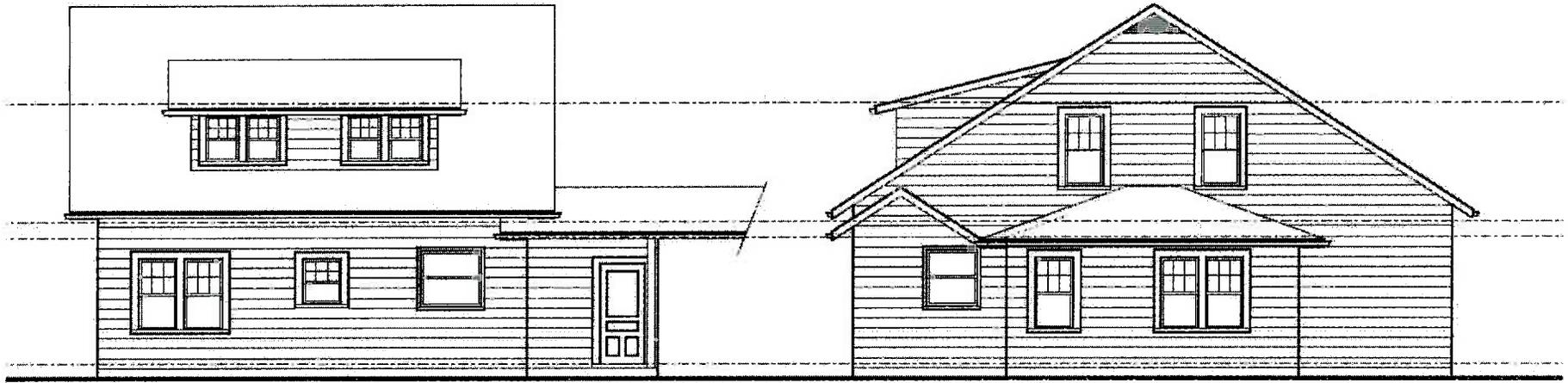
HOUSE/GARAGE AND  
PORCHES 2208 SF

CITY OF WORTHINGTON

DRAWING NO. AR 52-18

DATE 6/13/18

100'



○ ASBUILT EAST ELEVATION

○ ASBUILT NORTH ELEVATION



○ PROPOSED EAST ELEVATION

○ PROPOSED NORTH ELEVATION

CITY OF WORTHINGTON

DRAWING NO. AR 21-18

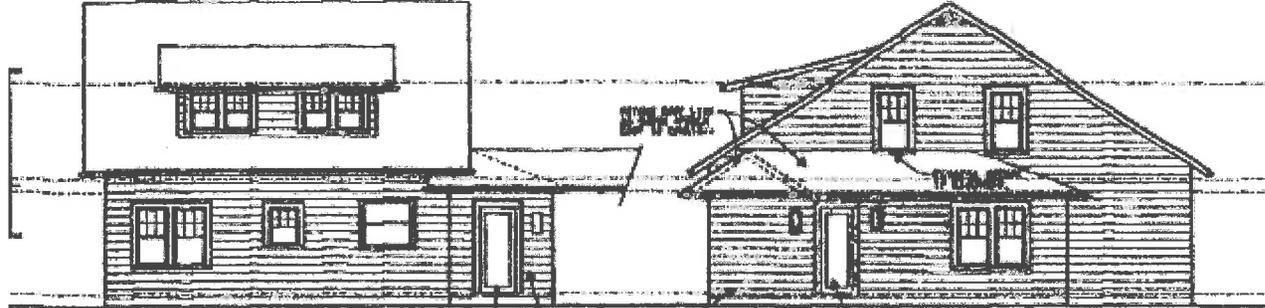
DATE 6/13/18

PAUL T. SPURLOCK ARCHITECTS  
1182 WYANDOTTE RD  
COLUMBUS OH 43212  
614-835-0944



ASBUILT EAST ELEVATION  
SCALE: 1/8" = 1'-0"

ASBUILT NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION  
SCALE: 1/8" = 1'-0"

PROPOSED NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

—

Previous Approval

APPROVED  
ARCHITECTURAL REVIEW BOARD  
CITY OF WORTHINGTON  
DATE 4/12/13  
CLERK [Signature]

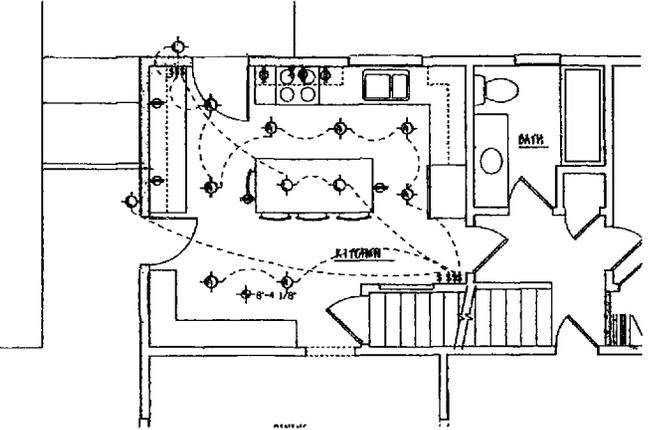
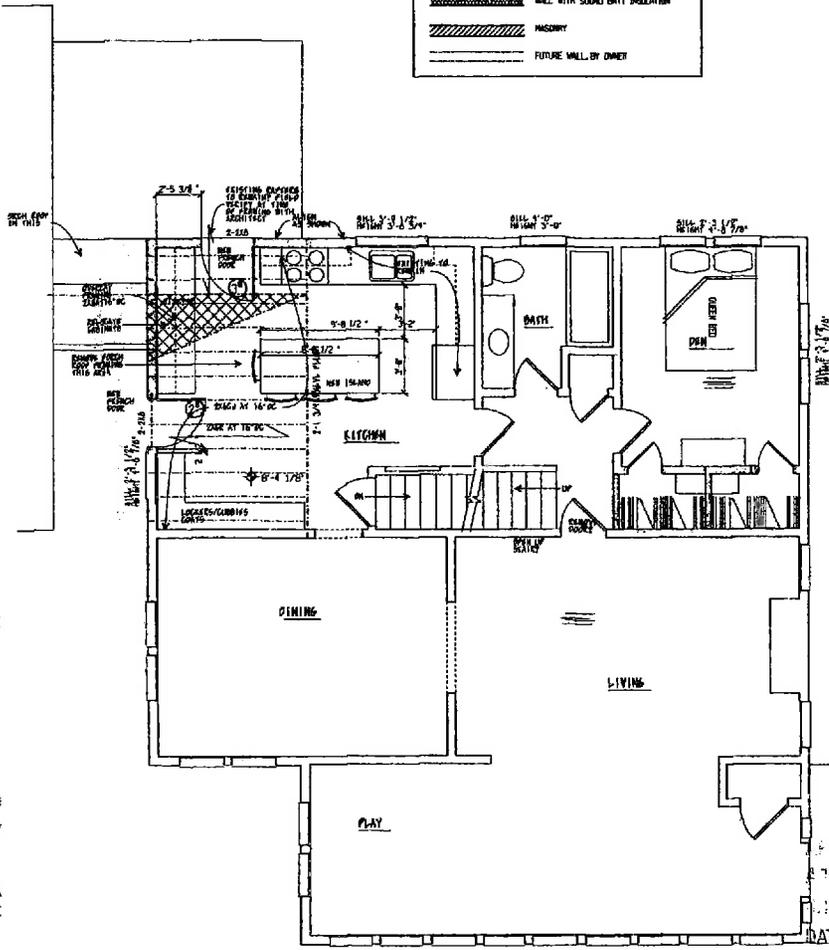
JULIET BULLOCK ARCHITECTS  
 1182 WYANDOTTE RD  
 COLUMBUS OH 43212  
 614-895-0944

ELECTRICAL SCHEDULE		
NO.	DESCRIPTION	MANUFACTURER/MATERIAL
A	5' RECESSED CAN	WALDING-SID2 WHITE TRIM WHITE BAFFLE
B	4' RECESSED CAN	WALDING-SID2 WHITE TRIM WHITE BAFFLE
C	POUL LIGHT	VENON JEE-PRICE HEM-3L NEEDED
D	RECREUR CAN	WALDING-SID2 WHITE TRIM
E	CLASSEY LIGHT PLASTERBOARD	ELABORATION'S SWITC
F	PLASTERBOARD	PROGRESS PPSB-30 ES
G	SLIPPER RECESSED CEILING CAN	TRUDY HEWLE WHITE TRIM WHITE BAFFLE
H	UNDERCABINET LIGHTING	NATIONAL SPECIALTY M.T-200V .
J	PLUMB LIGHT	ELABORATION'S SWITC
L	OPERATING FIXTURES	PROVIDED BY OWNER, INSTALLED BY ELECTRICIAN
T	PERMANENT REAR HALLWAY	ELABORATION'S SWITC

ELECTRICAL LEGEND			
⊕	DUPLEX OUTLET	⊕	CEILING LIGHT FIXTURE
⊕	200V OUTLET	⊕	WALL LIGHT FIXTURE
⊕	4 PRONG OUTLET	⊕	FLOOD LIGHTS
⊕	FLOOR OUTLET	⊕	FAN-LIGHT
⊕	HALF SWITCHED OUTLET	⊕	IN-JAMB SWITCH
⊕	SWITCH	⊕	JUNCTION BOX
⊕	TV CABLE	⊕	CARBON MONOXIDE DETECTOR
⊕	PHONE	⊕	SMOKE ALARM
⊕	THERMOSTAT		
⊕	GIS CONNECTION		
⊕	WALL THERM OUTLET		

20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT SHALL BE PROVIDED, INCLUDING RECEPTACLES, PANELS, LEADS, TRAYS, CONDUITS, SUBPANELS, RECEPTACLES, RECEPTACLE CLUSTERS, AND LIGHTS, OR OTHER APPROVED EQUIPMENT SHALL BE PROVIDED BY A LICENSED PROFESSIONAL ELECTRICIAN. CONDUIT-TYPE, METALS TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. GROUND PROOF RECEPTACLES ARE TO BE PROVIDED AS REQUIRED BY CODE.

WALL TYPES	
	STUD WALL AT 12" O.C. 2x4 WITH R-13 IN EXTERIOR WALLS UNLESS NOTED OTHERWISE
	WALL WITH SOUND BATT INSULATION
	MASONRY
	FUTURE WALL BY OWNER



PROPOSED  
 FIRST FLOOR MEP PLAN  
 SCALE: 1/4" = 1'-0"



PROPOSED  
 FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



CITY OF WORTHINGTON  
 DRAWING NO. ARZ-118  
 DATE 3/30/18

APPROVED  
 ARCHITECTURAL REVIEW BOARD  
 CITY OF WORTHINGTON  
 DATE 4/12/18

CLERK

2/25/18  
 GIPSON RESIDENCE  
 570 HARTFORD  
 WORTHINGTON OHIO  
 SHEET 2



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR 54-18
Date Received	6-15-2018
Fee	\$ 12.00
Meeting Date	6-28-2018
Filing Deadline	
Receipt #	64520

1. Property Location 136 W. STAFFORD AVE 43085

2. Present/Proposed Use RESIDENTIAL

3. Zoning District \_\_\_\_\_

4. Applicant RICHARDSON EXTERIORS

Address 893 HIGHL ST SUITE A WORTHINGTON OH 43085

Phone Number(s) 614-754-1225 614-580-0147

5. Property Owner MICHAEL + DIFUZA LIMES

Address 136 W. STAFFORD AVE WORTHINGTON 43085

Phone Number(s) 614-805-6124

6. Project Description REPLACE WINDOWS

7. Project Details:

a) Design \_\_\_\_\_

b) Color \_\_\_\_\_

c) Size \_\_\_\_\_

d) Approximate Cost 11,557.00 ~~17,485.00~~ Expected Completion Date \_\_\_\_\_

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Ronald Beckwith  
 Applicant (Signature)

6/12/18  
 Date

X [Signature]  
 Property Owner (Signature)

6/12/18  
 Date

Abutting Property Owners  
for  
136 W. Stafford Ave.

Paul and Lori Reeder  
Brett and Kay Holland  
Kyle Goebbel & Jennifer Odebrecht  
Evening Street Elementary

126 W Stafford Ave  
135 W Clearview Ave  
131 W Stafford Ave  
885 Evening St.

Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085

# PROPOSAL

Page No. \_\_\_\_\_ of \_\_\_\_\_ Pages



30 Years of Home Improvement Experience

893 High Street, #A  
Worthington, Ohio 43085

office: 614-754-1225 fax: 614-732-4688

www.RichardsonExteriors.com

email: richardsonexteriors@gmail.com

per window ↑

PROPOSAL SUBMITTED TO:

Dilya Limes

PHONE:

614-805-6124

DATE:

5/8/18

STREET:

136 W. Stafford Ave

JOB NAME:

\* Option: Add 96.00 Oak Interior

CITY, STATE and ZIP CODE:

Worth, OH 43085

JOB LOCATION:

Color: white all yes

ARCHITECT:

DATE OF PLANS:

dilfuzab@gmail.com

JOB PHONE:

We hereby submit specifications and estimates for:

- Remove and haul away 21 windows and all job related debris.
- Furnish and install 20 Endure Provia Premium Double hung windows. (3) All bottom sash to be obscure <sup>water tight</sup> in all bath windows
- Furnish and install 1 Provia Endure Casement window in kitchen opening.
- All windows to have extruded screens, double strength glass, double locks, and sculptured colonial grids interior
- 5 Bedroom windows to have triple pane glass, (TLA-UV) and all remaining windows to have double pane DLA-UV-HC glass. Bathroom window to have tempered glass

Labor & Material

11,557.00

PAID down by #229

**WE PROPOSE**

hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

3000.00 down

Payment to be made as follows:

8,557.00 upon completion

- 5% Discount w/ Angie List review

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation insurance.

Authorized Signature:

x Donald Richardson 5/8/18

Note: This proposal may be withdrawn by us if not accepted within \_\_\_\_\_ days.

**ACCEPTANCE OF PROPOSAL** — The above prices, specifications and conditions are satisfactory and are hereby accepted. you are authorized to do the work as specified. Payment will be made as outlined above.

Signature:

x Dilfuzab

Date of Acceptance:

Signature: X

# 136 W. Stafford Ave.



100-000581 04/26/2017



CITY OF WORTHINGTON

DRAWING NO. AR 54-18

DATE 06/15/18



Rear addition windows will not be replaced.

CITY OF WORTHINGTON

DRAWING NO. AR 54-18

DATE 06/15/18



Inside view  
of the new  
window  
which will be  
white interior  
white  
exterior

CITY OF WORTHINGTON

DRAWING NO. AR 54-18

DATE 06/15/18

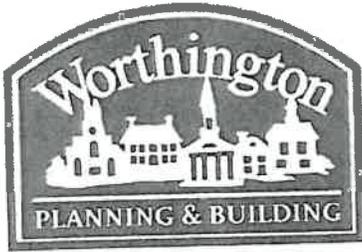


Exterior of the new window will be white on the exterior and will come with a full screen, not a half screen, to match the room addition.

CITY OF WORTHINGTON

DRAWING NO. AR 54-18

DATE 06/15/18



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR 5518
Date Received	6/15/18
Fee	30
Meeting Date	
Filing Deadline	
Receipt #	

- Property Location 30 Kenyon Brook Drive
- Present/Proposed Use stone/concrete patio added to existing home
- Zoning District \_\_\_\_\_
- Applicant Joseph Faust  
 Address 30 Kenyon Brook Drive  
 Phone Number(s) 614-224-3036
- Property Owner Same as applicant  
 Address "  
 Phone Number(s) "
- Project Description replace existing sidewalk and steps to front door, add stone/concrete patio, add stone retaining wall
- Project Details:
  - Design flatwork = buffwash concrete / facing = limestone
  - Color limestone / natural / tan
  - Size patio = ~220 sq ft 12 x 18.5 ft
  - Approximate Cost \$30,000 Expected Completion Date 9/1/18

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Joseph Faust  
 Applicant (Signature)

6/15/2018  
 Date

Joseph Faust  
 Property Owner (Signature)

6/15/2018  
 Date

Abutting Property Owners  
for  
30 Kenyon Brook Dr.

Matthew and Sara Schiavoni  
Melissa Robol  
Michelle and Oman Humeidan  
John and Joyce Knape  
Joesph Fiala & Mary Fristad  
Rebecca Garabed

1 Kenyon Brook Dr.  
60 Kenyon Brook Dr.  
50 Kenyon Brook Dr.  
35 Kenyon Brook Dr.  
25 Kenyon Brook Dr.  
5713 Bromley Ave

Worthington, OH 43085  
Worthington, OH 43085



# 30 KENYON BROOK DRIVE

PATIO, RETAINING WALL, SIDEWALKS, AND STAIRWAYS  
PROJECT



CITY OF WORTHINGTON

DRAWING NO. AR 55-18

DATE 06/15/18

# HOUSE OVERVIEW

- Built circa 1924 by Edwin Albaugh
- English cottage design with painted wood siding, wood windows, and dimensional shingles
- Home sits at rear of lot with majority of lawn in front of home
- Original covered porch was enclosed in 1990s
- Block and concrete stairs to porch are deteriorating and need replaced
- Stone stairs and stone walkway to front door are deteriorating and need replaced
- Stone stairs in front of home leading from the lower yard to upper yard are deteriorating and need replaced

CITY OF WORTHINGTON

DRAWING NO. AR 55-18

DATE 06/15/18



# SUPPORTING STATEMENT

- Our home sits at the back of a 0.75 acre lot with virtually all of the yard in front of the house. Our family of 4 spends a ton of time using the front yard. Given that our porch is enclosed, adding a walkout patio (elevated to the level of the porch) will give us outdoor living space with a view to and access to the front yard. Existing sidewalk and stairways are deteriorating and need replaced. We will be using materials and styling to ensure the patio, retaining wall, and sidewalk/steps integrate effortlessly into the English cottage aesthetic of the original home.

CITY OF WORTHINGTON

DRAWING NO. AR 55-18

DATE 06/15/18



# PROJECT OVERVIEW

- Remove and replace deteriorating stairs leading to enclosed porch
- Extend new stairway landing around the front corner of the porch creating a 220 sq ft (18.5x12) elevated patio with iron railing and steps down to yard
  - Materials: concrete/block foundation, buffwash finished concrete patio surface, random-size natural limestone facing (matching original limestone chimney)
- Remove and replace deteriorating stone steps and stone sidewalk to front door
  - Materials: buffwash finished concrete with stone facing
- Remove deteriorating stone steps in front yard, replace, and create 42 in tall retaining wall on either side
  - Materials: concrete/block foundation, buffwash finished concrete stair surface, random-size natural limestone facing (matching original limestone chimney)



# CURRENT SITE CONDITION

CITY OF WORTHINGTON

DRAWING NO. AR 55-18

DATE 06/15/18



# CURRENT SITE CONDITION

CITY OF WORTHINGTON

DRAWING NO. AR 55-18

DATE 06/15/18



CITY OF WORTHINGTON

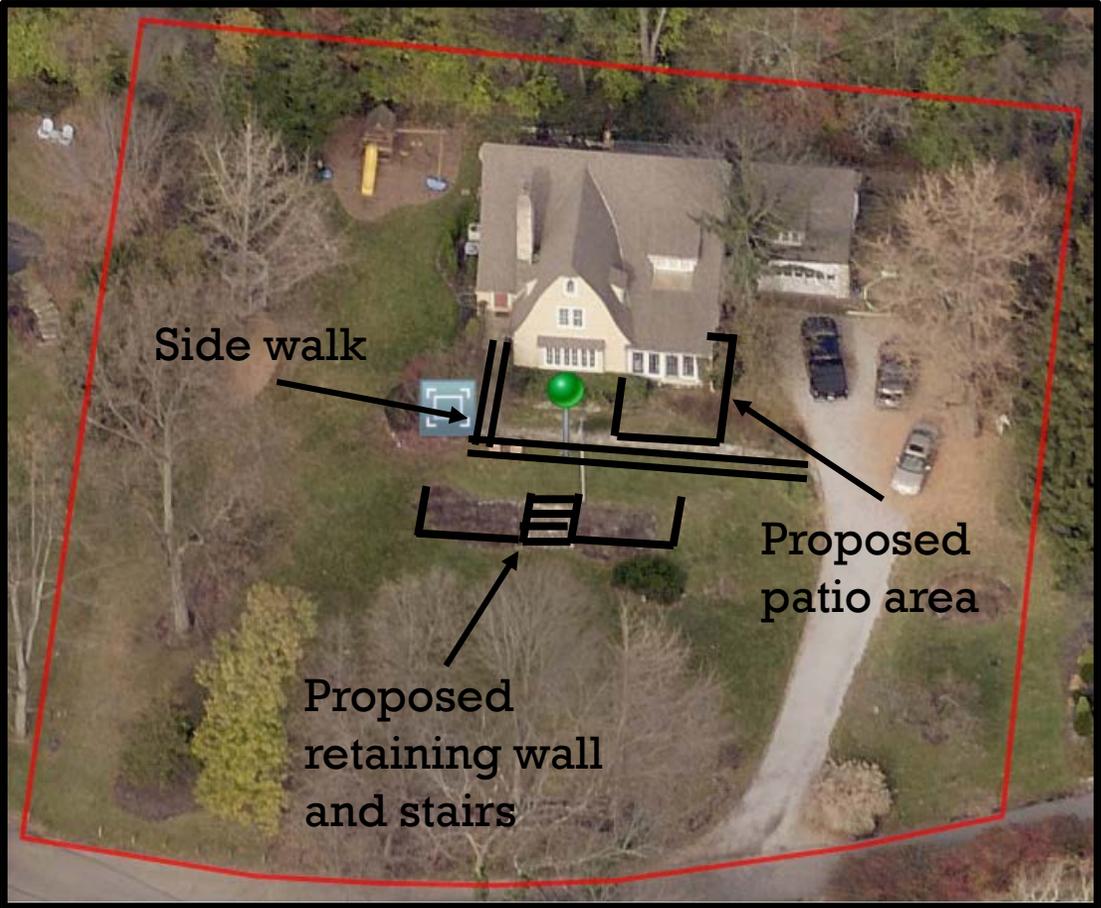
DRAWING NO. AR 55-18

DATE 06/15/18

# CURRENT SITE CONDITION



# AERIAL VIEW OF PROPERTY



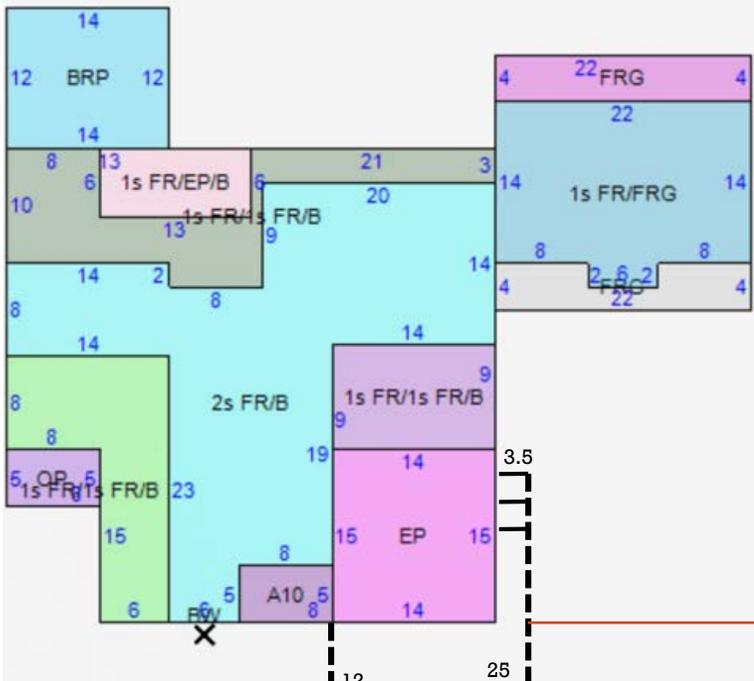
CITY OF WORTHINGTON

DRAWING NO. AR 55-18

DATE 06/15/18



# PATIO SITE PLAN



~120 ft from south/front property line

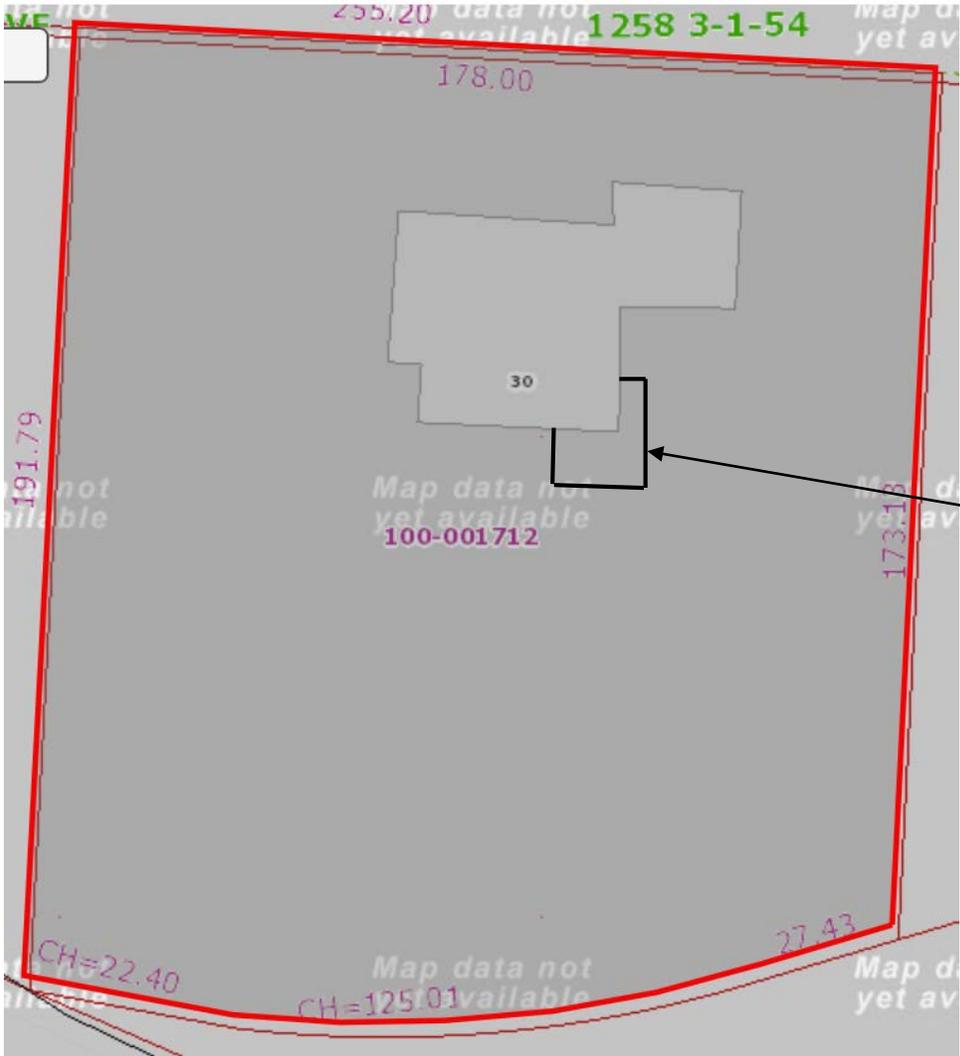
~60 ft from east property line

Elevation of patio is 36 inches at front

CITY OF WORTHINGTON  
 DRAWING NO. AR 55-18  
 DATE 06/15/18



# PATIO RELATIVE TO HOUSE AND LOT



Proposed patio footprint

CITY OF WORTHINGTON  
DRAWING NO. AR 55-18  
DATE 06/15/18



# ROUGH RENDERING OF COMPLETED WORK



CITY OF WORTHINGTON

DRAWING NO. AR 55-18

DATE 06/15/18



# MATERIALS



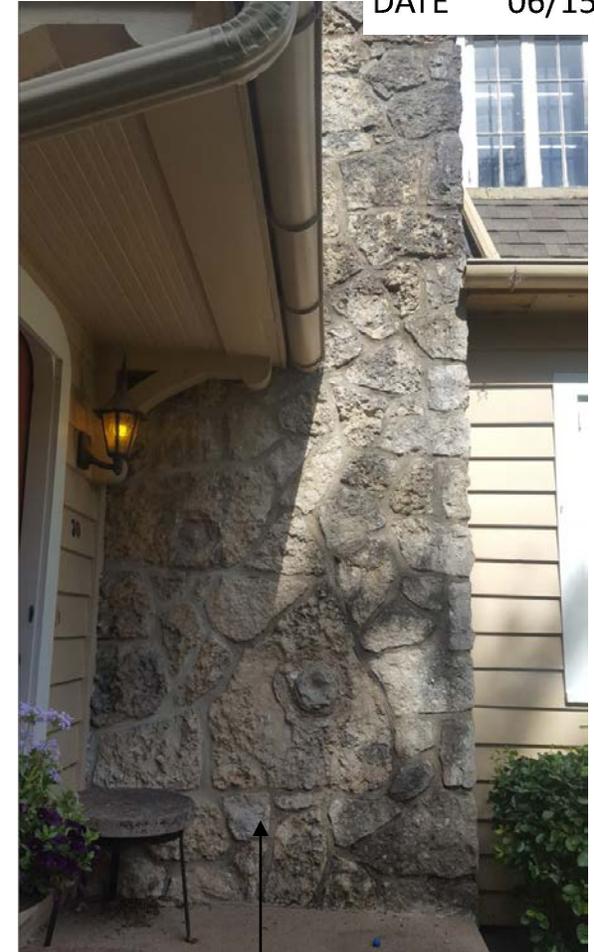
Buffwash  
concrete



Bronze  
railing



Random  
limestone



Random  
limestone





Wilson Bridge Corridor Preliminary Plan Application

Case # WBC 01-18
Date Received 06-01-2018
Fee \$350 pd
Meeting Date
Filing Deadline

1. Property Location 181 Wilson Bridge Road

2. Present Use & Proposed Use Multi-family residential development

3. Present & Proposed Zoning Present: R-10; Proposed: WBC-1, Medium Density Residential

4. Applicant Oxford Circle LLC

Address 470 Olde Worthington Road, Suite 101, Westerville, Ohio 43082

Phone 614-540-2404

5. Property Owner PV Wilson Bridge LLC

Address 1433 Grandview Avenue, Columbus, Ohio 43212

Phone

6. Project Description Multi-family residential development.

7. Variances Requested 1181.05(a)(1)(C) to allow buildings and parking facilities to be a minimum of 14 feet from the property line. 1181.05(a)(3) to allow development without solid fence screening along the east, west, and south property lines.

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature] Applicant (Signature)

[Date] June 1, 2018 Date

[Signature] Property Owner (Signature)

[Date] June 1, 2018 Date

MPC Approval Date:

Abutting Property Owners List for  
181 E. Wilson Bridge Rd.

Worthington City School District  
Stephen Peer  
Galen & Suekane Frizzie  
Graham & Stacy Cochran  
George & Kathryn Bleimes  
Christopher & Lindsay Selinsky  
Harold Careins & Megumi Otaki  
PV Wilson Bridge LLC

200 E. Wilson Bridge Rd.  
199 E. Wilson Bridge Rd.  
164 Northhigh Dr.  
160 Northhigh Dr.  
158 Northhigh Dr.  
156 Northhigh Dr.  
PO Box 3672  
1433 Grandview Ave.

Worthington, OH 43085  
Columbus, OH 43210-0672  
Columbus, OH 43212

## DEVELOPMENT TEXT

**ADDRESS:** 181 Wilson Bridge Road  
**PARCELS:** 100-002477, 100-002478  
**CURRENT ZONING:** Wilson Bridge Corridor District  
Wilson Bridge Corridor - 1  
**APPLICANT:** Oxford Circle LLC  
470 Olde Worthington Road, Suite 101  
Westerville, Ohio 43082  
**DATE:** 6/1/2018  
**APPLICATION:** \_\_\_\_\_

### **I. INTRODUCTION:**

The Kenney Company LLC, (the “Applicant”) proposes development of a +/- 2.0-acre Site located at 181 Wilson Bridge Road, which has long been targeted by the City of Worthington as a development site appropriate for medium density residential. The Site is situated within the Wilson Bridge Corridor – 1 District of the Wilson Bridge Corridor District zoning code amendment which provides for medium density residential uses. The Applicant proposes development of the property in accordance with Wilson Bridge Corridor plans with two multi-family structures which will provide 32 total dwelling units with a mixture of unit types including 1-bedroom, 2-bedroom, and 3-bedroom units at varying market rates to provide for maximum absorption of the units and maximum occupancy. The development provides for the preservation of existing landscaping where possible, including a 50 foot landscaping buffer along the south side of the Property within which existing healthy trees will be maintained and preserved whenever feasible. This request also provides for the dedication of 12 feet of its Wilson Bridge Road frontage to accommodate Worthington’s objective of incorporating a shared-use path for residents.

### **II. DEVELOPMENT STANDARDS:**

The proposed development provides the following development standards.

#### **(a) Site Layout.**

##### **(1) Setbacks.**

A. The Site shall be laid out in accordance with the submitted Site Plan. Building 1 is less than 50,000 square feet in area and its building setback shall be a maximum of 20 feet from the Wilson Bridge Road right-of-way, here the building setback shall be 5 feet.

- B. The Site abuts properties in an “R” district. Therefore, Applicant respectfully requests a waiver from City Code Section 1181.05(a)(1)(C) to allow the buildings to be situated as indicated on the Site Plan.
- C. The Site abuts properties in an “R” district. Therefore, Applicant respectfully requests a waiver from City Code Section 1181.05(a)(3) to allow the perimeter screening to be entirely of landscaping, rather than fencing.

(2) **Right-of-Way Dedication.**

- A. The Applicant shall dedicate 12 feet of right-of-way along its frontage in furtherance of the City’s objective to create a shared use path along Wilson Bridge Road.

(3) **Screening.**

- A. The development shall be screened in accordance with the submitted Landscape Plan, which indicates significant new plantings as well as preservation of as many existing trees as feasible, including the preservation of a 50-foot buffer along the south side of the property.

(4) **Equipment.**

- A. Exterior service, utility, trash, and mechanical equipment shall be located as provided on the submitted Site Plan.
- B. Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence, or landscaping. Screening materials shall consist of landscaping, or the materials and colors used for the buildings.

(5) **Tract Coverage.**

- A. A maximum of 60% of the property shall be covered with impervious surfaces.

(6) **Pedestrian Access.**

- A. Sidewalks with a minimum width of 5 feet shall be provided as shown on the submitted Site Plan.

(7) **Drive-in Commercial Uses.**

A. N/A

(b) **Buildings.**

(1) **Design.**

A. The buildings shall be oriented as provided on the Site Plan. Building 1 shall be parallel to Wilson Bridge Road.

B. Building heights shall not exceed 26'.

C. Building 1's frontage exceeds a width of 50 feet and it shall incorporate articulation as shown on the submitted Site Plan and Elevations.

D. The entrance shall be well-marked as shown on the Site Details Plan.

(2) **Materials.**

A. Building materials shall include stone, brick, hardiplank siding, hardiplank board, and/or asphalt shingles.

(3) **Windows and Doors.**

A. Windows and doors shall be provided as shown on the submitted Elevations.

(c) **Landscaping.**

(1) **Natural Features.**

A. Landscaping shall be provided as shown on the submitted Landscape Plan.

B. Natural Features shall be preserved as shown on the submitted Preservation Plan.

C. Tree Inventory and Preservation Plan. The submitted Tree Preservation Plan shows that the development shall preserve 404 caliper inches of the existing trees at or above 6 inch caliper. The Landscaping Plan shows that the development shall plant an additional 343 caliper inches of trees. Further, the Applicant commits to maintaining all healthy trees within the 50 foot landscape buffer along the southern perimeter of the Site. Applicant has

worked with the Department of Planning to determine that the submitted Landscaping Plan and Tree Preservation Plan are an appropriate accommodation for Natural Features. Full replacement would result in unreasonable overcrowding of trees, and a fee-in-lieu to the Special Parks Fund is unnecessary where, as here, the Applicant is making appropriate Natural Feature commitments.

**(d) Lighting.**

A. Lights shall comply with City Code 1181.05(d).

**(e) Signs.**

A. The development shall provide an entry sign as shown on the submitted Site Details.

**(f) Parking.**

1. The development requires 32 parking spaces for 32 dwelling units. The development shall provide 58 parking spaces.

2. Vehicle and bicycle parking shall be as depicted on the submitted Site Plan and Landscape Plan.

**(g) Public Spaces.**

1. The development shall provide Public Space Amenities including, but not limited to: courtyard for public use, benches, bicycle racks, and decorative pedestrian lighting, further the Applicant will be dedicating 12 feet of right-of-way along its frontage to accommodate the long-term City objective of incorporation of a shared use path along the frontage.

2. Public Space Amenities shall be provided as shown on the Landscape Plan.

**III. REQUESTED WAIVERS.**

(a) The Site abuts properties in an “R” district. Therefore, the Applicant respectfully requests a waiver from City Code Section 1181.05(a)(1)(C) to allow development of the property in accordance with submitted plans. This waiver includes a reduction of building setbacks from the east and west, and to allow the entrance drive to be within 25 feet of the western property line, as depicted on Site Plan.

- (b) The Site abuts properties in an "R" district. Therefore, Applicant respectfully requests a waiver from City Code Section 1181.05(a)(3) to allow development without solid fence screening along the east, west, and south property lines.

Respectfully Submitted,

David Hodge

---

David Hodge  
Attorney for Applicant

# 181 E. Wilson Bridge Rd.



**Zoning Description for 2.0± Acres  
South of East Wilson Bridge Road  
East of Westview Drive**

-1-

Situated in the State of Ohio, County of Franklin, City of Worthington. Range 18, Township 2, Quarter Township 2, of the United States Military District, being a 2.0± acre tract of land, said 2.0±, and being more particularly described as follows:

Being all of Lot Numbers Sixteen (16) and Seventeen (17) of Northhigh Acres, as the same is numbered and delineated upon the recorded plat thereof, of record in Plat Book 15, Page 34, Recorder's Office, Franklin County, Ohio

The above description was prepared by Advanced Civil Design, Inc. on May 23, 2018 and is created from information obtained from the Franklin County Auditor's Office and the Franklin County Recorder's Office.

This exhibit is not to be used for the transfer of land.

**Advanced Civil Design, Inc.**

Z:\18-0002-846\survey\2.0 ac zoning desc.doc

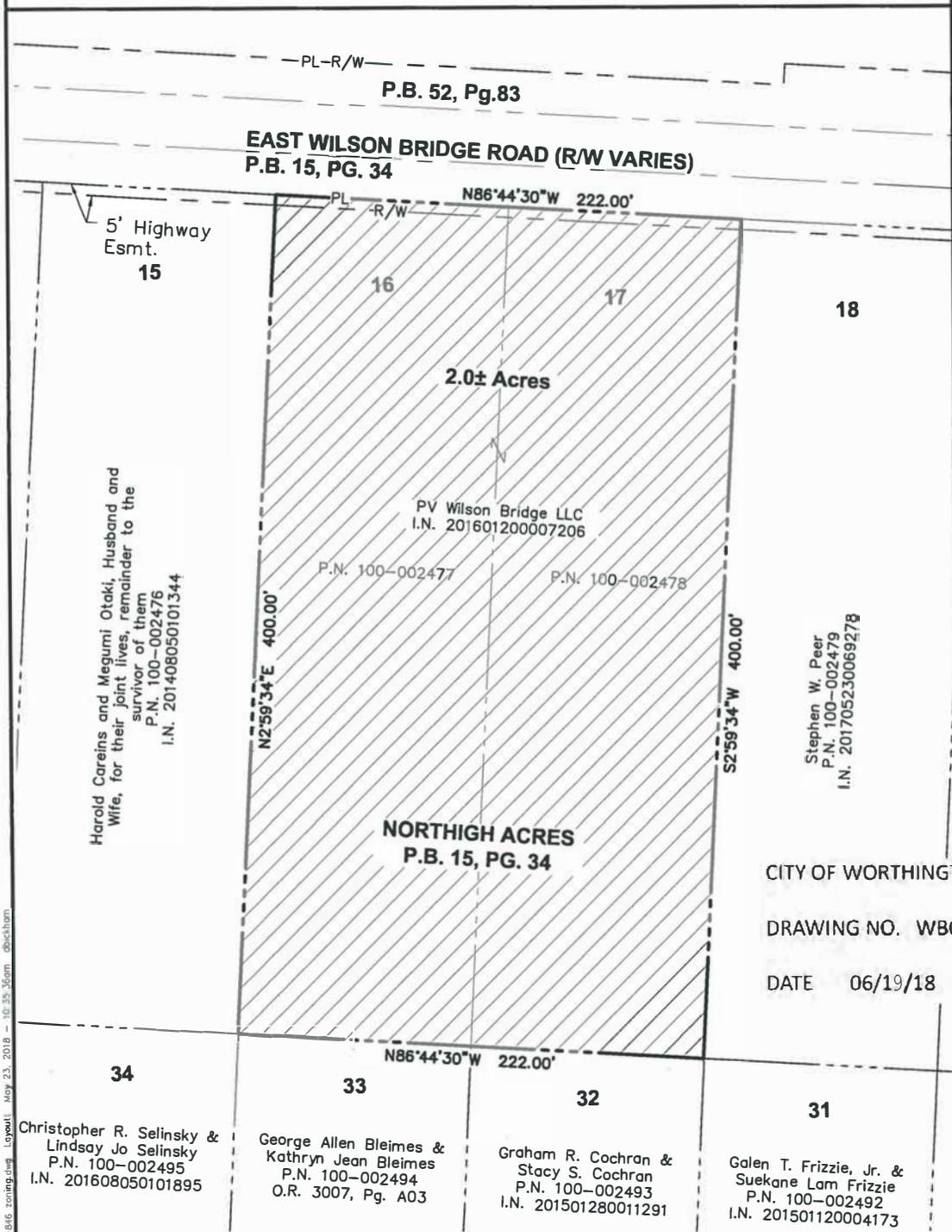
CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 06/19/18

# ZONING EXHIBIT ~ 2.0± ACRES

Situated in the State of Ohio, City of Worthington, Franklin County, Ohio,  
Range 18, Township 2, Quarter Township 2, United States Military District



Harold Careins and Megumi Otaki, Husband and  
Wife, for their joint lives, remainder to the  
survivor of them  
P.N. 100-002476  
I.N. 201408050101344

PV Wilson Bridge LLC  
I.N. 201601200007206

P.N. 100-002477

P.N. 100-002478

Stephen W. Peer  
P.N. 100-002479  
I.N. 2017052300069278

**NORTHHIGH ACRES**  
P.B. 15, PG. 34

CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 06/19/18

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Christopher R. Selinsky &  
Lindsay Jo Selinsky  
P.N. 100-002495  
I.N. 201608050101895

George Allen Bleimes &  
Kathryn Jean Bleimes  
P.N. 100-002494  
O.R. 3007, Pg. A03

Graham R. Cochran &  
Stacy S. Cochran  
P.N. 100-002493  
I.N. 201501280011291

Galen T. Frizzie, Jr. &  
Suekane Lam Frizzie  
P.N. 100-002492  
I.N. 201501120004173

This exhibit is created from information obtained from the Franklin County Auditor's Office and the Franklin County Recorder's Office. This exhibit is not to be used for the transfer of land.

## GRAPHIC SCALE



1 inch = 200 feet

DRAWN BY: DRB	JOB NO.: 18-0002-846
DATE: 05/23/18	CHECKED BY:

**ADVANCED**  
CIVIL DESIGN  
ENGINEERS SURVEYORS

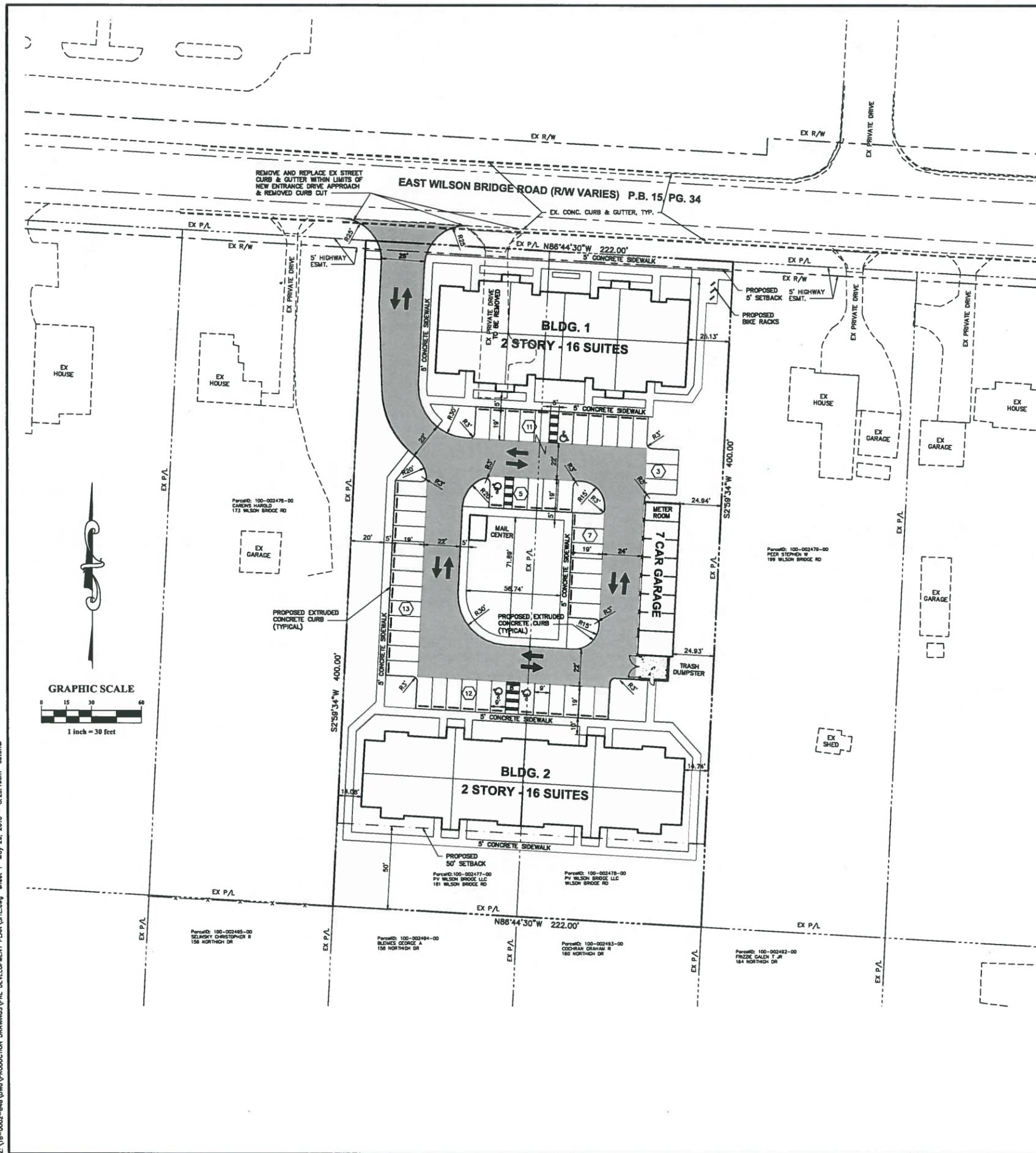
422 Beecher Road  
Gahanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755







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- LEGEND**
- STANDARD DUTY PAVEMENT SECTION
  - HEAVY DUTY PAVEMENT SECTION
  - CONCRETE PAVEMENT SECTION
  - DENOTES PARKING COUNT
  - TRAFFIC FLOW ARROW



**SITE PLAN NOTES**

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

ALL DISTURBED AREAS ARE TO RECEIVE FOUR (4) INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.

ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

CURB RADII NOT LABELED ARE 3' UNLESS OTHERWISE SHOWN OR ONE-HALF THE WIDTH OF CURB ISLAND.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

ALL PRIVATE PAVEMENT MARKING SHALL BE WHITE UNLESS OTHERWISE NOTED.



PLAN PREPARED BY:

422 Beecher Road  
Columbus, Ohio 43230  
PH 614.282.7780  
FAX 614.282.7755

**ADVANCED**  
CIVIL DESIGN  
ENGINEERS SURVEYORS

OXFORD CIRCLE DEVELOPMENT  
470 OLDE WORTHINGTON ROAD  
WESTERVILLE, OH 43081

CITY OF WORTHINGTON / FRANKLIN COUNTY, OHIO

**GRANBY PLACE**

FINAL DEVELOPMENT PLAN  
FOR  
OXFORD DEVELOPMENT

**SITE PLAN**

CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

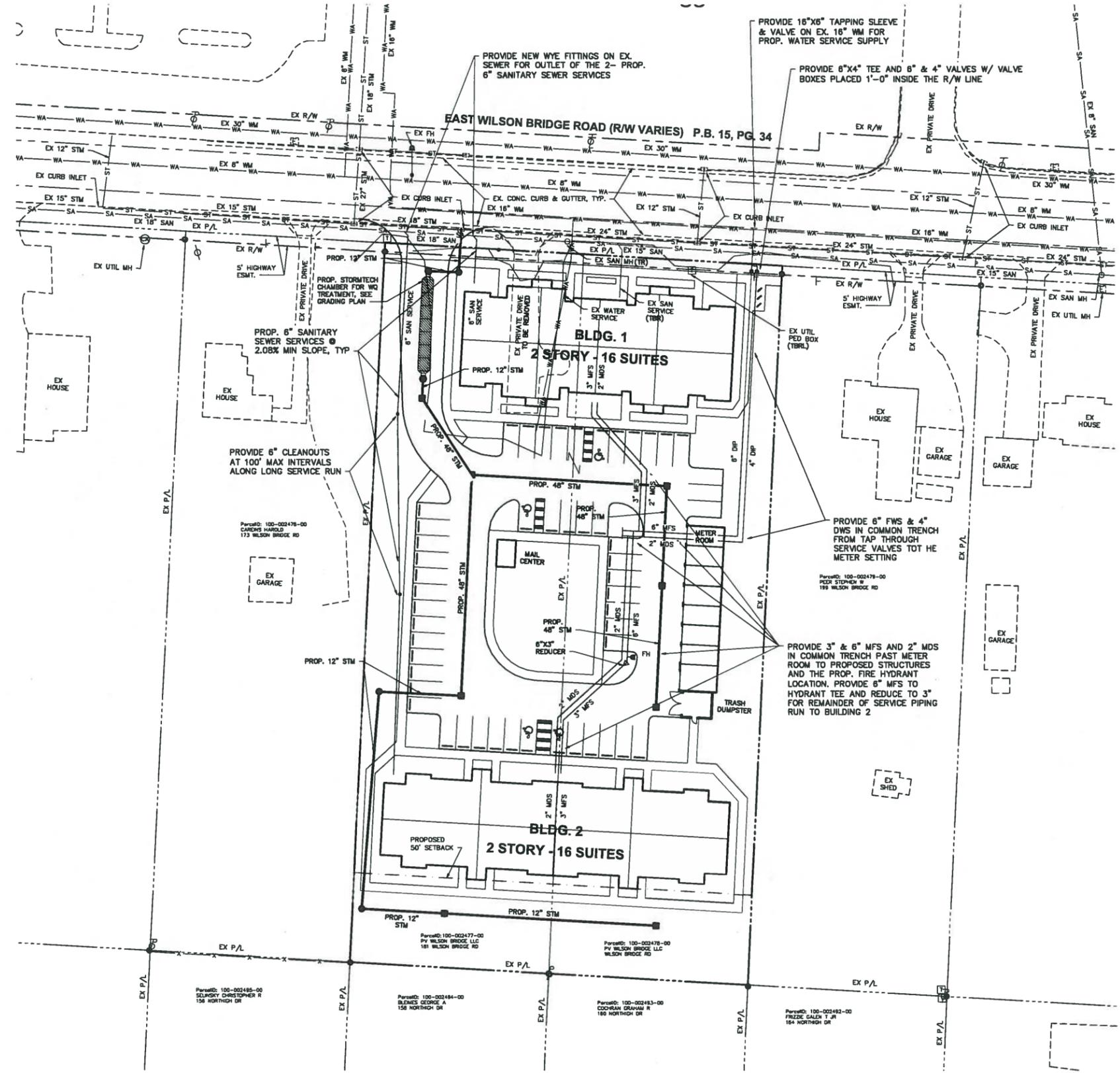
DATE 06/19/18

OHIO  
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SERVICE  
Call Before You Dig

800-362-2764 or 8-1-1  
www.oups.org

Issue Date:	
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Checked By:	TW
Project Number:	18-0002-846
Drawing Number:	3/5

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**LEGEND**

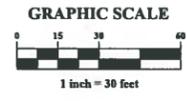
- ST — EXISTING STORM
- PROPOSED STORM
- PROPOSED ROOF DRAIN
- SA — EXISTING SANITARY
- EXISTING SANITARY SERVICE
- PROPOSED SANITARY SERVICE
- WA — EXISTING WATER MAIN
- PROPOSED DWS
- PROPOSED FWS
- OHE — EXISTING OVERHEAD ELECTRIC
- T — EXISTING UT TELEPHONE
- G — EXISTING GAS
- FO — EXISTING UT FIBER OPTIC
- (TBRL) — TO BE RELOCATED (COORDINATE WORK W/ OWNER OF AFFECTED UTILITY)
- (TBR) — TO BE REMOVED (COORDINATE WORK W/ OWNER OF AFFECTED UTILITY)
- (TR) — TO REMAIN UNDISTURBED
- (DND) — DO NOT DISTURB

FWS = FIRE WATER SERVICE TO METER  
 DWS = DOMESTIC WATER SERVICE TO METER  
 MFS = FIRE WATER SERVICE AFTER METER  
 MDS = DOMESTIC WATER SERVICE AFTER METER

**SITE UTILITY NOTES**

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND OSHA STANDARDS.  
 NEW SANITARY WYE TO BE INSTALLED BY THE CONTRACTOR. AT THE DISCRETION OF THE FIELD INSPECTOR OF THE CITY OF WORTHINGTON, EXISTING WYES MAY BE REUSED, AS DIRECTED BY FIELD INSPECTOR.  
 ALL NON-METAL WATER MAINS AND SERVICES SHALL HAVE TRACER WIRE INSTALLED.  
 CONTRACTOR SHALL FIELD VERIFY EXISTING SANITARY SEWER AND WATER MAIN LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.  
 CONTRACTOR SHALL ADJUST EXISTING UTILITIES TO GRADE AS NECESSARY.

CITY OF WORTHINGTON  
 DRAWING NO. WBC 01-18  
 DATE 06/19/18

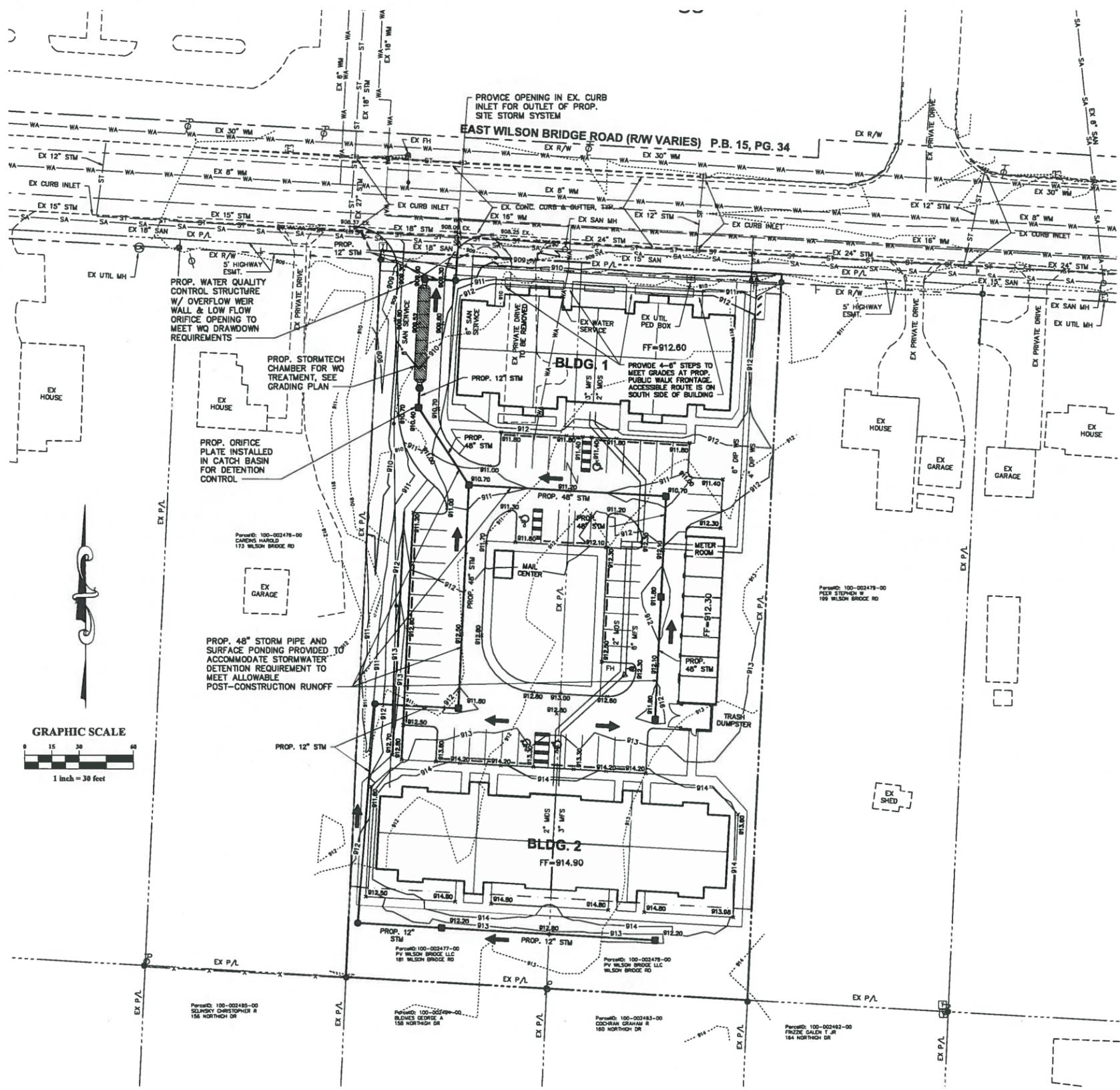


PLAN PREPARED BY:  
 OXFORD CIRCLE DEVELOPMENT  
 470 OLDE WORTHINGTON ROAD  
 WESTERVILLE, OH 43081

CITY OF WORTHINGTON / FRANKLIN COUNTY, OHIO  
 GRANBY PLACE  
 FINAL DEVELOPMENT PLAN  
 FOR  
 OXFORD DEVELOPMENT  
 UTILITY PLAN

Issue Date:	
Date:	05/24/2018
Scale:	1" = 30'
Drawn By:	ODS
Checked By:	TMW
Project Number:	18-0002-846
Drawing Number:	4 / 5

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- LEGEND**
- ST — EXISTING STORM
  - PROPOSED STORM
  - PROPOSED ROOF DRAIN
  - SA — EXISTING SANITARY
  - SAS — EXISTING SANITARY SERVICE
  - PROPOSED SANITARY SERVICE
  - WA — EXISTING WATER MAIN
  - PROPOSED DWS
  - PROPOSED FWS
  - ..... 908 ..... EXISTING 1" CONTOUR
  - ..... 910 ..... EXISTING 5" CONTOUR
  - ..... 909 ..... PROPOSED 1" CONTOUR
  - ..... 910 ..... PROPOSED 5" CONTOUR
  - OHE — EXISTING OVERHEAD ELECTRIC
  - T — EXISTING UG TELEPHONE
  - G — EXISTING GAS
  - FO — EXISTING UG FIBER OPTIC
  - ← MAJOR FLOOD ROUTING PATH

**SITE GRADING NOTES**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

STORM PIPE SHALL BE AS SPECIFIED IN THE GENERAL NOTES.

EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

EXISTING GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.

PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.

ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.

ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

ELEVATIONS SHOWN HEREIN ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.

ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TO XLX.

**STORMWATER CONTROL NARRATIVE**

**SITE SUMMARY:**  
THE SUBJECT PROJECT CONSISTS OF EXISTING PARCELS (100-002477 & 100-002478) TO BE REDEVELOPED INTO A MULTI-FAMILY DEVELOPMENT WITH ASSOCIATED PARKING. THE SITE IS BOUND BY EAST WILSON BRIDGE ROAD TO THE NORTH, AND SINGLE FAMILY RESIDENTIAL LOTS TO THE EAST, WEST & SOUTH. THE SITE IS APPROXIMATELY 1.89 ACRES CONSISTING OF OPEN GREEN SPACE AND EXISTING ASPHALT. THE PROPOSED SITE IMPROVEMENTS INCLUDE TWO PROPOSED APARTMENT BUILDINGS, SUPPORT BUILDINGS AND ASSOCIATED PARKING.

**EXISTING CONDITIONS:**  
EXISTING DRAINAGE CONDITIONS WERE EVALUATED USING A COMBINATION OF AERIAL PHOTOGRAPHS, SURVEYED TOPOGRAPHY, SOIL MAPS, AND SITE PHOTOS. THE NATURAL RESOURCE CONSERVATION SERVICE WEB SOIL SURVEY IDENTIFIES THE PREDOMINANT ON-SITE SOILS AS BENNINGTON-URBAN LAND-COMPLEX. THESE SOILS ARE CLASSIFIED WITHIN HYDROLOGIC GROUP 'C'.

THE EXISTING SITE PREDOMINATELY DRAINS SOUTH TO NORTH INTO AN EXISTING PUBLIC STORM SEWER SYSTEM RUNNING ALONG THE SOUTH SIDE OF WILSON BRIDGE ROAD THAT CONVEYS LOCAL RUNOFF TO EXISTING RUSH RUN LOCATED EAST OF THIS PROJECT.

**ALLOWABLE RELEASE RATE:**  
THE CITY OF WORTHINGTON FOLLOWS THE ODMR RAINWATER AND LAND DEVELOPMENT MANUAL USING THE CRITICAL STORM METHODOLOGY FOR ALLOWABLE RELEASE RATES FROM THE PROPOSED SITE FOR POST-DEVELOPED STORM RUNOFF.

**STORM WATER QUANTITY CONTROL:**  
EXCESS RUNOFF FROM THE PROPOSED SITE WILL BE DETAINED AND STORED IN A COMBINATION OF PARKING LOT SURFACE PONDING, NO GREATER THAN 1 FOOT ABOVE CATCH BASINS AND OVERSIZED STORM SEWER PIPES. THE RELEASE WILL BE CONTROLLED BY DRIFICE PLATES WITH OPENINGS SIZED TO MEET THE POST-DEVELOPED FLOW REQUIREMENTS.

**STORM WATER QUALITY CONTROL:**  
PER THE OHIO EPA GENERAL CONSTRUCTION PERMIT, A STORMWATER BEST MANAGEMENT PRACTICE (BMP) IS REQUIRED TO TREAT THE FIRST FLUSH RUNOFF VOLUME PRODUCED BY A 1/4" RAINFALL EVENT. THE WQ TREATMENT FOR THIS SITE WILL BE ACCOMPLISHED UTILIZING AN UNDERGROUND STORMTECH CHAMBER SYSTEM APPROVED BY THE OHIO EPA.

**CONCLUSION:**  
THE PROPOSED DEVELOPMENT WILL PROVIDE SURFACE AND SUBSURFACE STORMWATER CONVEYANCES TO CARRY RUNOFF SAFELY THROUGH THE SITE TOWARDS THE ONSITE DETENTION AND WATER QUALITY TREATMENT FACILITY. STRUCTURES WITHIN THE SYSTEM PROVIDE PEAK FLOW CONTROL AND TREATMENT OF CAPTURED WATER TO COMPLY WITH CITY OF WORTHINGTON'S PEAK FLOW CONTROL REQUIREMENTS AND OHIO EPA WATER QUALITY REGULATIONS.

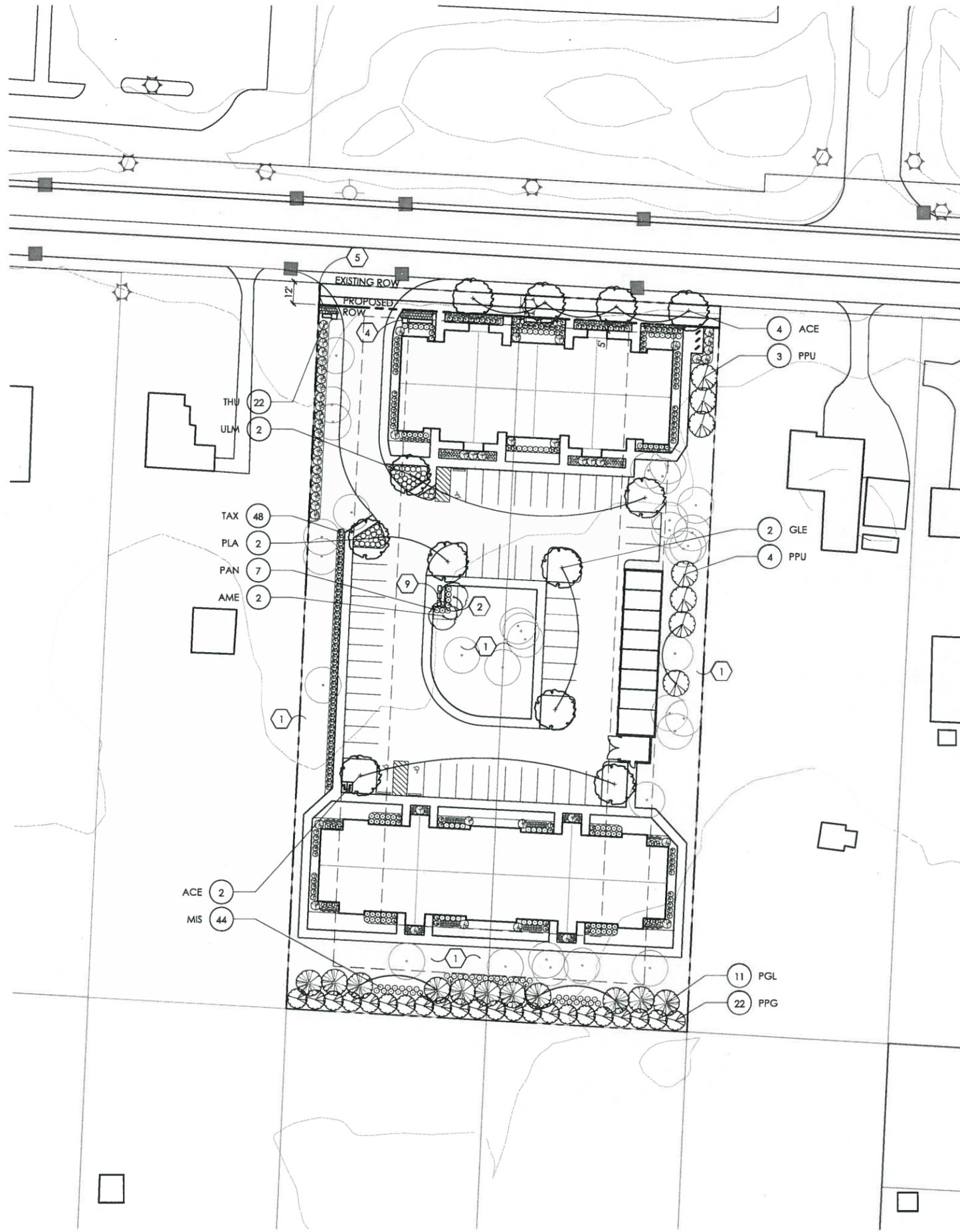


OXFORD CIRCLE DEVELOPMENT  
470 OLDE WORTHINGTON ROAD  
WESTERVILLE, OH 43081

CITY OF WORTHINGTON / FRANKLIN COUNTY, OHIO  
GRANBY PLACE  
FINAL DEVELOPMENT PLAN  
FOR  
OXFORD DEVELOPMENT  
PRELIMINARY GRADING PLAN

Issue Date:	
Date:	05/24/2018
Scale:	1" = 30'
Drawn By:	DDS
Checked By:	TMW
Project Number:	18-0002-846
Drawing Number:	5 / 5

CITY OF WORTHINGTON  
DRAWING NO. WBC 01-18  
DATE 06/19/18



**GENERAL PLANTING NOTES:**

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDING/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

**CONSTRUCTION NOTES:**

- ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ② LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ③ NOT USED
- ④ ENTRY SIGN - SEE DETAIL 1/SHEET D-7
- ⑤ ENTRY COLUMN AND WALL - SEE DETAIL 2/SHEET D-7
- ⑥ NOT USED
- ⑦ NOT USED
- ⑧ NOT USED
- ⑨ MAIL KIOSKS - SEE DETAIL 5/ SHEET D-7

**PLANT LIST**

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
<b>TREES</b>						
6	ACE	ACER * FREEMANII 'SIENNA'	SIENNA GLEN MAPLE	2" CAL.	B&B	
2	PLA	PLATANUS ACERIFOLIA 'MORTON CIRCLE'	EXCLAMATION! LONDON PLANE TREE	2" CAL.	B&B	
2	ULM	ULMUS * 'FRONTIER'	FRONTIER ELM	2" CAL.	B&B	
2	GLE	GLEDITSIA TRIACANTHOS F. INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	2" CAL.	B&B	
2	AME	AMELANCHIER * GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6'-7' HGT.	B&B	MATCH FORM
11	PGL	PICEA GLAUCA	WHITE SPRUCE	6'-7' HGT.	B&B	
22	PPG	PICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	6'-7' HGT.	B&B	
7	PPU	PICEA PUNGENS	COLORADO SPRUCE	6'-7' HGT.	B&B	
<b>SHRUBS</b>						
22	THU	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	2 GAL.	CONT.	
48	TAX	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	2 GAL.	CONT.	
7	PAN	PICEA ABIES 'NIDIFORMIS'	DWARF BIRDS NEST SPRUCE	2 GAL.	CONT.	
<b>PERENNIALS/ORNAMENTAL GRASSES</b>						
44	MIS	MISCANTHUS SINENSIS 'GRACILLIMUS'	GRACILLIMUS MAIDEN GRASS	2 GAL.	CONT.	

\*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.

**LANDSCAPE REQUIREMENTS**

CODE	REQUIRED	PROVIDED
1171.02 (H) LANDSCAPING OF PARKING AREAS - PROVIDE A TREE FOR EVERY 6 PARKING SPACES	60 SPACES = 10 TREES	10 TREES
1181.05 (A) SCREENING - ONE MEDIUM TREE PER 10' LF, ONE LARGE TREE PER 20' LF, ONE SHRUB PER 5' LF	SOUTH: ±220 LF = 22 MED. TREES, 11 LG. TREES, & 44 SHRUBS	22 MED. TREES, 11 LG. TREES, & 44 SHRUBS
1181.05 (F) PARKING - THERE SHALL NOT BE LESS THAN ONE PARKING SPACE PER DWELLING UNIT	32 UNITS = 32 SPACES (1.00 DU/AC)	60 SPACES (1.88 DU/AC)
1181.05 (G) PUBLIC SPACES - ONE PUBLIC SPACE AMENITY PER 5,000 SF OF GROSS FLOOR AREA	±36,275 SF = 8 AMENITIES	2 BENCHES, 4 DECORATIVE LIGHTS, & 3 BIKE RACKS

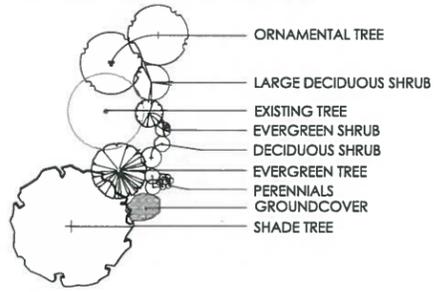
CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 06/19/18

**PLANT KEY TYPICALS**

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



REVISIONS	

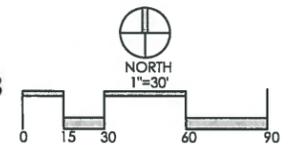
OVERALL LANDSCAPE PLAN

GRANBY PLACE  
PREPARED FOR  
KENNEY COMPANIES  
470 OLDE WORTHINGTON RD., SUITE 100  
WESTERVILLE, OH 43082

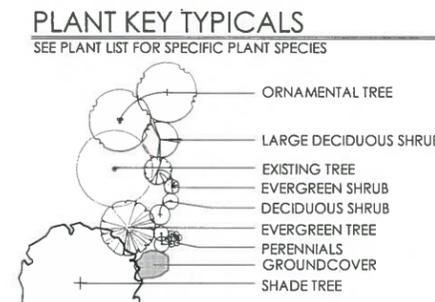
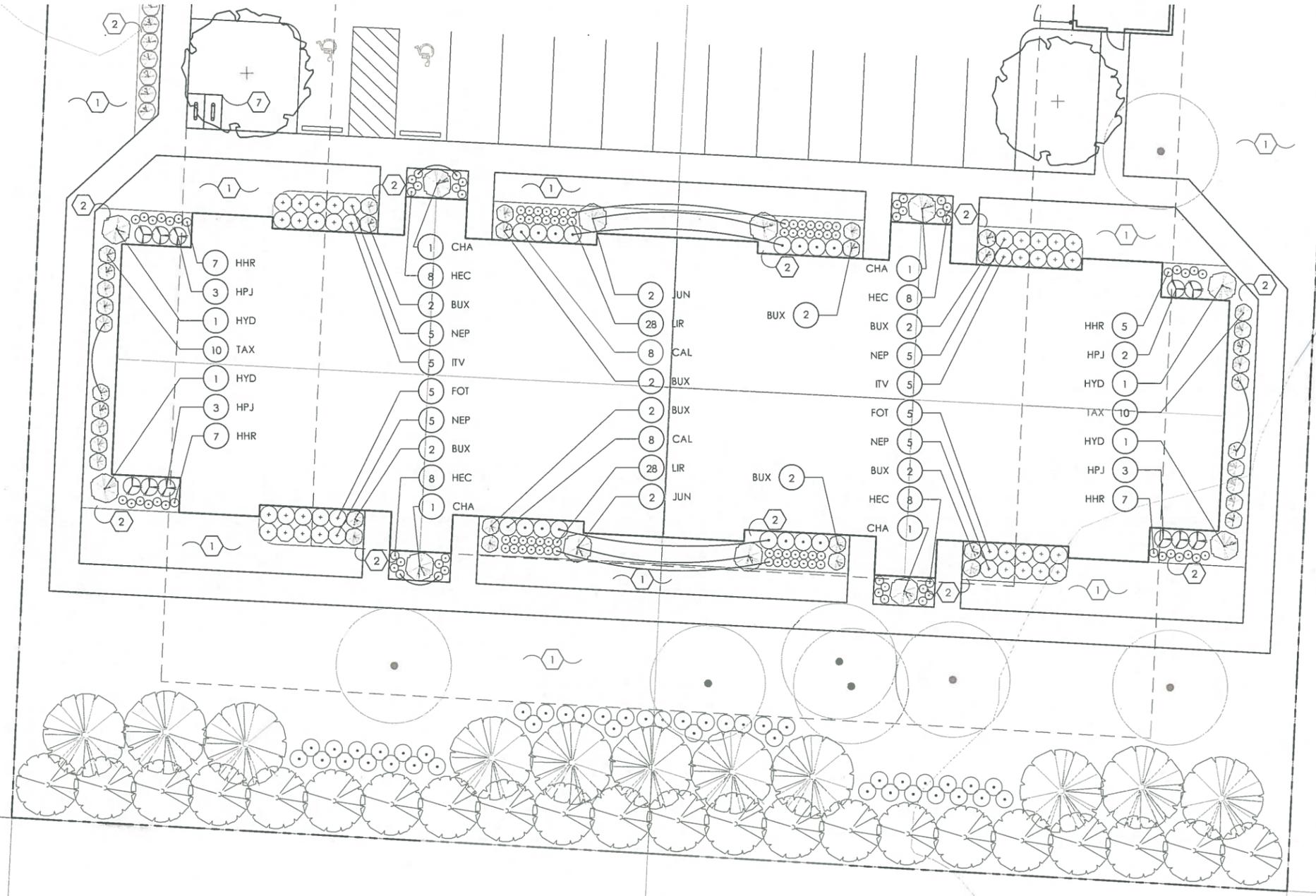
Paris Planning & Design  
LAND PLANNING LANDSCAPE ARCHITECTURE  
243 N. 5th Street  
p (614) 487-1954  
Suite 401  
Columbus, OH 43215  
www.parisplanninganddesign.com

DATE	6/1/18
PROJECT	17140
SHEET	

D-2







**GENERAL PLANTING NOTES:**

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
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**CONSTRUCTION NOTES:**

- 1 LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 2 LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 3 NOT USED
- 4 NOT USED
- 5 NOT USED
- 6 NOT USED
- 7 U-SHAPED BIKE RACK - SEE DETAIL 4/SHEET D-7

**PLANT LIST**  
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

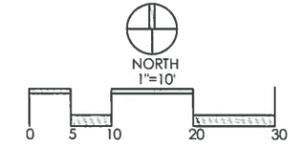
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
<b>SHRUBS</b>						
4	JUN	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	8' HGT.	B&B	
4	CHA	CHAMAECYPARIS PISIFERA 'GOLDEN MOP'	GOLDEN MOP THREADLEAF FALSE CYPRESS	24" HGT.	CONT.	
4	HYD	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	24" HGT.	CONT.	
11	HPJ	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HARDY HYDRANGEA	18" HGT.	CONT.	
16	BUX	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	18" HGT.	CONT.	
20	TAX	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	18" HGT.	CONT.	
10	ITV	ITEA VIRGINICA 'SPRICH'	LITTLE HENRY VIRGINIA SWEETSPIRE	18" HGT.	CONT.	
10	FOT	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	18" HGT.	CONT.	
<b>PERENNIALS/ORNAMENTAL GRASSES</b>						
16	CAL	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	1 GAL.	CONT.	
20	NEP	NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.	CONT.	
56	LIR	LIRIOPE MUSCARI 'VARIEGATA'	VARIGATED LIRIOPE	1 GAL.	CONT.	
32	HEC	HEMEROCALLIS 'EARLYBIRD CARDINAL'	EARLYBIRD CARDINAL DAYLILY	1 GAL.	CONT.	
26	HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	CONT.	

\*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.

CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 06/19/18



REVISIONS


**BUILDING TWO  
LANDSCAPE PLAN**

**GRANBY PLACE**  
PREPARED FOR  
**KENNEY COMPANIES**  
470 OLDE WORTHINGTON RD., SUITE 100  
WESTERVILLE, OH 43082

**Paris Planning & Design**  
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243 N. 5th Street  
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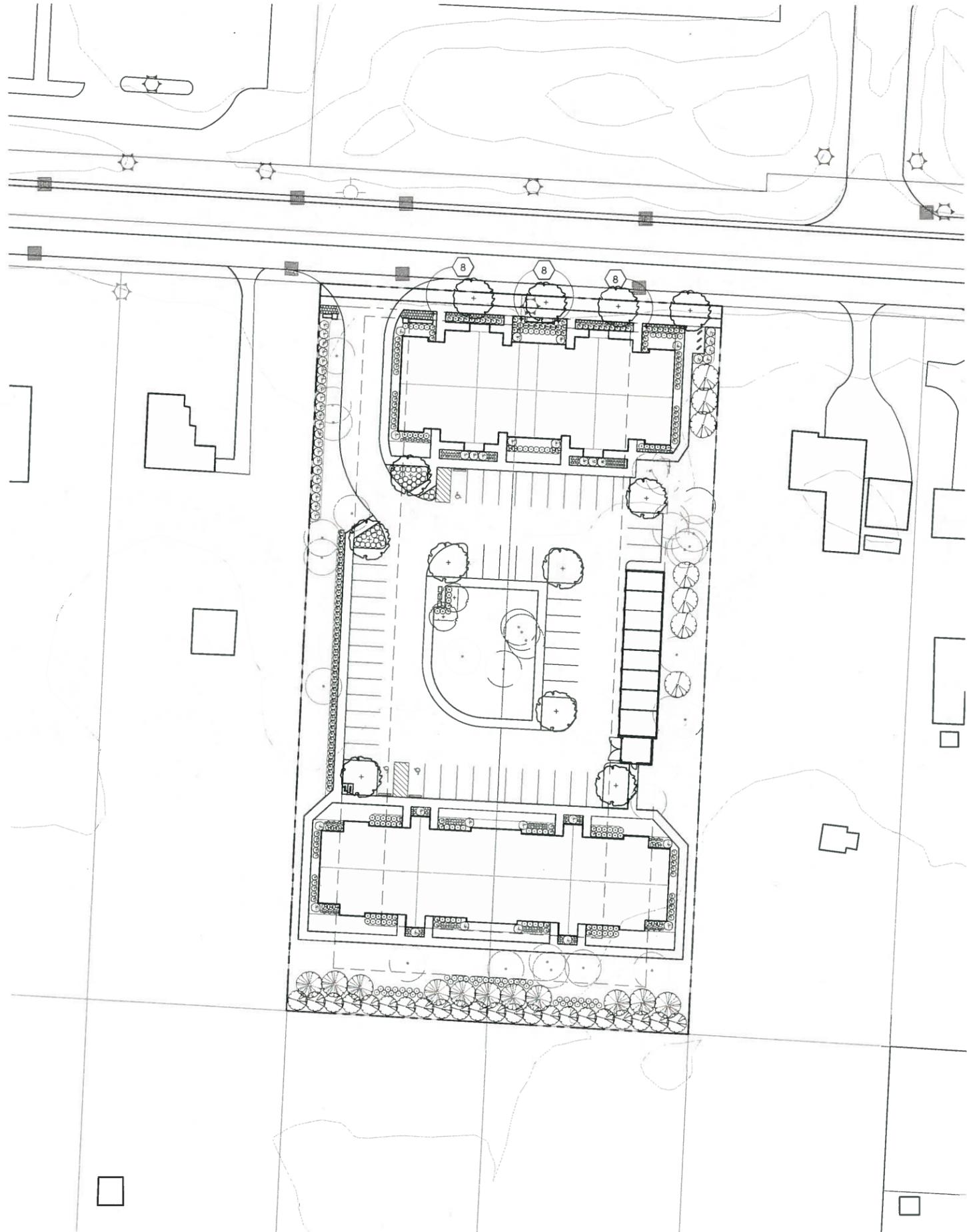
DATE 6/1/18

PROJECT 17140

SHEET

**D-4**



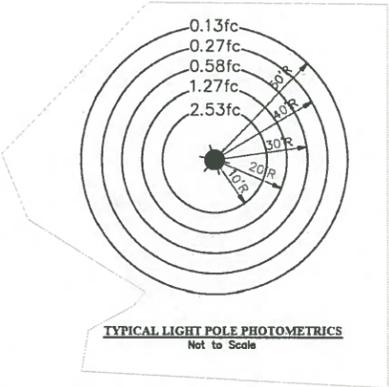


**GENERAL PLANTING NOTES:**

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSEYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

**CONSTRUCTION NOTES:**

- ① NOT USED
- ② NOT USED
- ③ NOT USED
- ④ NOT USED
- ⑤ NOT USED
- ⑥ NOT USED
- ⑦ NOT USED
- ⑧ DECORATIVE LIGHTING - DELMAR STAR POWER OPTICAL SYSTEM - SEE DETAIL 1/ SHEET D-6



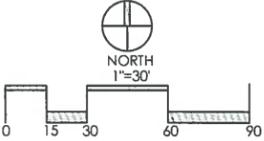
\*FIX TO 8" POST OR OWNER APPROVED EQUAL. TOTAL POST HEIGHT NOT TO EXCEED 10'.

① DECORATIVE LIGHT  
SCALE: N.T.S.

CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

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**LIGHTING PLAN**

**GRANBY PLACE**  
PREPARED FOR  
**KENNEY COMPANIES**  
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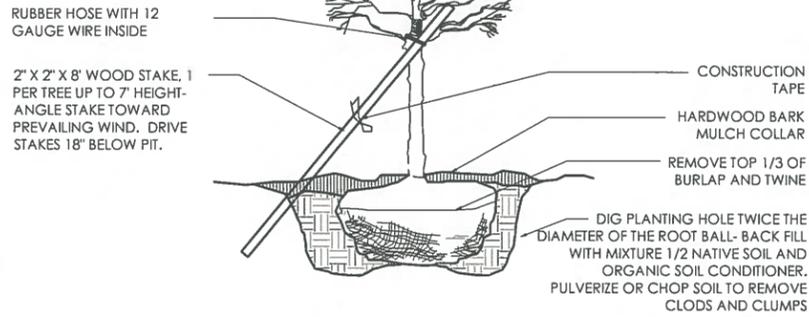
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PROJECT	17140
SHEET	

**D-6**



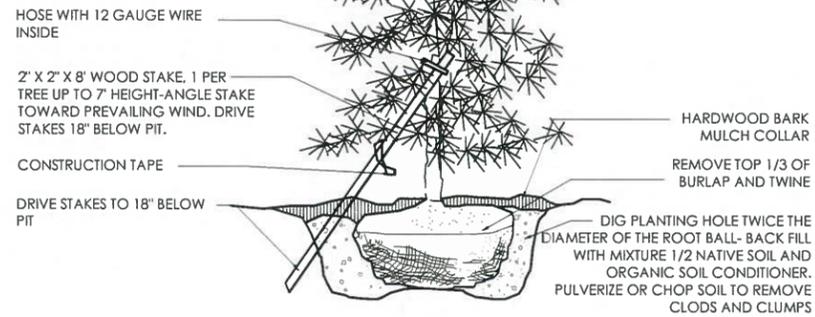
NOTE:  
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES, & COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. RETAIN NORMAL SHAPE. PLANT TREES, SHRUBS, EVERGREENS AT SAME GRADE AS GROWN IN NURSERY.



**6** DECIDUOUS TREE UNDER 3-1/2" CALIPER  
N.T.S.

01-1000

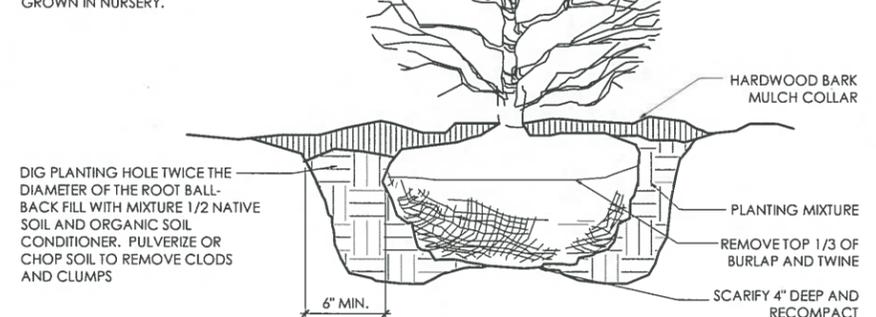
NOTE:  
PLANT TREES, SHRUBS, & EVERGREENS AT SAME GRADE AS GROWN IN NURSERY



**7** EVERGREEN TREE UNDER 7' HGT.  
N.T.S.

01-1100

NOTE:  
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES, & COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. RETAIN NORMAL SHAPE. PLANT TREES, SHRUBS, EVERGREENS AT SAME GRADE AS GROWN IN NURSERY.



**8** SHRUB PLANTING DETAIL  
N.T.S.

01-1300

REVISIONS	

SITE DETAILS

GRANBY PLACE  
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WESTERVILLE, OH 43082

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D-8



① BUILDING 1 ELEVATION  
SCALE: 1"=10'



- ASPHALT SHINGLES
- CEMENT BOARD
- SHAKE SIDING
- HARDIPLANK SIDING
- BRICK

② BUILDING 1 SIDE ELEVATION  
SCALE: 1"=10'



③ BUILDING 2 ELEVATION  
SCALE: 1"=10'



- ASPHALT SHINGLES
- CEMENT BOARD
- SHAKE SIDING
- HARDIPLANK SIDING
- BRICK

④ BUILDING 2 SIDE ELEVATION  
SCALE: 1"=10'



- ASPHALT SHINGLES
- HARDIPLANK SIDING
- BRICK

⑤ GARAGE AND DUMPSTER ELEVATION  
SCALE: 1"=10'

CITY OF WORTHINGTON

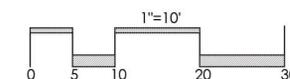
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# ELEVATIONS

# GRANBY PLACE

PREPARED FOR KENNEY COMPANIES  
DATE: 6/19/18



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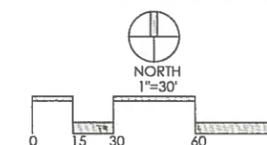


CITY OF WORTHINGTON  
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**SITE DATA**

TOTAL ACRES	+/- 2.00 ACRES
TOTAL UNITS	32 UNITS
SURFACE SPACES	52 SPACES
GARAGE SPACES	8 SPACES
TOTAL PARKING SPACES	60 SPACES
PARKING DENSITY	±1.88 DU/AC

ILLUSTRATIVE PLAN  
**GRANBY PLACE**  
 PREPARED FOR KENNEY COMPANIES  
 DATE: 6/1/18



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