



Wilson Bridge Corridor Zoning

Department of Planning & Building



Wilson Bridge Road Corridor Study

Existing Zoning

The existing zoning in the corridor consists of seven different zoning districts. The primary zoning districts in the corridor are commercial and office districts comprising approximately 128 acres, or 52 percent of the total land area in the corridor. The planning area also includes approximately eleven acres of floodplain. This area consists primarily of the Olentangy Parklands and is bisected by the Olentangy Trail. Residential also makes up a significant portion of the corridor; approximately 35 acres, or 14 percent of the total land area in the corridor. It is important to note that residential uses are also permitted as a conditional use in the C-2 zoning district, which would bring the total area available for residential uses to approximately 65 acres.

District	Acreeage
C-2 Community Shopping Center	128.0
C-3 Institutions and Offices	
C-4 Highway and Automotive Services	
AR-3 Medium Density Apartment Residence	20.8
AR-4.5 Low Density Apartment Residence	3.2
R-10 Low Density Residence	14.3
F-1 Flood Plain	11.20
S-1 Special	29.74
ROW	43.45
Total	250.7





Recommendations:

Promotion

Objective 1

Enhance the image and brand of Worthington.

Actions

- 1.6 Develop a new signage and wayfinding package/standards for public signage.

Design

Objective 2

Promote new residential development in the corridor that complements existing and planned developments.

Actions

- 2.1 Create an overlay district for the Corridor that will allow for a variety of housing types including medium to high-density development that matches the intent of the Plan.
- 2.3 Create residential design guidelines for the Corridor that complements the existing residential character, but is also unique and helps define the image of the Corridor.

Objective 3

Guide the redevelopment of underutilized commercial properties.

Actions

- 3.2 Create new design guidelines and zoning tools to ensure the development concept and intent of the Plan is implemented.

Objective 4

Create a pedestrian-friendly environment.

Actions

- 4.2 Allow for the redevelopment of buildings along the Corridor to have varied building heights with reduced setbacks to develop a defined 'street wall'.
- 4.4 Develop new standards that encourage and/or require new development to have pedestrian access from the street and include bike parking on site.

Objective 5

Promote the development of civic spaces, buildings, and events in the Corridor.

Actions

- 5.1 Encourage new development to provide public spaces on site or pay in-lieu fee to be used for other public space improvements in the corridor as identified in the Plan (e.g. outdoor activities and dining.)
- 5.3 Enhance the entrance to McCord Park and Olentangy Parklands with new signage and landscaping to improve visibility and access.

Objective 6

Create a concentrated yet diverse commercial core along Wilson Bridge Road.

Actions

- 6.1 Create an overlay for the Corridor that will expand permitted and conditional uses to include residential, and allow for the vertical integration of uses where appropriate.
- 6.4 Revise parking requirements in the Corridor to promote new development (e.g. reduced parking requirements, shared parking, include on-street parking).



Wilson Bridge Road Corridor Study – Redevelopment Sites

Figure 5.1: Targeted Redevelopment Sites





Wilson Bridge Road Corridor Study Recommendations



Legend			
	Residential (Medium Density)		Professional Office
	Residential (High Density) / Office		Office
	Residential (Medium Density) / Office		Neighborhood Office
	Mixed Use		Office / Hotel
	Park		Proposed Roads
			Proposed Sidewalks
			Proposed Sharrow
			Proposed Multi-use Path
			Pedestrian Bridge
			Primary Gateway
			Secondary Gateway
			Enhanced Intersection
			Public Space



Wilson Bridge Road Corridor Study Recommendations

Land Use Type	Area (Acres)	Building Blocks		Uses (P = Preferred / O = Optional)				
		Desired Density	Max. Height (Stories)	Multifamily	Office	Civic	Commercial	Hotel
Residential (Medium Density)	57.2	10-14 units/acre	3	p		p		
Office/Residential (High Density)	7.1	Housing 10-20 units/acre	5+	p	p	p		
		Office 15,000-30,000 s.f./acre						
Office/Residential (Medium Density)	5.2	Housing 5-10 units/acre	3	P	P			
		Office 12,000-15,000 s.f./acre						
Mixed Use	59.0	Housing 10-20 units/acre	5	o	p	p	p	o
		Office/Commercial 10,000 - 15,000 s.f./acre						
Professional Office	15.6	10,000 - 20,000 s.f./acre	3	o	p	p		
Office	57.2	30,000 - 60,000 s.f./acre	6		p	p		
Neighborhood Office	6.9	8,000 - 10,000 s.f./acre	2		P			
Office/Hotel	8.0	Hotel 100-200 Rooms	6		p	p		p
		Office 15,000 - 30,000 s.f./acre						

Note: Medium density residential and professional office on the south side of Wilson Bridge Road between Westview Drive and McCord Park should be limited to two stories in height.



Wilson Bridge Road Corridor Study

East Wilson Bridge Residential Sites



Redevelopment Area

Existing Site Data: Development Intent:

Area:	15.8 acres
Number of Parcels:	21
Existing Buildings (Single-family):	18 units

Development Intent:

Max. Bldg. Height:	2 Stories
Preferred Uses:	Office, Residential

Redevelopment Scenario

This development scenario is an estimate of the amount of office and residential that could be developed in this area with surface parking.

Residential Medium Density

Area:	8.8 acres
Max. Building Height:	2 Stories
Residential Density:	8 - 10 u/a
Residential Units:	70 - 90 units
Parking Standard:	2 per unit
Total Parking Spaces:	140 - 180
Approx. lot coverage:	<60 percent

Professional Office

Area:	7.0 acres
Max. Building Height:	2 Stories
Estimated Building Footprints:	15,000 - 25,000 s.f.
*Total Office Area:	70,000 - 84,000 s.f.
Parking Standard:	1 space / 250 s.f.
Parking Spaces:	280 - 336 spaces
Approx. lot coverage:	<60 percent

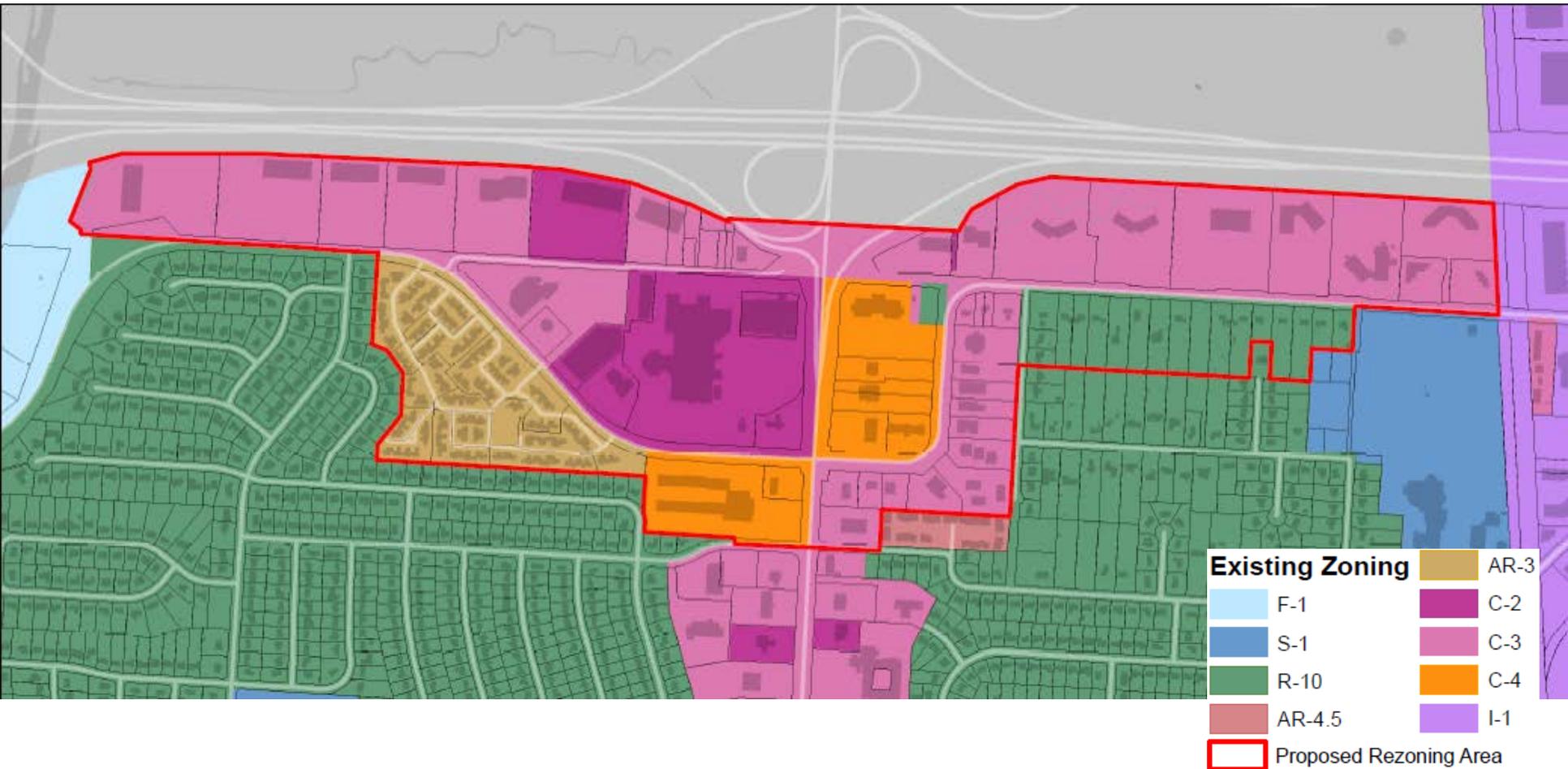
* Assumes a density of 10,000 to 12,000 square feet of office per acre.

** Note these are general estimates for the development capacity of the site.



Wilson Bridge Corridor Zoning

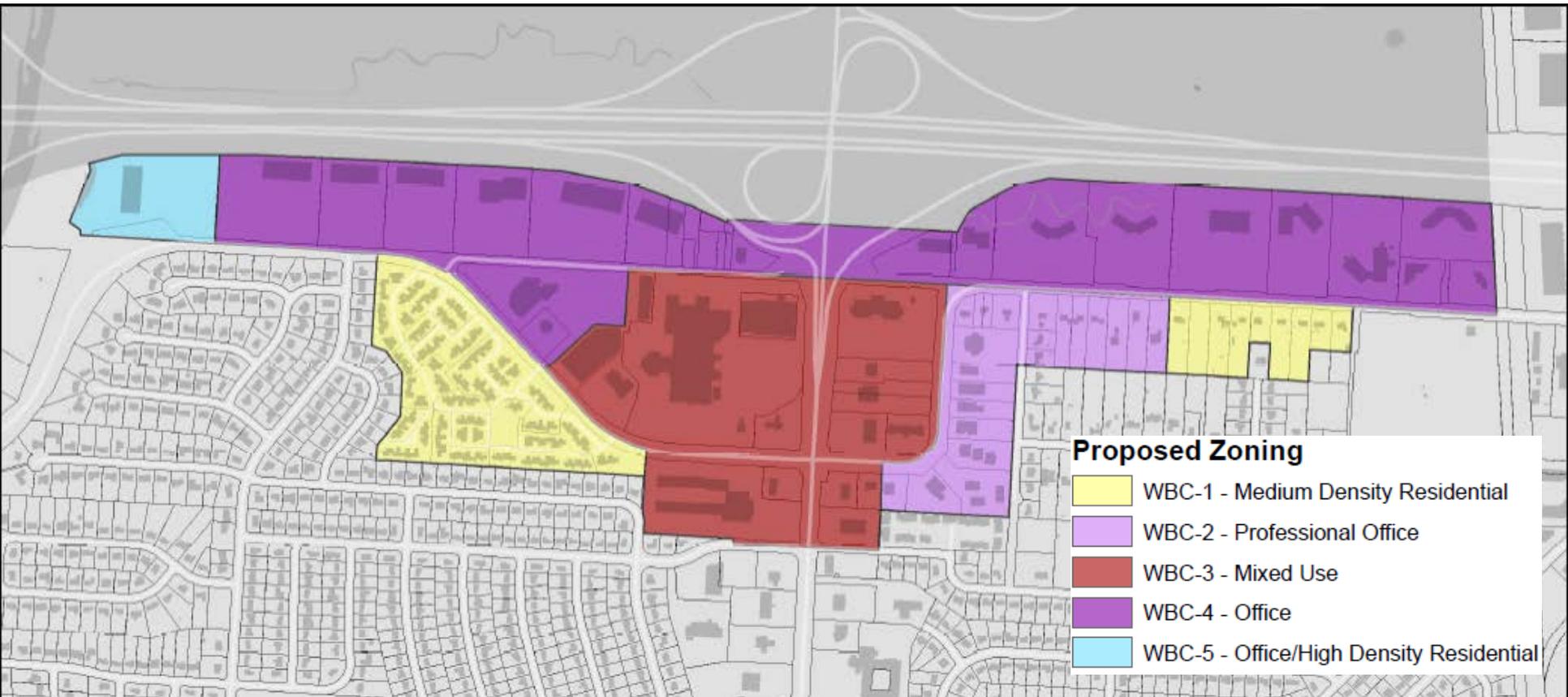
Current Zoning:





Wilson Bridge Corridor Zoning

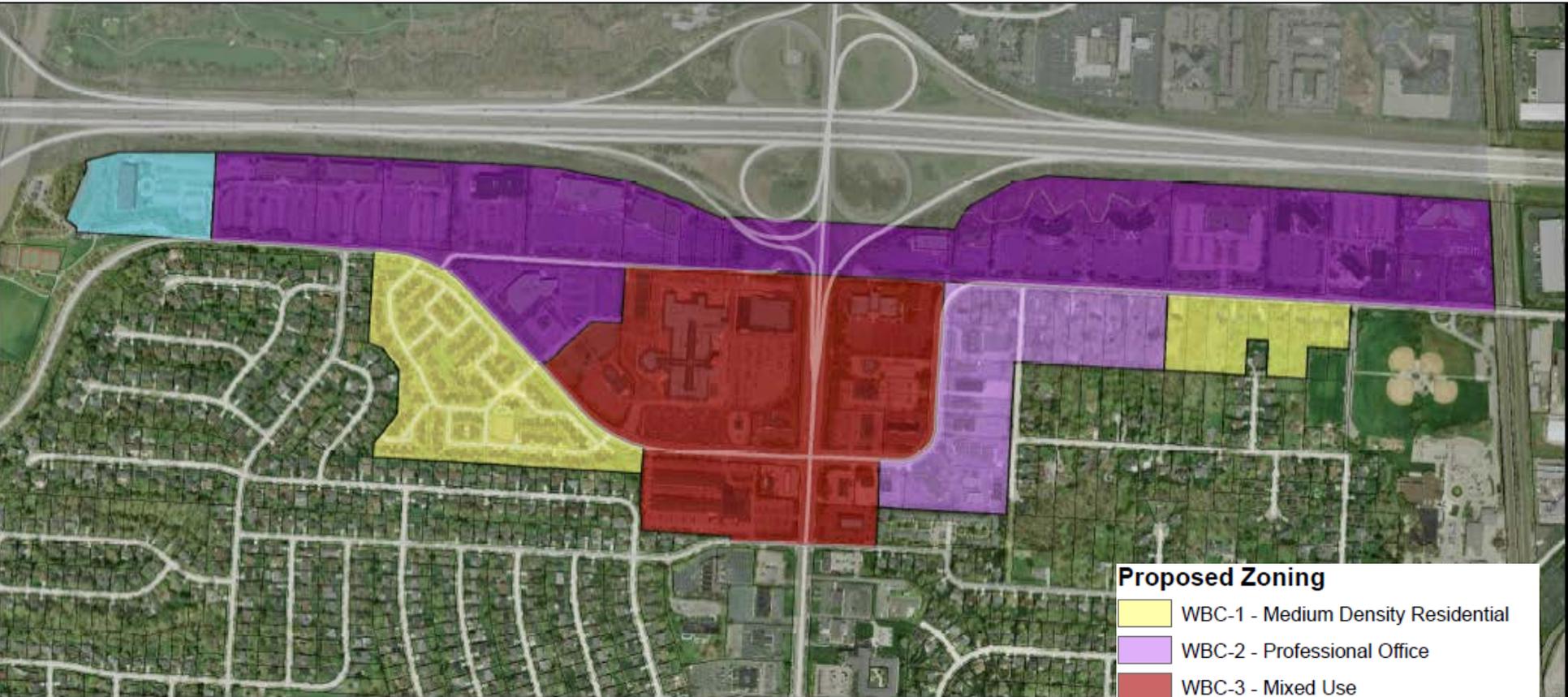
Proposed Zoning Categories:





Wilson Bridge Corridor Zoning

Proposed Zoning Categories:



Proposed Zoning

-  WBC-1 - Medium Density Residential
-  WBC-2 - Professional Office
-  WBC-3 - Mixed Use
-  WBC-4 - Office
-  WBC-5 - Office/High Density Residential



Wilson Bridge Corridor Zoning

Zoning Districts:

- WBC – 1 – Medium Density Residential
- WBC – 2 – Professional Office
- WBC – 3 – Mixed Use
- WBC – 4 – Office
- WBC – 5 – Office/High Density Residential



Wilson Bridge Corridor Zoning

Description of Zoning Districts:

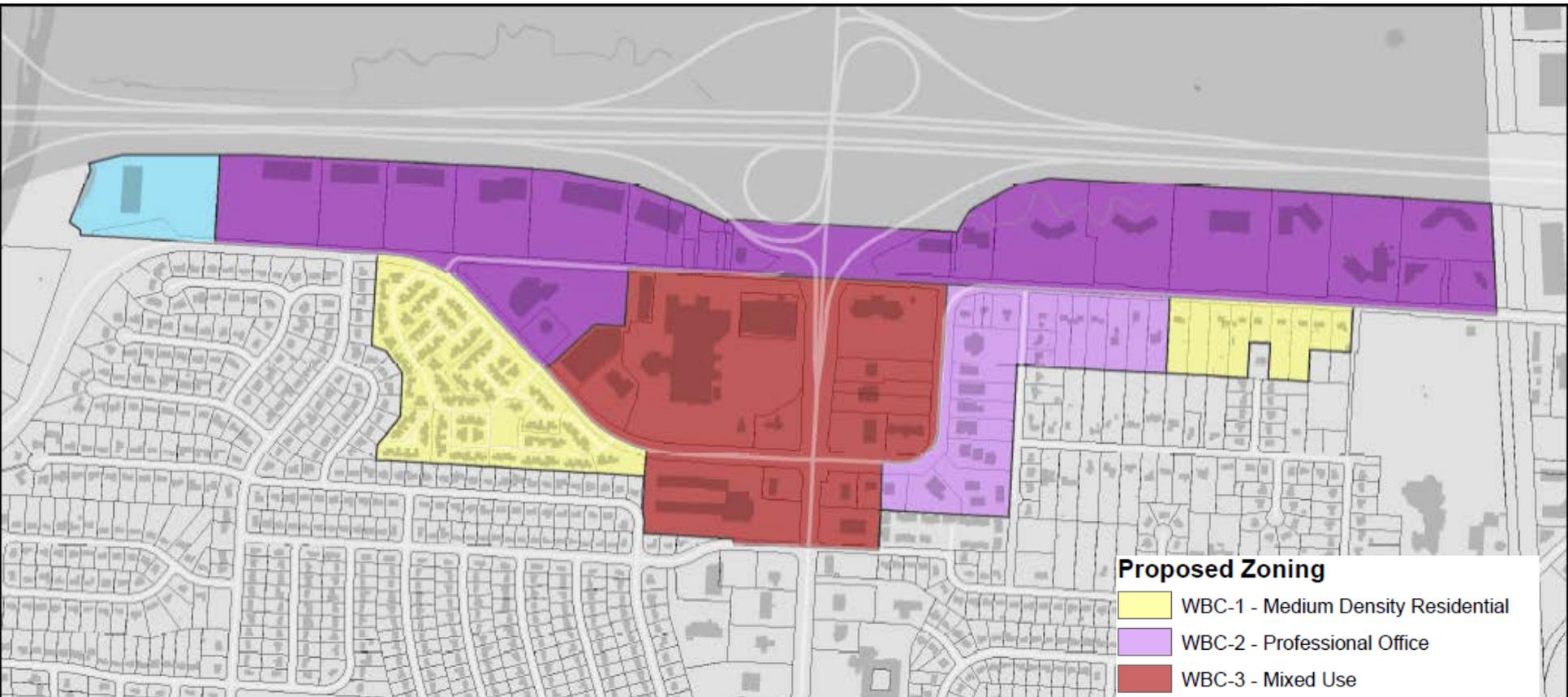
“WBC-1” Medium Density Residential: An area along the WBC that allows for medium density residential housing, offering a variety of housing styles and pricing options that complement the residential and architectural patterns and styles in the City.

- Permitted Uses: Multi-family dwellings, Home Occupations, Public uses, Essential services and Accessory uses.
- Maximum Building Height: Three stories except buildings on the south side of Wilson Bridge Road between Westview Drive and McCord Park should be limited to 2 ½ stories and 30’.
- Density: The maximum number of dwelling units allowed per acre for development within the WBD-1 shall be 14, with a desired number between 10 and 14 dwelling units.



Wilson Bridge Corridor Zoning

Proposed Zoning Categories:



Proposed Zoning

-  WBC-1 - Medium Density Residential
-  WBC-2 - Professional Office
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-  WBC-4 - Office
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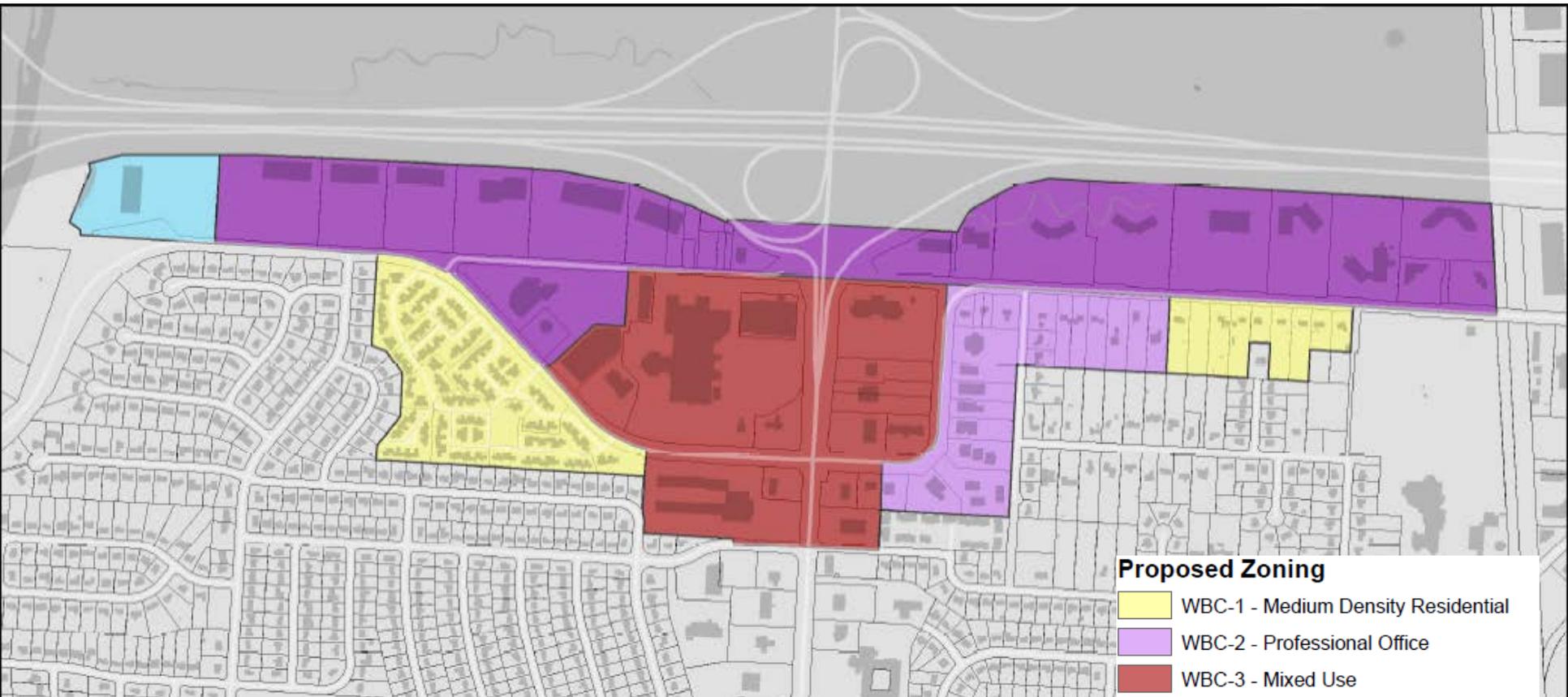
“WBC-2” Professional Office: Areas to promote small to medium sized office uses. A variety of office types and styles are encouraged to promote flexibility and adaptability.

- Permitted Uses: Office uses, Essential services and Accessory uses.
- Conditional Use: Public uses and Semi-public uses.
- Maximum Building Height: 3 stories, except buildings on the south side of Wilson Bridge Road between Westview Drive and McCord Park should be limited to 2 ½ stories and 35’.



Wilson Bridge Corridor Zoning

Proposed Zoning Categories:



Proposed Zoning

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Wilson Bridge Corridor Zoning

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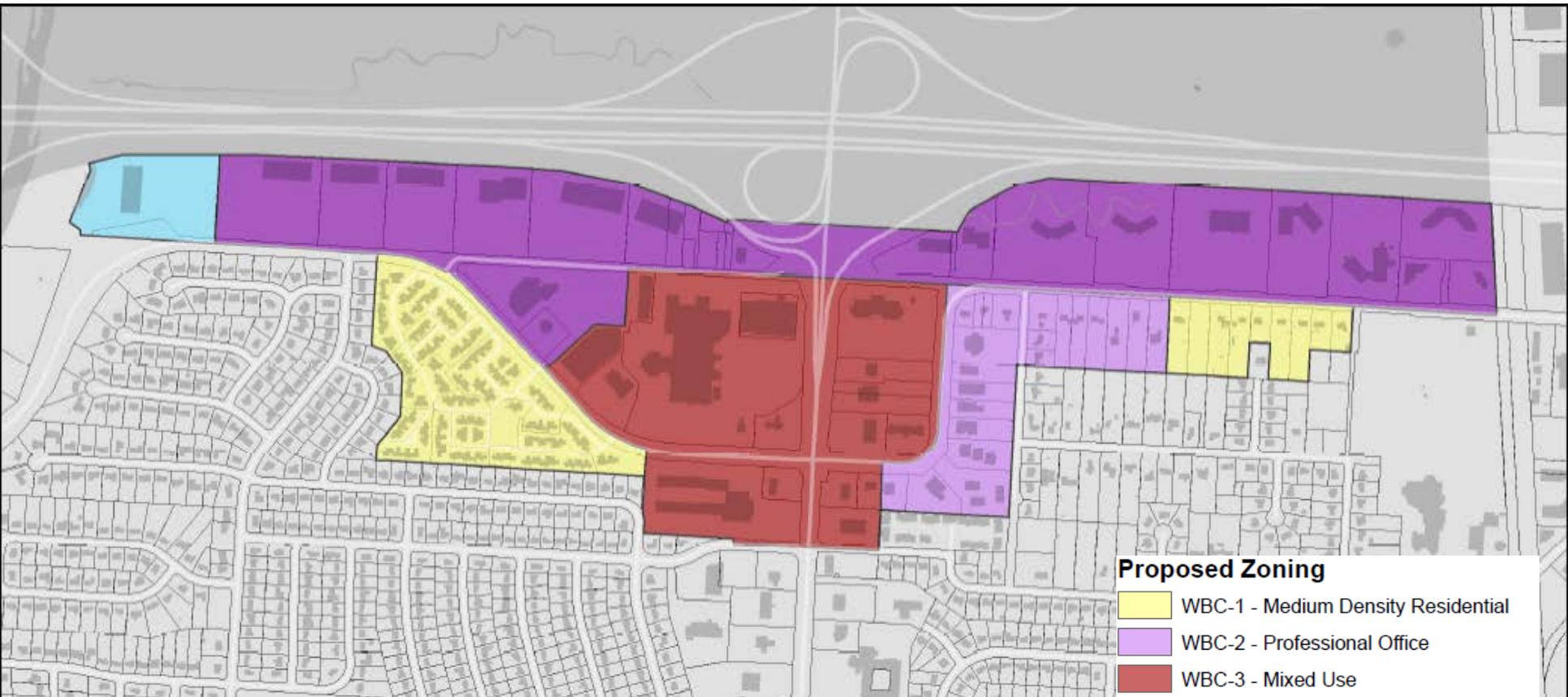
“WBC-3” Mixed Use: An area along the WBC that allows for a mix of retail and office uses both vertically and horizontally. Retail uses are encouraged for the first floor of multi-floor developments. Pedestrian facilities and public spaces are encouraged. Some residential uses may be incorporated in this area.

- Permitted Uses: Uses listed in Chapter 1147 of the Codified Ordinances as permitted uses in the following districts: “C-1” Neighborhood Commercial, “C-2” Community Shopping Center, and “C-3” Institutions and Offices.
- Conditional Uses: Residential Uses, Hotels, Motels, Drive-in Commercial Uses, and Breweries, Distilleries and Wineries.
- Maximum Building Height: 4 stories for properties south of Wilson Bridge Rd; 5 stories for properties north of Wilson Bridge Rd.



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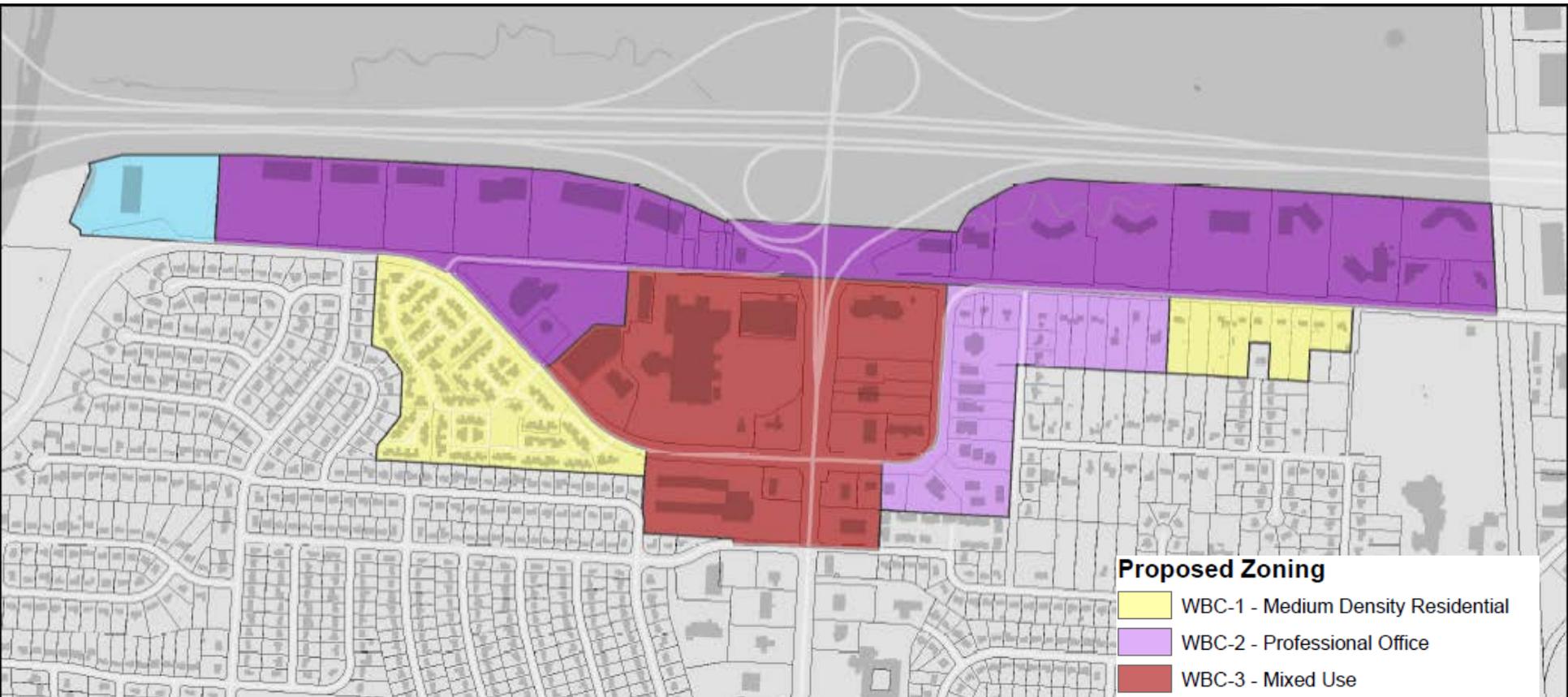
“WBC-4” Office: Areas along the WBC that allows for large-scale office development and redevelopment, with such product offering prominent freeway visibility and serving local, regional and national tenants.

- Permitted Uses: Office uses, Animal Hospitals, Essential services and Accessory uses.
- Conditional Uses: Hotel, Public uses and Semi-public uses.
- Maximum Building Height: 6 stories except buildings abutting the Wilson Bridge Rd. right-of-way should be limited to 3 stories.



Wilson Bridge Corridor Zoning

Proposed Zoning Categories:



Proposed Zoning

-  WBC-1 - Medium Density Residential
-  WBC-2 - Professional Office
-  WBC-3 - Mixed Use
-  WBC-4 - Office
-  WBC-5 - Office/High Density Residential



Wilson Bridge Corridor Zoning

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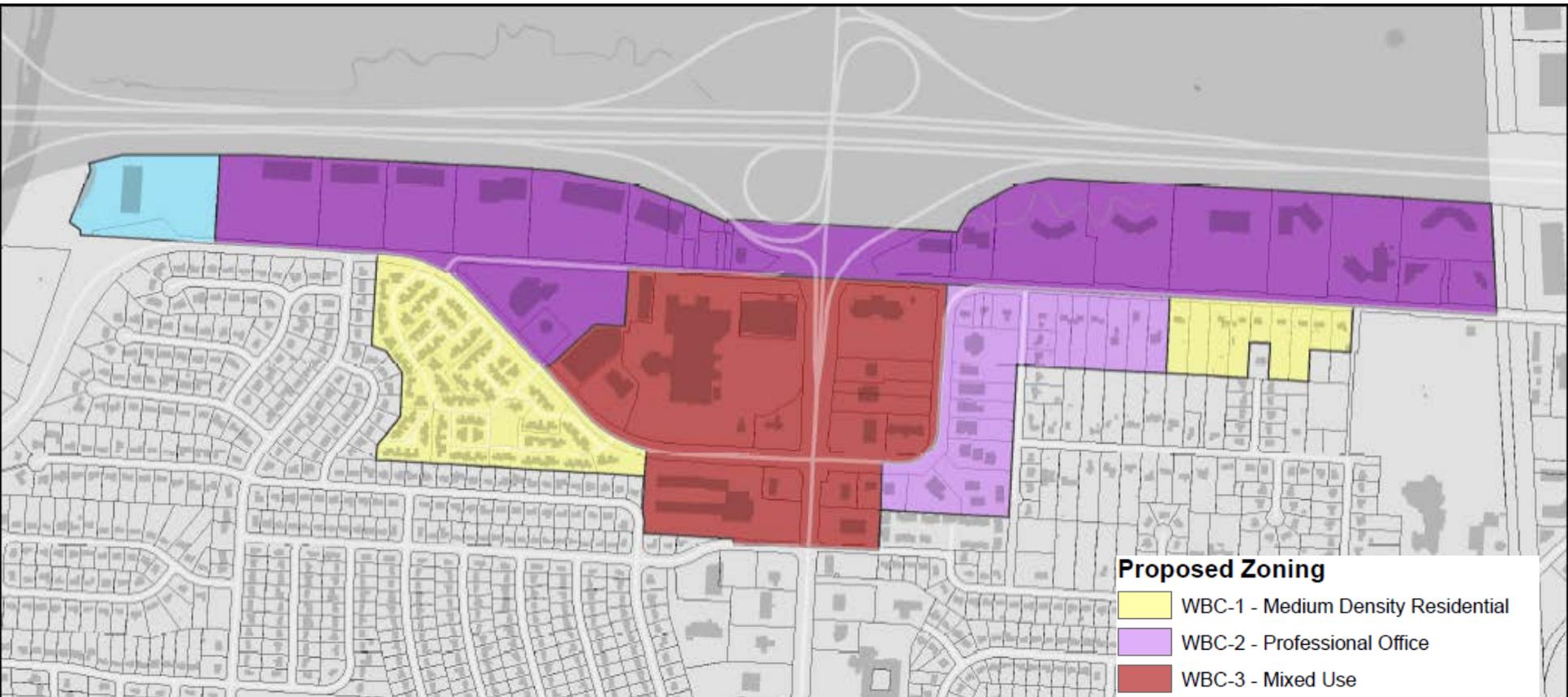
“WBC-5” Office/High Density Residential: An area of high density office development either as a single use or as a use mixed with multi-family housing. The residential use includes a variety of high density multi-family housing such as condominiums, apartments and townhomes.

- Permitted Uses: Permitted uses within the WBC-4 Office District.
- Conditional Uses: Multi-family uses as part of the office building structure. No detached multi-family structures are permitted.
- Maximum Building Height: 6 stories.
- Density: The maximum number of dwelling units allowed per acre for development within the WBC-5 District shall be 20.



Wilson Bridge Corridor Zoning

Proposed Zoning Categories:



Proposed Zoning

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-  WBC-5 - Office/High Density Residential



Wilson Bridge Corridor Zoning

General Provisions:

- Ordinary repair or maintenance and interior alterations not in conflict are exempt.
- Subject to Standards:
 - Construction of a new building
 - Expansion of a buildings gross floor area based on the following:
 - Less than 25% expansion, only the expansion area shall comply
 - Over 25% of the existing building's area, the entire building shall comply
 - Construction or expansion of parking facilities
 - Addition of landscaping, lighting, fencing or other accessory structures
 - Construction and installation of signage
 - Redevelopment and/or change of use proposals in the WBC shall be a minimum of **3-acres** of land and **200'** of frontage along the ROW



Wilson Bridge Corridor Zoning

Development Standards:

- Site Layout:

- Setbacks

- Buildings 50,000 sq. ft. in area or less shall be between 5' and 20' from ROW
 - Buildings 50,000 sq. ft. in area shall be located at least 20' from ROW
 - Buildings abutting "R" districts shall be 50' to the property line
 - Parking and access drives shall be 25'

- Right-of-Way Dedication

- May be required to accommodate public improvements



Wilson Bridge Corridor Zoning

Development Standards:

- Site Layout:

- Screening

- Development abutting “R” districts shall be permanently screened in the setback area. Solid wall or fence and landscaping of 6’ in height.

- Equipment

- Exterior equipment shall be located to the rear of buildings and screened from view



Wilson Bridge Corridor Zoning

Development Standards:

- Site Layout:
 - Tract Coverage
 - 50% of the property
 - Pedestrian Access
 - Sidewalks, recreation paths or combination with a minimum width of 5' for sidewalks
 - Drive-in Commercial Uses
 - Shall be oriented so that the drive through is not between the street frontage and the building



Wilson Bridge Corridor Zoning

Development Standards:

- Buildings:

- Design

- Building oriented towards Wilson Bridge Road, operational front entry
 - Height of at least 18' for flat roofs measured at the parapet or 12' for pitched roofs measured at the eave
 - Roof-mounted equipment screened
 - No extensive blank walls



Wilson Bridge Corridor Zoning

Development Standards:

- Buildings:
 - Materials
 - 40% of materials consisting of brick, stone, cultured stone, wood or fiber cement board siding.
 - Sustainable materials
 - Windows & Doors
 - Ground-floor windows and doors
 - Provide an unobstructed view



Wilson Bridge Corridor Zoning

Development Standards:

- Buildings:

- Landscaping

- Natural Features

- 6" caliper or larger shall be retained, or replaced

- \$450.00 per caliper inch of tree lost and not replaced

- Drought tolerant and non-invasive

- Deciduous trees – minimum of 2"

- Evergreens – minimum of 6' height

- Shrubs – minimum of 24" in height

- Parking lot landscaping

- Seasonal plantings

- Landscape plan shall be maintained for the life of the development



Wilson Bridge Corridor Zoning

Development Standards:

- Buildings:
 - Lighting
 - Illumination shall not exceed 3 foot candles & the light level at the property line shall not exceed 0 foot candles
 - Parking lot lights – max height
 - Pedestrian walkways – decorative low level fixtures – 12” above grade
 - Security lighting – full cut-off type fixtures



Wilson Bridge Corridor Zoning

Development Standards:

- Buildings:

- Signs

- Exterior lighting fixtures for illumination
- Freestanding signs
 - No more than 1 per parcel on parcels less than 2-acres in size, no more than 2 per parcel on parcels over 2-acres
 - Monument signs – max height of 10'
 - Sign area – maximum of 50 sq. ft. per side
 - Can include up to 8 tenants



Wilson Bridge Corridor Zoning

Development Standards:

- Buildings:

- Signs

- Wall-mounted signs

- Each business occupying 25% or more of the building may have one wall sign and one projection sign
 - » 40 sq. ft. in area max and 12 sq. ft. max for projection signs
- Businesses occupying 25% or more of the building on a parcel abutting more than one ROW may have a sign facing each ROW
- Businesses occupying 25% or more of a building abutting I-270 ROW may have a wall sign facing each ROW.
 - » Non-illuminated background up to 200 sq. ft.
 - » Graphic portion of such signs shall not exceed 100 sq. ft.



Wilson Bridge Corridor Zoning

Development Standards:

- Buildings:

- Parking

- Design

- Located to the rear or side of a building

- Non-residential Uses

- Parking shall not exceed 120% of what is required by Code

- Residential Uses

- A minimum of one parking space per dwelling unit

- Bicycle Parking

- Required to adequately serve the proposed use

- Structured Parking

- Permitted and encouraged within the WBC, and meet all standards outlined in the WPC for setbacks, screening and height



Wilson Bridge Corridor Zoning

Development Standards:

- Buildings:
 - Public Spaces
 - Public space amenity for every 5,000 sq. ft. of gross floor area
 - Accessible plaza or courtyard
 - Sitting space – benches
 - Public art
 - Decorative planters
 - Bike racks
 - Etc...



Wilson Bridge Corridor Zoning

Procedures for review:

- Redevelopment/New Development
 - Construction of new buildings, expansion of existing building
 - Alteration or expansion of parking facilities
- Pre-application
 - Request feedback from City staff and MPC
- Preliminary Plan
 - Approved by MPC
- Final Plan
 - Approved by MPC & City Council
- Modifications of Final Plan
 - Approved by MPC & possibly City Council



Wilson Bridge Corridor Zoning

Process:

- Wilson Bridge Corridor Zoning Draft
 - Created by Planning Staff in coordination with the City's Law Director
 - Recommended in the 2011 Wilson Bridge Road Corridor Study
 - Reviewed and approved by the Code Review Committee
 - Reviewed and approved by the Wilson Bridge Road Steering Committee
 - Reviewed and approved by the Municipal Planning Commission



Wilson Bridge Corridor Zoning

Next Steps:

- City Council Briefing
- Introduce Legislation
- Public Hearing
 - 60 Day Referendum Period for proposed Code Amendment
- Rezoning:
 - Start with the south side of East Wilson Bridge Road and move west in sections
 - 60 Day Referendum Period for each rezoning



Planning & Building

Questions