



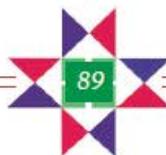
# UMCH Site Proposal

**Informal Meeting**

**June 29<sup>th</sup> 2015**



UMCH Focus Area boundaries (in red)



# Comprehensive Plan Update

Pages 90-91:



## CITY OF WORTHINGTON, OHIO COMPREHENSIVE PLAN UPDATE

& 2005 STRATEGIC PLAN FOR WORTHINGTON

Prepared by:  
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Schooley Caldwell Associates  
Benjamin D. Rickey & Co.

[www.worthington.org](http://www.worthington.org)

*“Redevelopment of this site must create a high-quality, mixed-use development that is walkable, connected, and integrated within the site and with the City. This mix of uses should contain a range of residential types together with commercial office and neighborhood retail uses integrated with contributing and shared green space and amenities – all of which complement each other to create an active, vibrant place.”*

# Comprehensive Plan Update

*Page 91:*

## *Objectives:*

1. Consideration of the redevelopment potential of this site recognizing the critical resource and opportunity this 40+ acre site represents within the City.
2. Provision of a mix of desirable uses and green space that are compatible with surrounding neighborhoods and are currently underserved in Worthington.
3. Addressing the needs of current and future residents by providing new housing types/options that are underrepresented in the market and complement Worthington's current offerings.
4. Recognition of the financial goals of UMCH to enable it to continue its mission within the region.

# Comprehensive Plan Update

*Page 91:*

*Continued:*

5. Expansion of the City of Worthington's tax base by incorporating uses that allow for new or enhanced sources of revenue.
  
6. Preservation and integration of the existing natural features found on the site related to Tucker Creek.
  
7. Creation of a well-planned, vibrant, walkable, and integrated development of the highest quality that meets or exceeds current best practices for mixed use development, including the provision of communal space and complete streets.

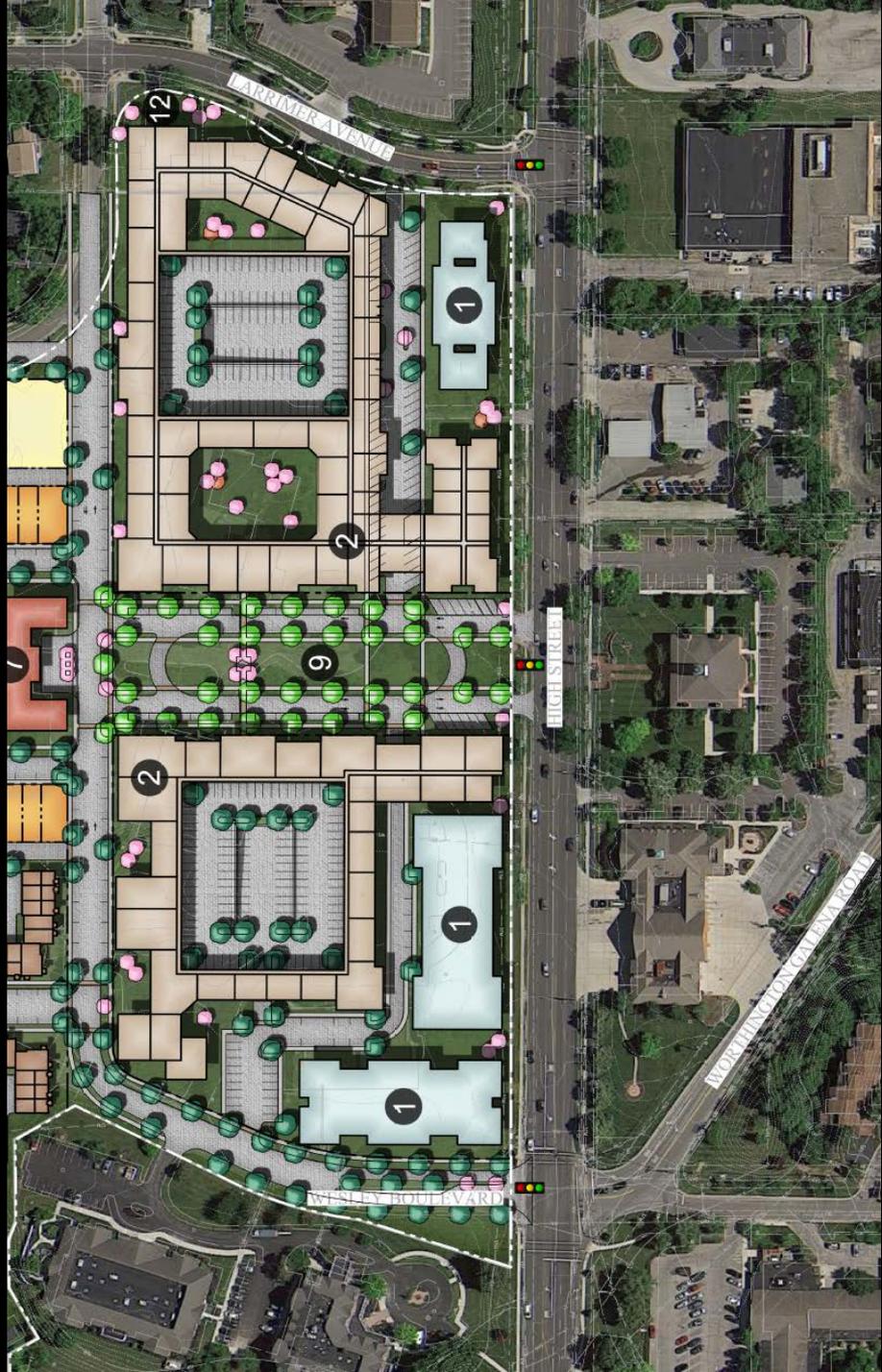


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looney ricks kiss is a full-service architecture, planning,  
and design firm with an unrivaled ambition to  
create memorable, functional, and social spaces

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# Conceptual Site Plan





*Future land use zones for the UMCH focus area.*

ESTATE HOME BUFFER

HIGH STREET CORRIDOR

TRANSITION ZONE

PRESERVED ZONE

- Multi-family Mixed-use
- Office
- Estate
- Cottage
- Village
- Townhouse



Tucker Creek Preserve



**LC** Worthington  
Mixed Use

Development Concepts

April 15, 2015

Proposed Plan Zones





Future land use zones for the UMCH focus area.

## Worthington Comprehensive Plan



## Comparison of Zones



Estate Home Buffer





# Conceptual Site Plan





GEORGIAN STYLE HOME



WILLIAMSBURG, VA



WORTHINGTON, OH



CARY, NC



KENTLANDS, MD

Estate Home Buffer Architecture

LC





Transition Zone

LC



# Conceptual Site Plan



# COTTAGE



SCHOOL ST. - LIBERTYVILLE, IL



WILLIAMSBURG, VA



SCHOOL ST. - LIBERTYVILLE, IL



# Conceptual Site Plan



# VILLAGE

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COMPREHENSIVE PLAN RENDERING



ISSA TOWNHOMES - CELEBRATION, FL



KESWICK COMMONS - NEW ALBANY, OH

# Comprehensive Plan

*Page 73:*

Improving City's Housing Balance. Another significant issue facing the City is the imbalance in the types of housing available within the City limits — assuming one of the goals of Worthington is to be a life-span community. As discussed in Section II, there is a shortage of housing options that allow a resident to live his or her entire life within Worthington. This requires a diversity of housing that targets college graduates ("young professionals") and maturing adults ("empty nesters"). Approximately 79% of the residential housing stock in Worthington is single-family detached homes. Often young professionals are looking for lower entry costs, more of an active community environment, less maintenance, and more amenities than the small starter-home offers. This type of development is lacking within the City. At the other end of the spectrum, the newer housing types that appeal to the empty nester are also fewer in number in Worthington proper. As a result, many Worthington residents stay in the detached, singlefamily home they have been living in for years, or they move out of the community. There is an opportunity to encourage the provision of these housing types within Worthington.

# Comprehensive Plan

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*Continued...*

The successful housing product to meet this need in Worthington is one that takes advantage of the "urban village" living environment the city offers. This is not the typical suburban housing model found throughout the surrounding area (which is usually repetitive, disconnected, of a single house type, and reliant on the automobile to go anywhere). Connectivity and social interaction are critical to urban village living so these residential developments will connect into the pedestrian and street fabric and have a higher density that encourages contact and communication with neighbors.

This product, both in condominium and apartment form, will target those Worthington residents whose children have left their single-family home ("empty nesters") and those former children, newly on their own, who wish to come back to the City ("young professionals"). It will place people in close proximity to Worthington activity centers and encourage them to be involved in the City.

# COLUMBUS, OHIO

## Metropolitan Area Trends, Preferences, and Opportunities: 2010 to 2030 and to 2040

AUTHOR  
Arthur C. Nelson, Ph.D., FAICP

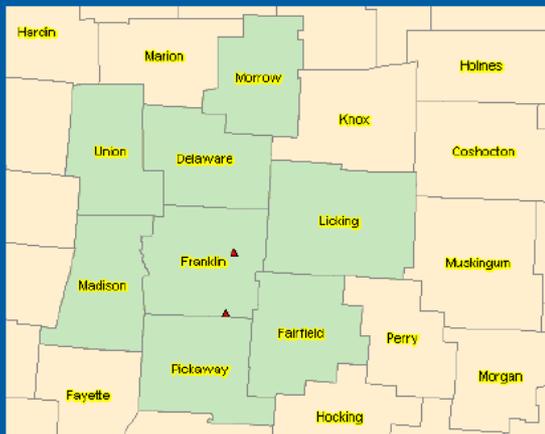
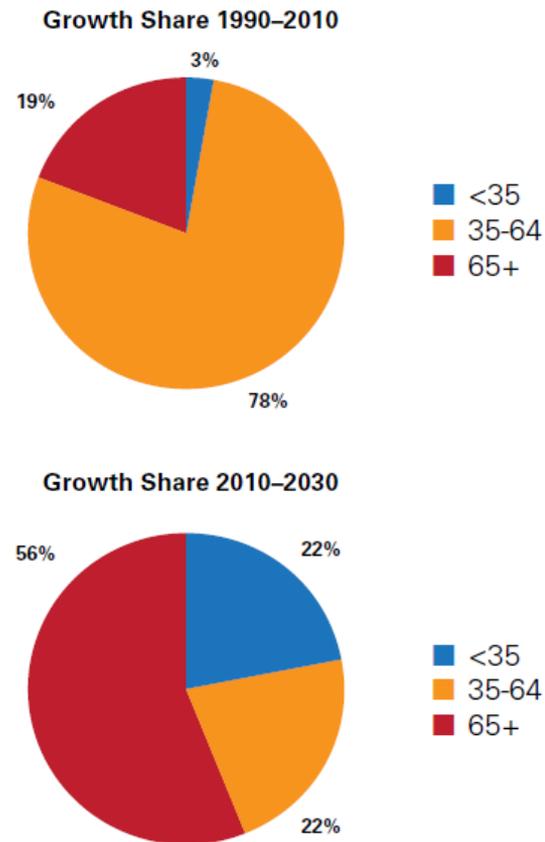


Figure B: Growth share by householder age, 1990–2010 and projected for 2010–2030



Source: Arthur C. Nelson.



High Street Corridor

LC



# Conceptual Site Plan



# HIGH STREET CORRIDOR



COMPREHENSIVE PLAN RENDERING

## RETAIL



MARKET ST. RETAIL - NEW ALBANY, OH



CHILTERN ST. - LONDON, ENGLAND



PAUL W. KELLEY



High Street Character Sketches

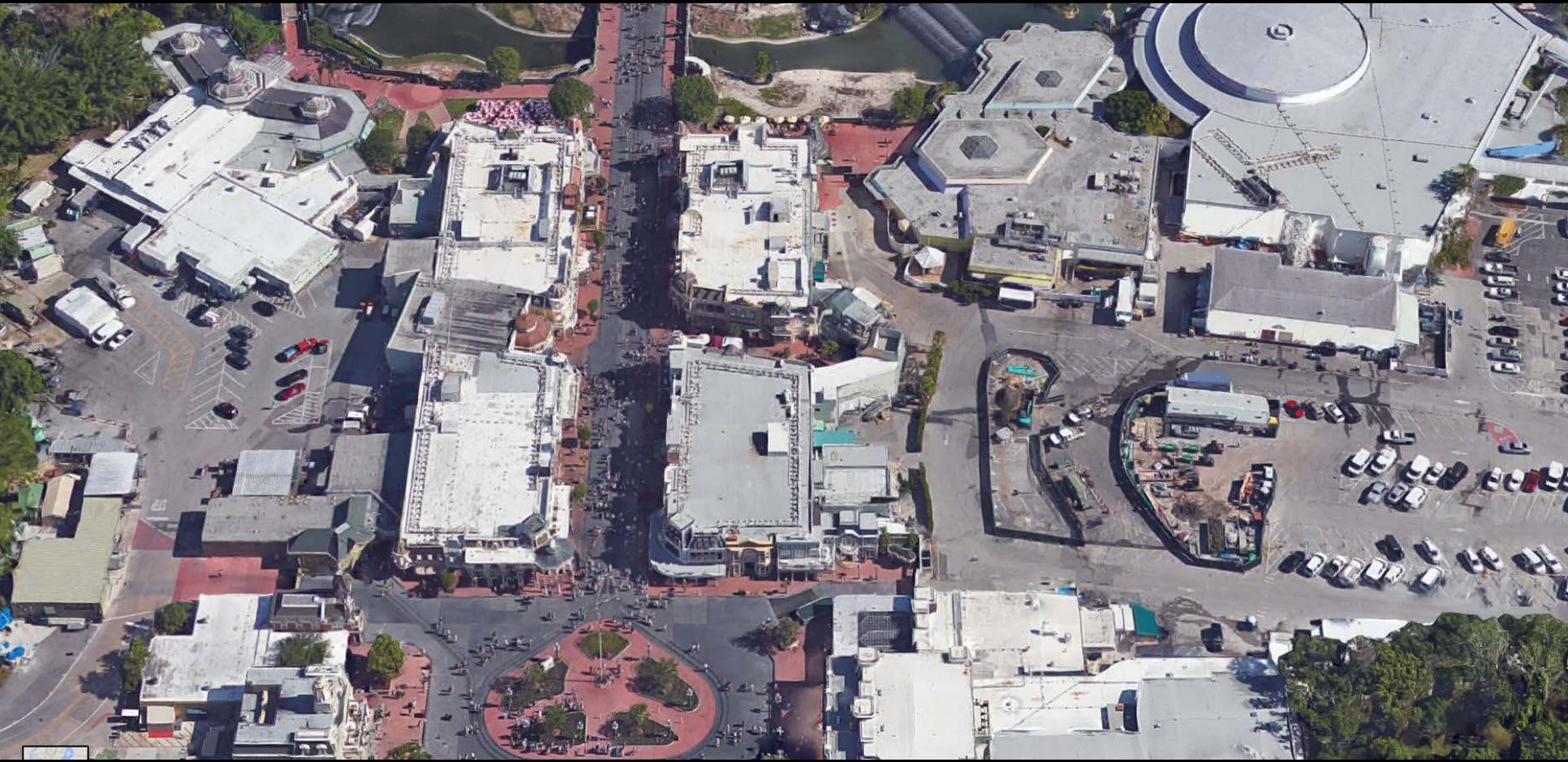
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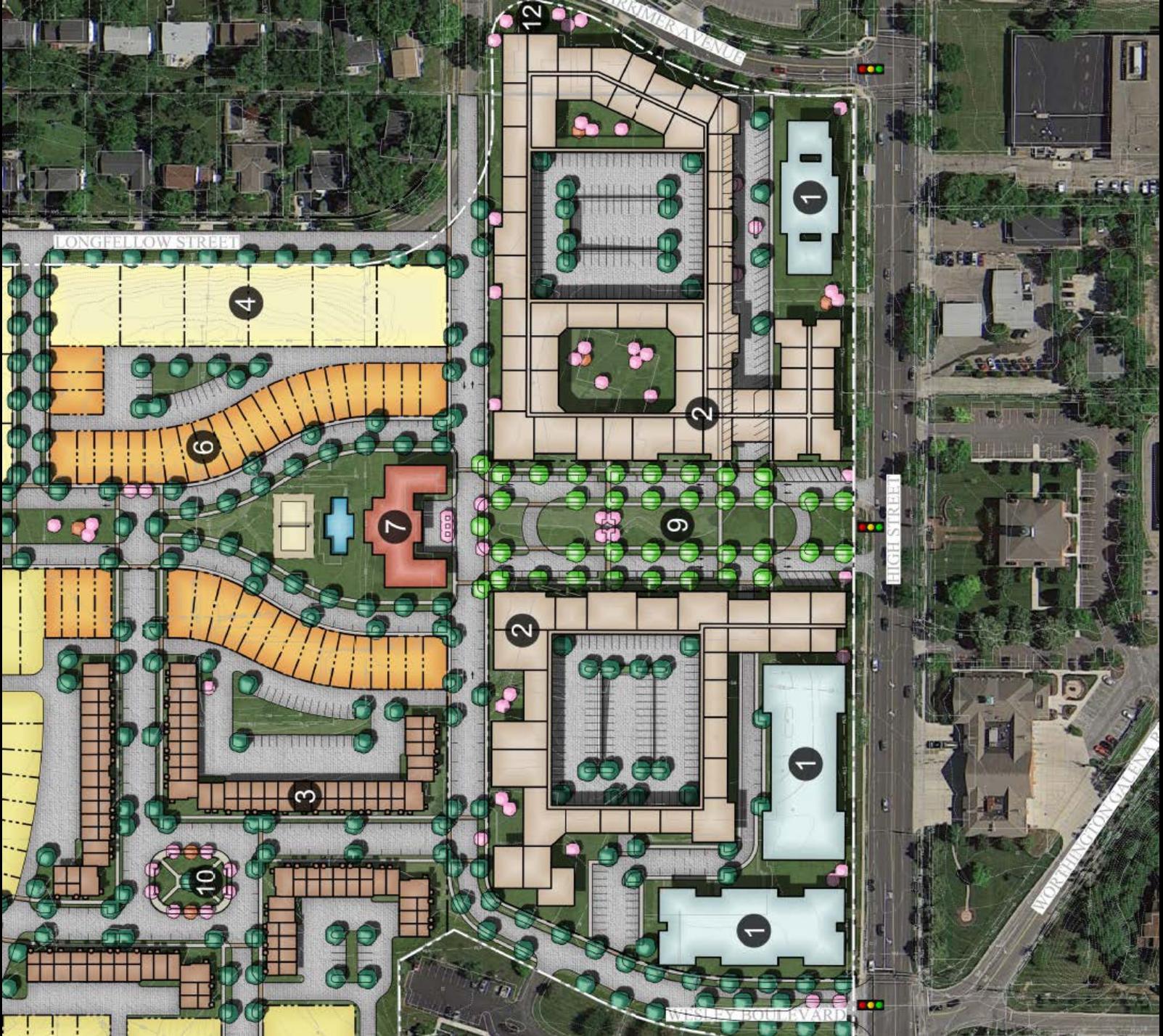


High Street Character Sketches

LC

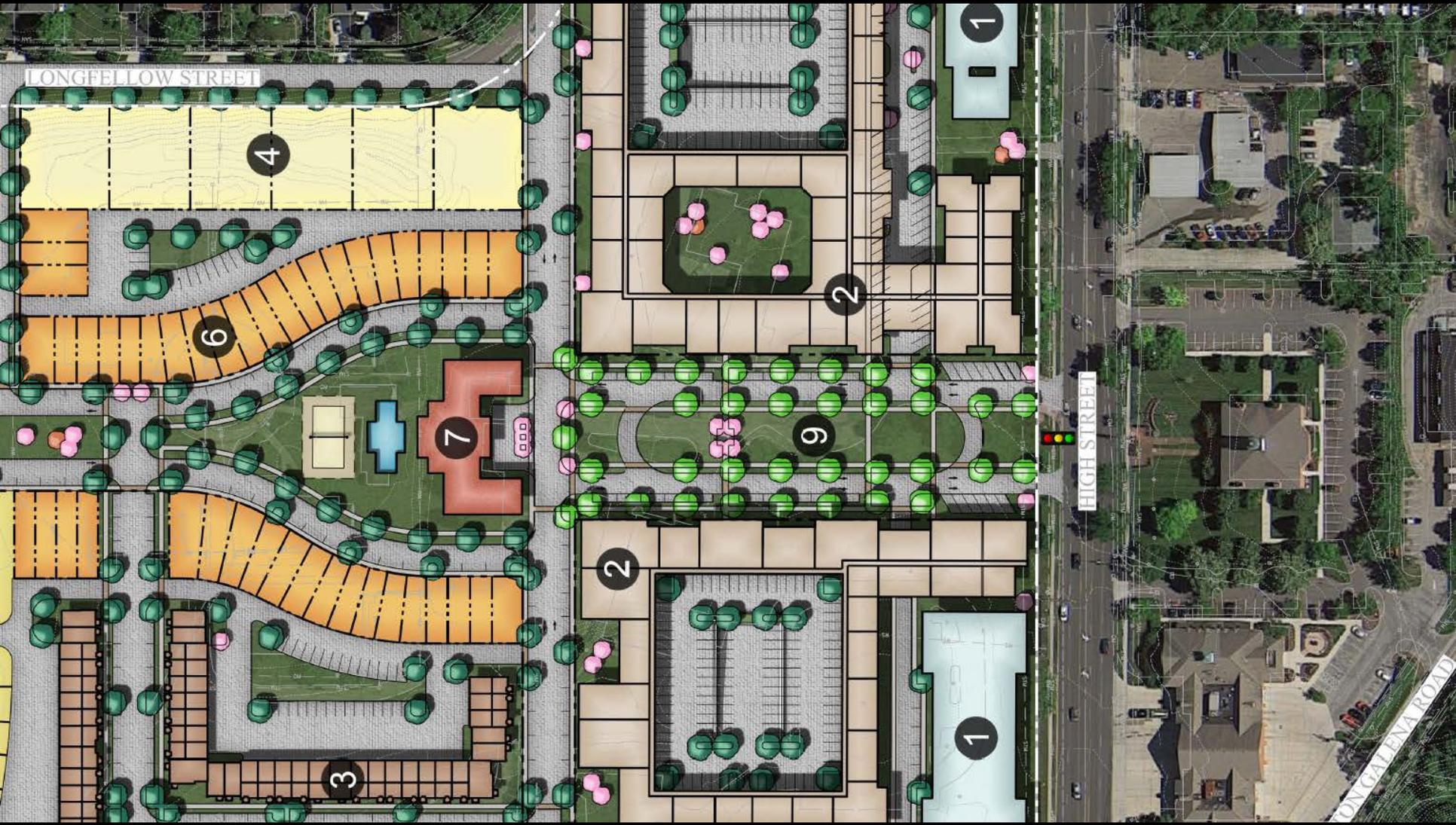














PAUL W. KELLEY



Open Space and Parks

LC



MACKENZIE GARDENS - FINSBURY PARK, LONDON, ENGLAND



LONGWOOD GARDENS - KENNET SQ., PA

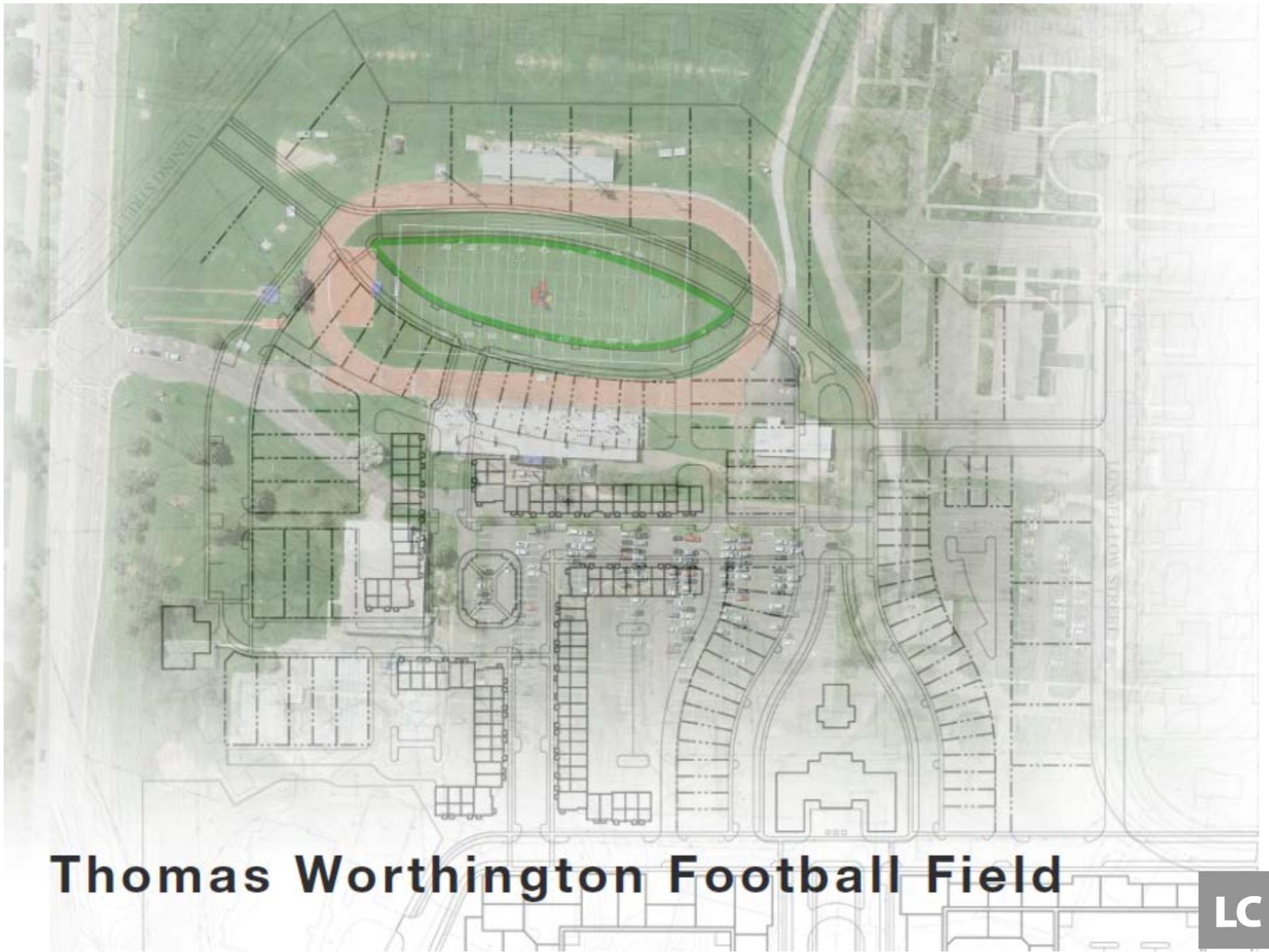


GOVERNOR'S MANSION - WILLIAMSBURG, VA

Open Space and Parks Character

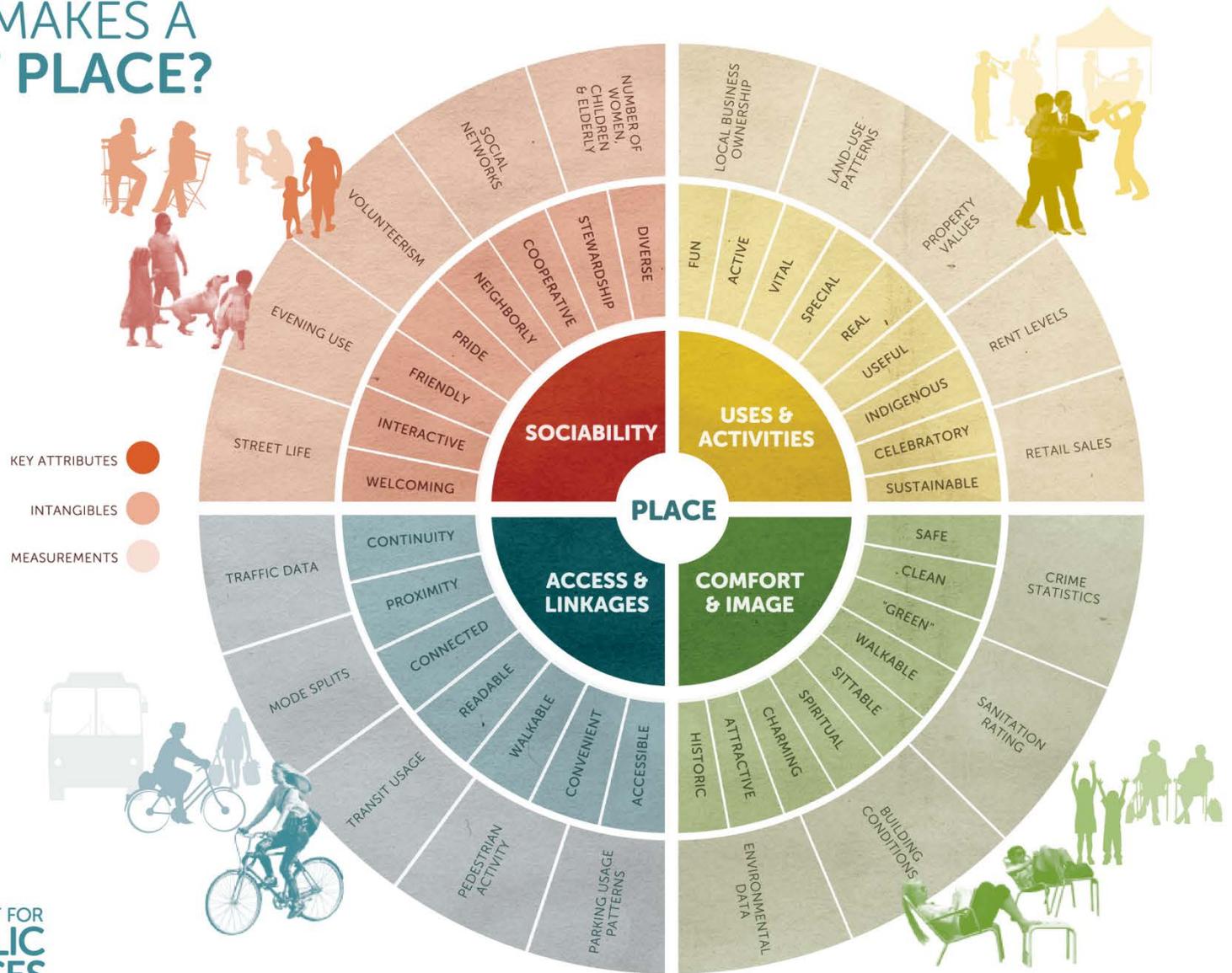


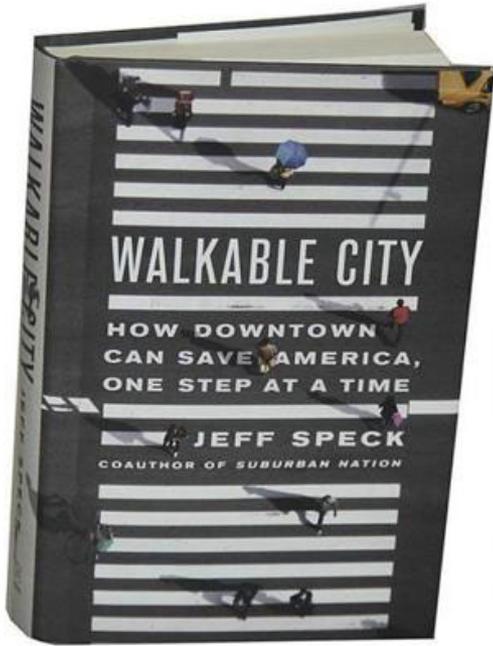


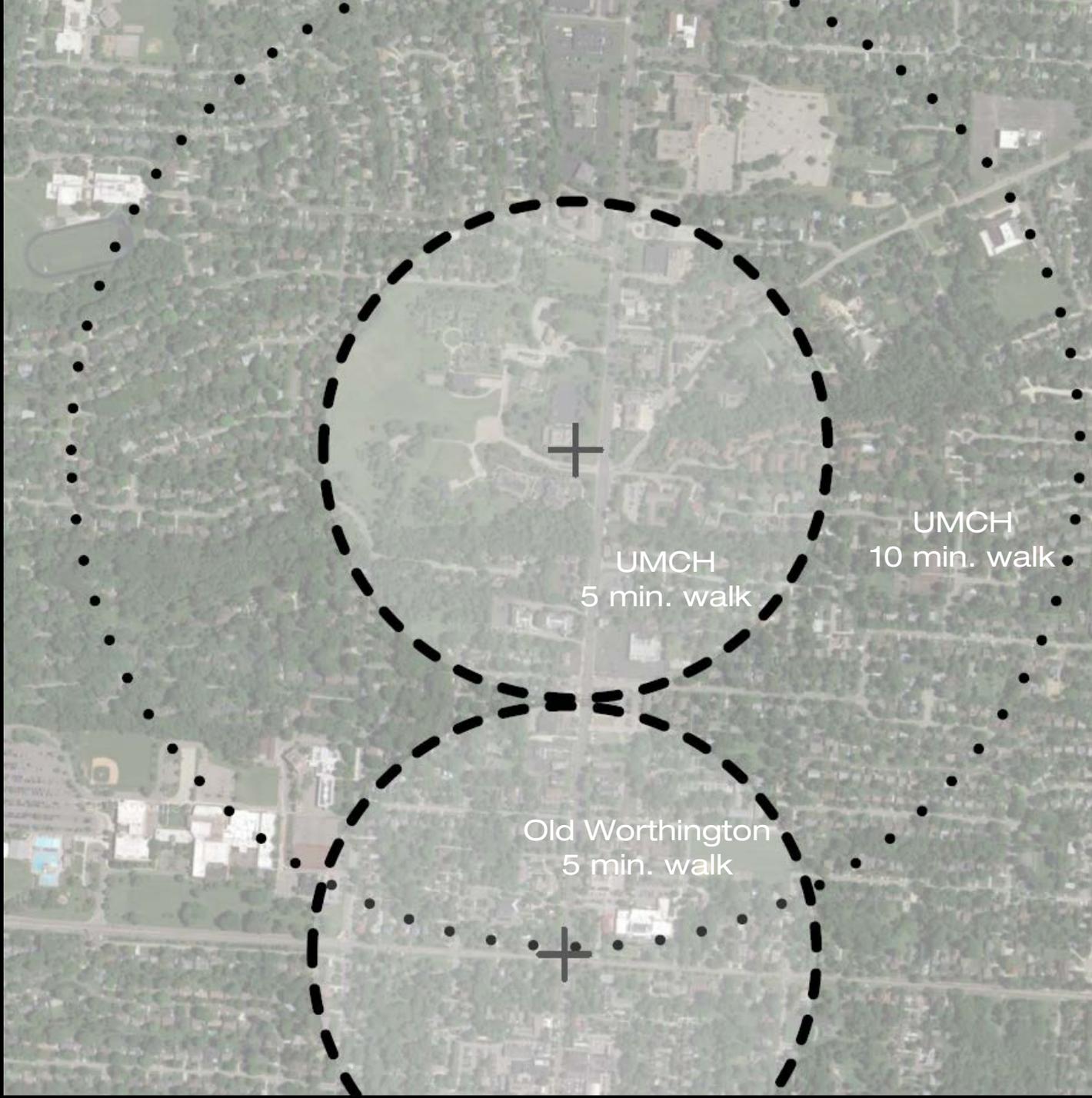


# Thomas Worthington Football Field

# WHAT MAKES A GREAT PLACE?







UMCH  
5 min. walk

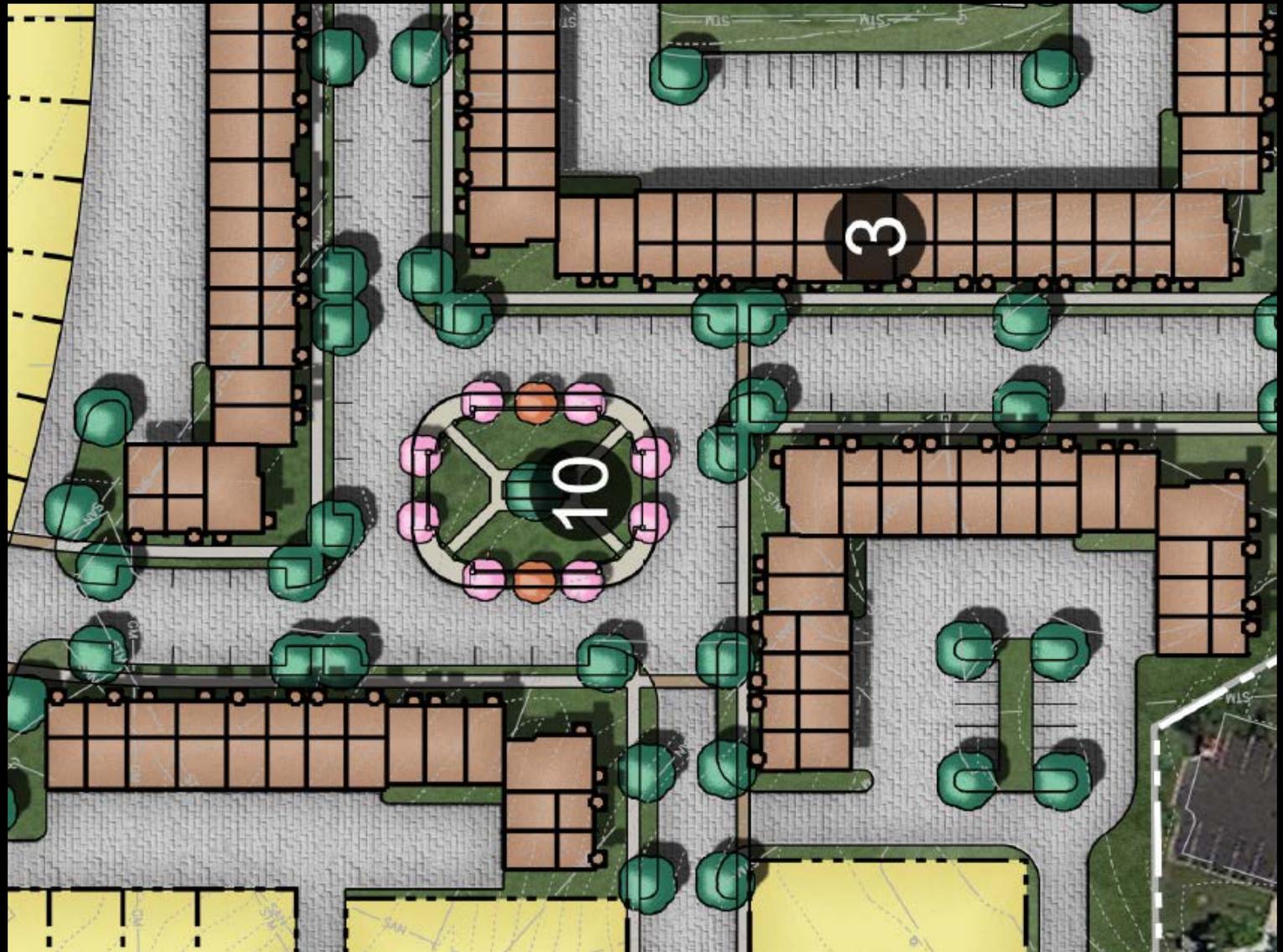
UMCH  
10 min. walk

Old Worthington  
5 min. walk

# LEGEND

- 1 - Medical Office Buildings
- 2 - Multi Family/Retail
- 3 - Townhomes
- 4 - Estate Lots
- 5 - Manor Lots
- 6 - Cottage Lots
- 7 - Primary Amenity Building w/ Pool
- 8 - Secondary Amenity Building
- 9 - Formal Village Green
- 10 - Turbine Park
- 11 - Community Park
- 12 - Larrimer Park
- 13 - Open Space w/ Trail System
- 14 - Landscape Buffer





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