



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION**

-AGENDA-

Thursday, July 25, 2019 at 7:00 P.M.

Louis J. R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
*6550 North High Street
Worthington, Ohio 43085*

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the July 11, 2019 meeting
4. Affirmation/swearing in of witnesses

B. Architecture Review Board – Unfinished

1. Additions and Renovation – **860 Oxford St.** (Christy & TJ Bowen) **AR 67-19**
2. Addition & Window Replacement – **784 Morning St.** (Famiglia Homes/Greene)
AR 69-19

C. Architecture Review Board – New

1. Rear Deck – **6699 N. High St.** (Schoedinger Funeral & Cremation Services) **AR 72-19**
2. Shed – **184 E. Granville Rd.** (Mark Spence) **AR 74-19**
3. Rear Window Modification – **86 W. North St.** (Anna Patitucci & Luca Filippi) **AR 75-19**
(Amendment to AR 116-18)

4. Front Porch Remodel – **88 W. Granville Rd.** (Bill Porteus) **AR 76-19**
5. Exterior Painting – **50 W. New England Ave.** (Worthington Historical Society) **AR 77-19**
6. Solar Panels – **130 E. South St.** (Icon Solar/Isaacson) **AR 78-19**
7. Wall Sign – **2285 W. Dublin-Granville Rd., Suite #116** (Signarama/The Hills Jewelry) **AR 80-19**
8. Modification to Modular Classrooms – **885 Evening St.** (Tim Gehring/Evening Street Elementary) **AR 81-19** (Amendment to AR 24-19)
9. Signage – **905 High St.** (Jersey Mike’s Subs/Worthington Center LLC) **AR 79-19**

D. Municipal Planning Commission

1. Conditional Use Permit

- a. Ancillary On-Premise Dining/Waiting Area (Nonalcoholic) – **905 High St.** (Jersey Mike’s Subs) **AR 70-19**

E. Other

F. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: R. Lee Brown, Director
Lynda Bitar, Planning Coordinator

DATE: July 19, 2019

SUBJECT: Staff Memo for the Meeting of July 25, 2019

B. Architecture Review Board – Unfinished

1. Additions and Renovation – **860 Oxford St.** (Christy & TJ Bowen) **AR 67-19**

Findings of fact & Conclusions

Background & Request:

This house was constructed in 1950 and described as “Vernacular” style as part of the Worthington Historic District. The 2716 square foot structure is currently 1 ½ stories and finished with stone and lap siding on the exterior. The owners would like to add onto and remodel the house to make it more livable for their family.

Updated items are in bold.

The Board tabled this item on June 27, 2019 to give the applicant time to address the comments made at the meeting.

Project Details:

1. A front porch is proposed that would extend out 8’ from the house and be 28’ in width. To accomplish that addition, the roof over the existing bay window would be removed and a new shed roof would extend above the area and be supported by columns. The front elevation shows reconfiguration of the front gable on the north side of the house to include the front door in its boundaries. The door would then have a ~~new open air~~ **gable with vinyl shingles** above nested in the larger gable **which would also have vinyl shingles**.
2. A second story is proposed by extending the northern part of the 10:12 pitched gable up to a point ~~8’—10’ higher~~ **higher than the existing roof, but not as high as was previously proposed**; and the southern part of the roof would be ~~constructed to look like a large a shed dormer~~ **that is smaller and more proportional than the previous version**. The rear

would then go down at a ~~5.5:12~~ **2.5:12** pitch to the existing rear wall of the house. **The rear dormer would have a rubber roof due to the shallow slope.**

3. A 15' wide x 24.6' deep area at the southeast corner of the house would be filled in to create additional kitchen space, and bedrooms would be added on the second floor above.
4. Materials would be as follows:
 - All new double 5" vinyl lap siding in deep granite with a woodgrain texture.
 - Vinyl "Shake" style shingles are proposed for the shed dormer and the front gable in the same color.
 - New vinyl windows in white are proposed for the second floor addition and to be added on the sides. The exterior molding style shown is to suggest the appearance of wood windows.
 - The proposed front door would be black with three lights over two raised panels.
 - Twelve-inch square fiberglass columns are proposed for the front porch.
 - The existing stone and windows on the front of the house would remain.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.

Staff Analysis:

Although the proposed modifications would change this structure, the changes to the roof line and dormer have a more traditional feel than the previous submittal.

Recommendation:

Staff is recommending *approval* of this application, as the request seems consistent with the comments and recommendations previously made by the Board.

Motion:

THAT THE REQUEST BY CHRISTY AND TJ BOWEN FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT ADDITIONS AND RENOVATE THE HOUSE AT 860 OXFORD ST. AS PER CASE NO. AR 67-19, DRAWINGS NO. AR 67-19, DATED JULY 11, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Addition & Window Replacement – **784 Morning St.** (Famiglia Homes/Greene) **AR 69-19**

Findings of Fact & Conclusions

Background & Request:

This structure was originally constructed in 1923 and is categorized as a Farmhouse in the Worthington Historic District. The structure appears to be more of a salt box style, with what would typically be the side of the structure facing the front of the 50' wide lot. In the late 1970's,

the house was renovated, including the addition of a second floor deck on the south side of the house.

The application before you is for approval to construct an addition for a master bath and kitchen in place of the deck on the south side, and to replace all windows in the house.

Updated items are in bold.

The Board tabled this item on June 27, 2019 to give the applicant time to address the comments made at the meeting.

Project Details:

1. The proposed two-story addition would be 18' wide and 7' deep. The site plan indicates the addition will be in line with the rear attached garage, ~~but the renderings show the addition extending further south than the garage.~~ **The site plan and the renderings have been modified to accurately reflect what was discussed at the meeting.** ~~Clarification is needed regarding placement. Either way, the addition would extend further south than the front of the house.~~ **The second story addition with a shed roof has been bumped back to be in line with the existing shed dormer towards the front of the house. This reflects the discussion at the meeting.**
2. The roofline appears to match the slope of the dormer on the front of the house ~~but would be higher and extend out further.~~ Asphalt shingles are proposed to match the existing roof. ~~White gutters and downspouts are proposed for the new addition, although it is unclear where the downspouts would be placed as they are not shown on the drawing.~~ **The gutters will be white 6" aluminum gutters to match with what is currently on the house. The soffits and fascia on the addition will be painted arctic white to match the rest of the house.**
3. Proposed for the addition is 7" Hardie lap siding in Night Gray, with Arctic White trim to match the siding that was approved for the house in 2015. Black vinyl board and batten shutters are proposed for the new windows in the addition to match those that were installed on the front and south side of the house in 2015.
4. All of the windows in the house are proposed to be replaced with Pella 250 Series double-hung white vinyl windows with muntins, and white metal trim on the outside. ~~The applicant has not indicated the material and quality of the existing windows.~~ **The existing windows are one over one vinyl windows with no muntins.**
5. **The Board pointed out at the last meeting that there appeared to a window added to the front elevation to the right of the front door. The applicants discovered that there was an existing window in this location at one point in time and would like to reinstall a window in this location that would match with all the other windows being replaced in the house.**

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from

the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.

Retention and repair of existing historic windows is always preferable to replacement. Because they usually comprise so much of a building's exterior surface, windows are a major part of its character. Keeping them is one of the most important ways to protect that character. Even non-original windows may be of sufficient age and design quality to warrant their retention. If historic windows are too deteriorated to repair cost effectively and replacement is justified, the preferred option is an in-kind replacement in the same material and design. This usually means real wood windows with true through-the glass muntins (if appropriate) in dimensions and profiles that duplicate the originals. Window suppliers have become very good at doing such work at reasonable prices, but this still may take some persistence and hunting around. New windows made of substitute materials such as aluminum, vinyl, or clad wood can be an acceptable second choice if they provide a reasonably good match for the windows being replaced. Number of panes, real muntins, and correct profiles still are important.

Be sure that window and door designs are appropriate for the style or time period of the house. Design and materials should be traditional, and compatible with the existing structure.

Staff Analysis:

- **The proposed addition seems to address the previous staff and Board comments made at the meeting on June 27, 2019.**
- ~~If the windows are original to the structure retention should be considered. If replacement is necessary, the exterior trim should be a cementitious material to match the siding, the profile/look of the all vinyl windows should be analyzed, and if muntins are proposed they should look like true divided light and not have "Grilles Between the Glass".~~ **The new windows will match the windows discussed at the previous meeting. The windows will have exterior muntins and will be six over six in style.**
- ~~Placement of downspouts should be identified as they may accentuate the presence of the addition.~~
- **The additional window to the right of the front door seems to provide balance and should be a positive way to provide additional natural light to the home.**

Recommendation:

Staff is recommending *approval* of this application, as the request seems consistent with the comments and recommendations previously made by the Board.

Motion:

THAT THE REQUEST BY FAMIGLIA HOMES LLC ON BEHALF OF ROBERT AND MERYDITH GREEN FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT AN ADDITION AND REPLACE WINDOWS AT 784 MORNING ST., AS PER CASE NO. AR 69-19, DRAWINGS NO. AR 69-19, DATED JUNE 14, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

C. Architecture Review Board – New

1. Rear Deck – 6699 N. High St. (Schoedinger Funeral & Cremation Services) AR 72-19

Findings of Fact & Conclusions

Background & Request:

The current Schoedinger mortuary and parking was approved in 1993 and opened to the public in 1994. This is a request to add an exterior deck that would connect to a remodeled interior space for use by families experiencing a loss.

Project Details:

1. The proposed deck area is roughly 44' x 37' and located on the west side of the building at the south end. The deck is designed with a wood frame and proposed with Azek for the flooring, fascia, skirting and 3'6" railing. The color for the Azek is proposed as Coastline which is a light gray with the look of faded cedar. Access to the deck would be by way of a ramp on the west side and through two new French doors from the existing building. A "See-through" fireplace is proposed on the wall between the new doors.
2. Two 20' wide mechanical awnings are proposed to attach to the building which would together cover almost the entire width of the building. The awnings could extend out 11'8" from the wall when needed. The hardware and awning colors have not been identified.
3. An aluminum and glass 6' x 4'6" overhead door is proposed on the building at the north end of the deck. It would be adjacent to an interior bar. The color of the framing has not been identified.
4. Light fixtures are proposed on posts around the deck and mounted to the building next to the doors. Each fixture could accommodate four 60 – 120 watt candle style bulbs.
5. Sofas, chairs end tables and bar stools with tables are proposed. The illustration indicates the furniture is dark wicker, or looks like darker wicker, with neutral pillows and red and blue ceramic tables.
6. A new window and replacement of the existing window are proposed on the south side of the building. The new window will have a matching soldier course of brick to the existing. Shutters are with the existing window but are not mentioned for the new window. A new pilaster is proposed at the southwest corner.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Materials: Traditional materials such as wood and brick are desirable in newer areas, but other materials are also acceptable. These include various metals and plastics; poured concrete and concrete block should be confined primarily to foundation walls. Use traditional window sizes, proportions and spacing for first and upper floor windows. Doing so will help link Old Worthington and newer areas through consistent design elements. Use simple door and trim designs compatible with both the building and with adjacent and nearby development. Decks and patios should be limited to the rear of buildings. Compatibility of design and materials and exterior detail and relationships are standards of review in the Architectural District ordinance.

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan identifies the High Street Corridor (Extents Area) as a place where consistent site design should be encouraged such as landscape screening and interior planting of surface parking areas, and the location of large parking areas should be to the rear of the site. The plan recommends promoting a high quality physical environment, encouraging the City to continue to emphasize strong physical and aesthetic design, and high-quality development.

Recommendation:

Staff is recommending approval of this application. The proposed design and materials are complementary to the existing building.

Motion:

THAT THE REQUEST BY SCHOEDINGER FUNERAL AND CREMATION SERVICES FOR A CERTIFICATE OF APPROPRIATENESS TO ADD A DECK TO THE REAR OF 6699 N. HIGH ST., AS PER CASE NO. AR 72-19, DRAWINGS NO. AR 72-19, DATED JUNE 26, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Shed – 184 E. Granville Rd. (Mark Spence) AR 74-19

Findings of Fact & Conclusions

Background & Request:

This house was originally built in 1930 and is two-stories with a gabled roof and a one-story addition to the rear. In June of 2015, approval was granted to construct a 9' x 9' addition with a deck at the northeast corner of the house, and amendments were approved later that year and in March of 2016. In September of 2018 the Board approved a planter that was built without approval on the eastern edge of the deck, and string lighting for the deck. The property recently transferred, and the new owner would now like to construct a new shed behind the existing 2-car garage.

Project Details:

1. A new 10' x 14' shed is proposed to be located directly behind the existing 2-car garage and will be 8' from the side property line.
2. The existing lot is 50' wide and 259' deep in size. The lot is extremely deep.
3. The proposed shed is a wood-framed structure and a gabled roof with a copula on top. Smart side vertical siding will be used. There will be a double door and a single door for entry and two small windows that will have shutters and window boxes.
4. The shed will be painted similar to the color of the house. The body of the shed will be painted gray (Pencil Sketch N500-4), trim will be painted white (Navajo White 22), window boxes and transoms will be painted white (Bit of Sugar PR-W14) and the accent color on the doors will be a lighter shade of gray (Galactic Tint N510-2). The roofing materials will match the material on the existing house. Please see application materials.
5. There is an existing detached 2car garage on the property.

Land Use Plans:Worthington Design Guidelines and Architectural District Ordinance

New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Staff Analysis:

1. The existing 2-car garage is 432 sq. ft. in size and does not provide enough storage. The shed would not be visible from the street and would permit the property owner the ability to store equipment out of site from the neighbors. The shed would provide much needed storage for the new homeowners.
2. The proposed shed will be 8' from the side property line.
 - a. Code requires a minimum of 5' from the side property line.

Recommendation:

Staff is recommending *approval* of this application, as the proposed shed is compatible with the Design Guidelines and is not visible from the public right-of-way

Motion:

THAT THE REQUEST BY MARK SPENCE FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A SHED AT 184 E. GRANVILLE RD. AS PER CASE NO. AR 74-19, DRAWINGS NO. AR 74-19, DATED JULY 1, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Rear Window Modification – **86 W. North St.** (Anna Patitucci & Luca Filippi) **AR 75-19** (Amendment to AR 116-18)

Findings of Fact & Conclusions**Background & Request:**

This Cape Cod was built in 1939 and is a contributing building in the Worthington Historic District. The eastern portion of the structure has a gable roof that is lower than rest of the building. The house has wood lap siding which is painted a light green color, and asphalt shingle roofing. A one-story rear addition was added in the late 1980's and replaced with a larger one-story addition in the late 1990's. Also in the late 1980's, a rear shed dormer was added on the west side of the roof. The dormer was expanded in the late 1990's.

At the January 10, 2019 meeting, the applicants were approved to construct additional dormers to make the eastern part of the upstairs usable (~250 sf), and a portico for the front entrance. This request is to modify a proposed rear window.

Project Details:

1. The originally approved window was to be double hung style to match others in the house. To accommodate interior design, the owners would like to have a smaller window at the

east end of the second floor addition.

2. The proposed window would be awning style with 6 horizontally oriented lights. The color, material and trim are proposed to match the other windows.
3. A drawing of the front elevation showing changes to the front dormer and porch roof as approved by the ARB is included in the packet.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Cape Cod style houses are characterized by having three-bay facades, rectangular form, gabled roofline with roof dormers, brick or wood siding, a central entrance, multiple-paned windows with shutters and classical detailing around the entrance and in the cornice.

Be sure that window and door designs are appropriate for the style or time period of the house. Design and materials should be traditional, and compatible with the existing structure.

Recommendation:

Staff is recommending *conditional approval* of this application based on the grid pattern of the window giving the look of vertically oriented lights rather than the proposed horizontal lights.

Motion:

THAT THE REQUEST BY ANNA PATITUCCI & LUCA FILIPPI FOR A CERTIFICATE OF APPROPRIATENESS TO MODIFY A REAR WINDOW AT 86 W. NORTH ST. AS PER CASE NUMBER AR 75-19, DRAWINGS NUMBER AR 75-19, DATED JULY 2, 2019 BE APPROVED, BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Front Porch Remodel – **88 W. Granville Rd.** (Bill Porteus) **AR 76-19**

Findings of Fact & Conclusions

Background & Request:

This cottage style house was built in 1919 and is a contributing structure in the Worthington Historic District. The structure has a full front porch which is a significant feature on the front of the house, and the owner would like approval to reconstruct it due to water damage and decay.

Project Details:

1. The owner intends to replace the columns, floor boards, railing and skirting for the porch. Also, hand rails are proposed along the steps, and will require a variance for placement in the required front yard.
2. Porch elements are proposed to be replaced with wood. The white columns appear to have slightly different capitals which are shown flush with the porch roof rather than extending beyond. The floor boards appear to be the same in style as the existing and would be Dovetail (SW 7018) gray. A new wood railing is proposed that would have panels in Natural Choice (SW 7011), and trim boards in Bunglehouse Gray (SW2845) which matched the house color. The rendering shows the opposite color selection. The skirting

is proposed to change from lattice to a vertical pattern, having Bungalow Gray for the borders and the lighter Natural Choice for the rest. Clarification is needed on the style.

3. In the renderings, a wood handrail is shown. Since that submission, the owner has decided on a black metal railing with an arch below the top rail.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

From about 1915 on, porches generally were simplified and more integrated into the design of the house. Simple square or tapered columns were common. Avoid ornamentation such as spindles and scrollwork unless they were traditionally used on the porches of similar buildings. Design and materials should be traditional, and compatible with the existing structure.

Recommendation:

Staff is recommending *conditional approval* of this application, based on the following:

- The columns be placed properly with the capitals extending out from the porch roof.
- Design details of the columns, porch railing, and skirting be clarified and acceptable.
- Colors of all elements are clarified.
- Handrail should match the style of the house. The arched element does not relate to anything.

Motion:

THAT THE REQUEST BY BILL PORTEUS FOR A CERTIFICATE OF APPROPRIATENESS TO MODIFY THE FRONT PORCH AT 88 W. GRANVILLE RD. AS PER CASE NO. AR 76-19, DRAWINGS NO. AR 76-19, DATED JULY 11, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

5. Exterior Painting – **50 W. New England Ave.** (Worthington Historical Society) **AR 77-19**

Findings of Fact & Conclusions

Background & Request:

This building, known as the Old Rectory, is a Greek Revival style building that was originally constructed circa 1845 as a parsonage for St. John's Episcopal Church. When the church sold the building in 1924 to a private owner it was moved to 799 Hartford St., functioning first as an apartment building and then as offices for the Worthington Board of Education starting in 1965. The schools constructed an addition to house more offices to the rear in 1974. In the late 1970's, the Worthington Historical Society acquired the building and moved it to its current location where it is used as a museum and offices for the Society.

The applicant is requesting approval to change the trim colors on the 1945 part of the building. Typically, the ARB does not review painting a structure, but because this building is a prominent historic structure and the changes involve the window, shutter and door colors, staff felt Board review was warranted.

Project Details:

1. The applicant is proposing to paint the southern 1945 part of the structure Sherwin Williams “Dune White” which is very similar to the existing white shade of the building.
2. For the older part of structure, the shutters are proposed to be painted Benjamin Moore Chrome Green, which reportedly looks like black. The window sashes would be Sherwin Williams “Tricorn Black”, and the front door would be Benjamin Moore “Chrome Green”. Currently the front door and windows are white and the shutters are black.
3. Evidence was submitted with the application citing the use of dark colors for windows and shutters on houses of this era, and photographic samples are also included.

Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance**

Color is a major design element with significant impact upon a building’s character. In Worthington some colors are more appropriate than others, depending upon a building’s age, style, and setting. The city has a flexible policy giving building owners freedom in color selection but recommends avoiding colors inappropriate for Worthington’s architecture. In the past, color use varied with time period. Early- and mid-19th century buildings often were painted white, but fairly bright colors such as red, blue, yellow, dark green and even orange were used, sometimes as body colors for buildings and sometimes as trim. After about 1860, typical colors included greens, reds, oranges, and olives that were fairly dark and rich. The body color was usually lighter, with trim painted in darker compatible colors; sometimes the opposite was true. Color patterns were simple, usually with only two different colors used for body and trim. Traditionally, bright colors were not used in Worthington.

People often prefer lighter rather than darker colors for both body and trim. Indeed, the brighter colors sometimes used in the past often do not seem “right” for today’s tastes. Even on older buildings that might have used brighter colors in the past, lighter color schemes can be appropriate. Before re-painting, research original paint colors. It is possible to chip or scrape down through paint layers to expose earlier colors. Once historic paint layers are exposed, match current color chips for color selection (most paint stores and manufacturers have “historic” paint palettes designed for older buildings). If original colors can’t be discovered or are unacceptable, then consider alternate colors chosen according to the time-period guidelines above or from color palettes developed for use on historic buildings.

Recommendation:

Staff is recommending *approval* of this application. Re-painting the Old Rectory in colors similar to the existing is appropriate. The most noticeable change would be to the windows, but the applicant has shown evidence from houses of that era with the same color treatment.

Motion:

THAT THE REQUEST BY THE WORTHINGTON HISTORICAL SOCIETY FOR A CERTIFICATE OF APPROPRIATENESS TO PAINT THE OLD RECTORY AT 50 W. NEW ENGLAND AVE. AS PER CASE NO. AR 77-19, DRAWINGS NO. AR 77-19, DATED JULY 12, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

6. Solar Panels – 130 E. South St. (Icon Solar/Isaacson) AR 78-19

Findings of Fact & Conclusions

Background & Request:

This two-story vernacular house was constructed in 1950 and is a contributing property in the Worthington Historic District. This application is a request to install solar panels.

Project Details:

1. The applicant is proposing installation of 53 solar panels. Five are shown on the eastern side of the hipped roof on the main house; 24 would be on the two-story rear addition; and 24 are proposed for the freestanding garage roof.
2. The 1 1/3” thick panels would be mounted on a metal railing system and sit about 5” above the roof.
3. The color of the proposed panels would be black; but the color of the railing system has not been specified. The existing roof on the house is gray.
4. Location of the supporting equipment has not been specified.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Place solar panels in a location that minimizes the visual impact as seen from the right-of-way and surrounding properties. Generally, panels should be located on roofs in the following manner: the rear 50% of the roof of the main building; the rear inside quadrant of the roof of a main building on a corner lot; or on accessory structures in the rear yard. On sloped roofs, place panels flush along the roof unless visibility is decreased with other placement. With flat roofs, keep panels at least 5’ from the edge of the roof, or place at the edge if a building parapet exists that will screen the panels.

Solar panels at another location on a building or site may be acceptable if their placement does not have an adverse effect on the architecture of the building, or the character of the site or Architectural Review District. The equipment to support solar panels should be screened from view.

Recommendation:

Staff is recommending *partial approval* of the application. The 5 panels proposed for the front of the house roof would be easily seen from the right-of-way and should not be included. The others would comply with the Design Guidelines.

Motion:

THAT THE REQUEST JASON ISAACSON FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL SOLAR PANELS AT 130 E. SOUTH ST. AS PER CASE NO. AR 78-19, DRAWINGS NO. AR 78-19, DATED JULY 12, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

7. Wall Sign – 2285 W. Dublin-Granville Rd., Suite 116 (Signarama/The Hills Jewelry) AR 80-19

Findings of fact & Conclusions

Background & Request

In 2014 & 2015, the property owner of this land at the southwest corner of W. Dublin-Granville Rd. and Linworth Rd. annexed, rezoned, subdivided, created a Development Plan, and received Architectural Review Board approval to redevelop the property as a neighborhood commercial site. Final approval was given for Linworth Crossing in 2015, and Sign Criteria were developed and approved in 2016 (see Land Use Plans below). The use of colors other than the approved requires approval by the ARB.

The Hills Jewelry is planning to locate in Suite 116 and would like to use a color other than the approved.

Project Details:

1. Black lettering spelling “THE HILLS” would be 15.5” high; “jewelry” would be below with an overall height of 23.75”.
2. A gold line is proposed on both sides of “jewelry”. A sample of the gold color is needed.
3. All characters would be 1 ½” thick HDU/PVC mounted to the wall.

Land Use Plans:

Linworth Crossing Development Plan

Approved Sign Criteria per the Development Plan:

- This tenant space is permitted up to 28 square feet of sign area.
- Maximum character height is 24”.
- Black gooseneck LED lights are above all signs.
- All signs will consist of 1 ½” thick non-illuminated dimensional letters and logos, centered in the sign band area. The font style can vary.
- The proposed color palette for the signs is red (PMS #7621); blue (PMS #541); green (PMS #561); and PMS Black C.
- Proposed logos must be approved by the ARB.

Recommendation:

Staff is recommending *approval* of this application, as the gold sign color should not detract from the rest of the center.

Motion application:

THAT THE REQUEST BY SIGNARAMA WORTHINGTON ON BEHALF OF THE HILLS JEWELRY FOR A CERTIFICATE OF APPROPRIATENESS TO ADD A WALL SIGN AT 2285 W. DUBLIN-GRANVILLE RD. , SUITE 116, AS PER CASE NO. AR 80-19, DRAWINGS NO. AR 80-19, DATED JULY 12, 2019 BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

8. Modification to Modular Classrooms – **885 Evening St.** (Tim Gehring/Evening Street Elementary) **AR 81-19** (Amendment to AR 24-19)

Findings of fact & Conclusions

Background & Request:

As was previously discussed, Worthington Schools has been evaluating its facilities and has begun making changes to upgrade facilities and accommodate enrollment numbers. Some of the solutions involve permanent changes such as construction of additions, and other situations warrant temporary solutions. In order to accommodate increasing enrollment at Evening Street Elementary, the applicant was approved to add modular classrooms.

As part of the previous approval, the existing chain link fence was to remain, and the applicant is to return within 4 years to extend the approval if needed. Also, a specific design for the building was approved, and the immediate neighbors and the Schools agreed to a landscape plan.

This application addresses modifications to the previous approval.

Updated items are in bold.

Project Details:

1. Site details:

- **The building is now ~111' from the Evening St. property line, which is 9' further than the previous approval.**
- **On the north side, the ramp is proposed west of the door rather than east.**
- A connection to the north door would be made with a canopy covered walkway that would allow for pedestrian and bike access along the south side of the school as there is now.
- **The existing storage building has been removed.**
- **The ARB originally approved retention of the chain link fence near Evening Street. The neighbors requested and the schools agreed to remove the fence, so ARB approval is needed for the change.**
- **A revised landscape plan was agreed to by the neighbors and the schools, and includes street trees in addition to the other evergreen and deciduous trees previously proposed.**

2. Building details:

- **The design that was part of the previous approval did not correctly represent the layout of the actual building. The positioning of the windows and condensing units and the addition of an electrical panel are now shown in photographs, and represented in building elevations. The elevations also show the addition of trim around the windows and condensing units and the proposed darker and lighter shades of gray as were previously approved.**
- Six classrooms and two restrooms would be part of the modular building which is 70' wide x 98' long. Hardiepanel stucco panels exist on the walls and would be added as skirting to extend to the ground.
- The gutters and downspouts would match the background.

- Steps are proposed on the south side with a metal roof and rail.
- A metal canopy system with metal columns would connect from the modular building to the south door of the school.
- Wall packs are proposed above both doors and would be full cutoff style fixtures.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Use simple door and trim designs compatible with both the building and with adjacent and nearby development. Compatibility of design and materials and exterior detail and relationships are standards of review in the Architectural District ordinance.

Recommendations:

Staff is recommending *approval* of this application. Although temporary structures are not typically desired, staff understands the need in this situation and would like the building to look as good as possible for the time it is in place.

Motion:

THAT THE REQUEST BY TIM GEHRING ON BEHALF OF WORTHINGTON SCHOOLS TO MODIFY CERTIFICATE OF APPROPRIATENESS #24-19 TO PLACE MODULAR CLASSROOMS FOR EVENING STREET ELEMENTARY SCHOOL AT 885 EVENING ST., AS PER CASE NO. AR 81-19, DRAWINGS NO. AR 81-19, DATED JULY 12, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING WITH THE CONDITION THE APPLICATION TO EXTEND THE APPROVAL IS EXPECTED WITHIN FOUR YEARS.

9. Wall Sign – **905 High St.** (Jersey Mike’s Subs/Worthington Center LLC) **AR 79-19**

Findings of Fact & Conclusions

Background & Request:

This building was constructed in 1965, having a two-story structure to the south and a one-story structure to the north. In recent years the owner has made improvements to the façade and signage. A mix of uses has always been present in this neighborhood commercial building.

Subway recently vacated the northern tenant space and Jersey Mike’s Subs would now like to operate in the same space. The applicant would like approval to replace the existing Subway signage.

Project Details:

1. A new sign is proposed in the band above the storefront. There are 2 existing gooseneck lights above that will remain. The sign would all be 8’ wide x 2’ high, made of 2” thick routed HDU with raised border and copy. It would have a burgundy background with beige lettering and trim. The sign will read: Since 1956 Jersey Mike’s Subs.

2. For the freestanding sign, the applicant will be replacing just the face with new acrylic with Since 1956 Jersey Mike's Subs on the sign. The sign background is opaque as is the rest of the freestanding sign.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. Use of traditional sign materials such as painted wood, or material that looks like painted wood, is the most appropriate material for projecting and wall signs. While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Signs must be distinctive enough to be readily visible but avoid incompatible modern colors such as "fluorescent orange" and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

The Architectural District Ordinance calls for design and materials to be compatible.

Recommendation:

Staff is recommending *approval* of this application as it is consistent with the previously approved signage for the center.

Motion:

THAT THE REQUEST BY JERSEY MIKE'S SUBS FOR A CERTIFICATE OF APPROPRIATENESS FOR SIGNAGE AT 905 HIGH ST., AS PER CASE NO. AR 79-19, DRAWINGS NO. AR 79-19, DATED AUGUST 24, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

D. Municipal Planning Commission

1. Conditional Use Permit

- a. Ancillary on Premise Waiting & Dining – **905 High St.** (Jersey Mike's Subs/ Worthington Center LLC) **AR 70-19**

Findings of Fact & Conclusions

Background & Request:

This building was constructed in 1965, having a two-story structure to the south and a one-story structure to the north. In recent years the owner has made improvements to the façade and signage. A mix of uses has always been present in this neighborhood commercial building.

A Conditional Use was approved by the Municipal Planning Commission in 1993 to permit Subway to operate an on-premise dining/waiting area (nonalcoholic) in this space. Subway recently vacated the space and Jersey Mike's Subs would now like to operate in the same space.

Project Details:

1. The hours are similar to Subway; however, Jersey Mike's Subs is not open in the early morning hours and does not offer breakfast.
2. Vehicular and foot traffic should be similar to the previous use.
3. The interior layout will be the same as Subway's previous layout.
 - a. Updates and modifications to the interior will follow the Jersey Mike's Subs branding.
4. There is parking in front of and behind the building to accommodate vehicular traffic.

Basic Standards and Review Elements: The following general elements are to be considered when hearing applications for Conditional Use Permits:

1. Effect on traffic pattern – The number of trips to the property would be similar to the previous use. Morning traffic would be less since Jersey Mike's Subs does not offer breakfast.
2. Effect on public facilities – No effect has been identified.
3. Effect on sewerage and drainage facilities – The effect would not change.
4. Utilities required – No new utilities would be required.
5. Safety and health considerations – Restaurants would be reviewed by Columbus Public Health.
6. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards – None have been identified.
7. Hours of use: Monday – Sunday 10:00 AM to 9:00 PM
8. Shielding or screening considerations for neighbors – No changes are necessary.
9. Appearance and compatibility with the general neighborhood – No exterior changes are proposed. The only exterior changes will be to the wall sign and the freestanding sign. All other changes are interior.

Land Use Plans:

Worthington Conditional Use Permit Regulations

The following basic standards apply to conditional uses in any "C" or "I" District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission.

Definition:

"Ancillary on-premise dining/waiting area" (nonalcoholic) means a dining or waiting area that is clearly incidental and subordinate to the primary use of the structure and with seating limited to a counter or table(s) in conjunction with carry out food service such as doughnuts, ice cream, sandwich or pizza shop not selling or serving alcoholic beverages.

Worthington Comprehensive Plan

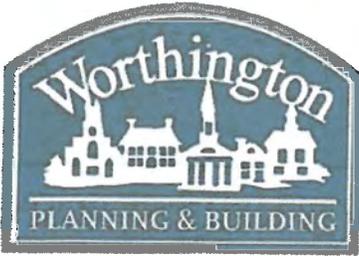
A good mix of restaurant and niche retail shops are appropriate for Old Worthington.

Recommendation:

Staff is recommending *approval* of this application. The proposed business would meet the basic standards for conditional uses.

Motion:

THAT THE REQUEST BY JERSEY MIKE'S SUBS FOR A CONDITIONAL USE PERMIT TO ALLOW ANCILLARY ON-PREMISE DINING/WAITING AREA IN THE C-1 ZONING DISTRICT AT 905 HIGH ST., AS PER CASE NO. CU 06-19, DRAWINGS NO. CU 06-19, DATED JULY 12, 2019, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 107-19
Date Received	06-14-19
Fee	\$200.00
Meeting Date	06-27-19
Filing Deadline	06-14-19
Receipt #	07142

1. Property Location 860 Oxford St
 2. Present/Proposed Use Single Family Home
 3. Zoning District R-10
 4. Applicant Christy and TJ Bowen
 Address 860 Oxford St.
 Phone Number(s) C: (310) 922 5379 TJ: (310) 429 9690
 Email _____

5. Property Owner _____
 Address _____
 Phone Number(s) SAME AS ABOVE
 Email _____

6. Project Description Add new front Porch, REAR Addition for new kitchen and 2nd Floor bedroom, Rebuild whole second floor, and all new exterior

7. Project Details: WINDOWS: Simonton White Vinyl Prelinish Brickmold 600
Roofing - Match existing
 a) Design Two story with front Slea Dormer
 b) Color Lap Siding 'Mudie' DBLE straight CAMEWOOD (deep Granite) Hand Split by Royal cedar shake (Weathered Gray)
 c) Size Exterior Trim 'White' Porch Columns 12" square White Columns Fiberglass
porch floor - concrete
 d) Approximate Cost \$200K+ Expected Completion Date March 2020

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Christy Bowen TJ Bowen 6/13/19
 Applicant (Signature) Date

Christy Bowen TJ Bowen 6/13/19
 Property Owner (Signature) Date

ABUTTING PROPERTY OWNERS
FOR
860 Oxford Street

Angus Fletcher	Sarah Lagrotteria	850 Oxford St.	Worthington, OH 43085
Brian McGarry	Allison Gentile	849 Oxford St.	Worthington, OH 43085
Karen Mcvey		101 W. Clearview Ave.	Worthington, OH 43085
Gregory and Amy Jane Sumner		870 Oxford St.	Worthington, OH 43085
Kernos LLC		881 High St.	Worthington, OH 43085
John Jones		867 High St. Suite C.	Worthington, OH 43085
API Services		867 High St. Suite D.	Worthington, OH 43085
Michael Juhola		867 High St. Suite B.	Worthington, OH 43085
Margie Mcelroy	Patrick Lee	867 High St. Suite A.	Worthington, OH 43085
Providential Properties, LLC		1601 W. 5th Ave.	Columbus, OH 43212
Tenant		885 High St.	Worthington, OH 43085

Members of the Architectural Review Board,

Thank you for your time and consideration in reviewing our application. Our upcoming project will allow us to have the space we need to accommodate our family of 5, including our 3 growing boys. The kitchen addition will make the home much more functional than the existing galley kitchen. Not only will it flow better and allow for hosting and entertaining, but it will resolve our current issue of the kitchen constantly being a bottleneck between the exterior entry, and the rest of the home. The new kitchen island will allow us to have family dinners in the kitchen, serve for events and holidays, and become a central feature in the home.

The reconfiguration of the master bedroom and bath will correct the current awkward Jack-and-Jill half bath that the master currently shares with the whole main floor. The new closet will economize storage, and the new full bath will service both the main floor and the guest room adjacent.

Adding a front porch will greatly enhance both the function and aesthetic of the front facade. It will become a gathering place for family and neighbors, and will be in keeping with the style of the historic district.

Remodeling the second floor is a necessity, as the current configuration is non-functional. No longer will one have to go through one bedroom (with no egress) to reach another, or duck to fit into a shower built into an angular ceiling. It will allow us to have adequate bedroom and study space for our kids.

Thank you for reviewing our project, we love the historic area of Old Worthington, and making these changes will improve the property, both functionally and aesthetically, and allow us to stay here potentially our whole lives.



CHRISTY and T.J. Bowen

860 Oxford St.

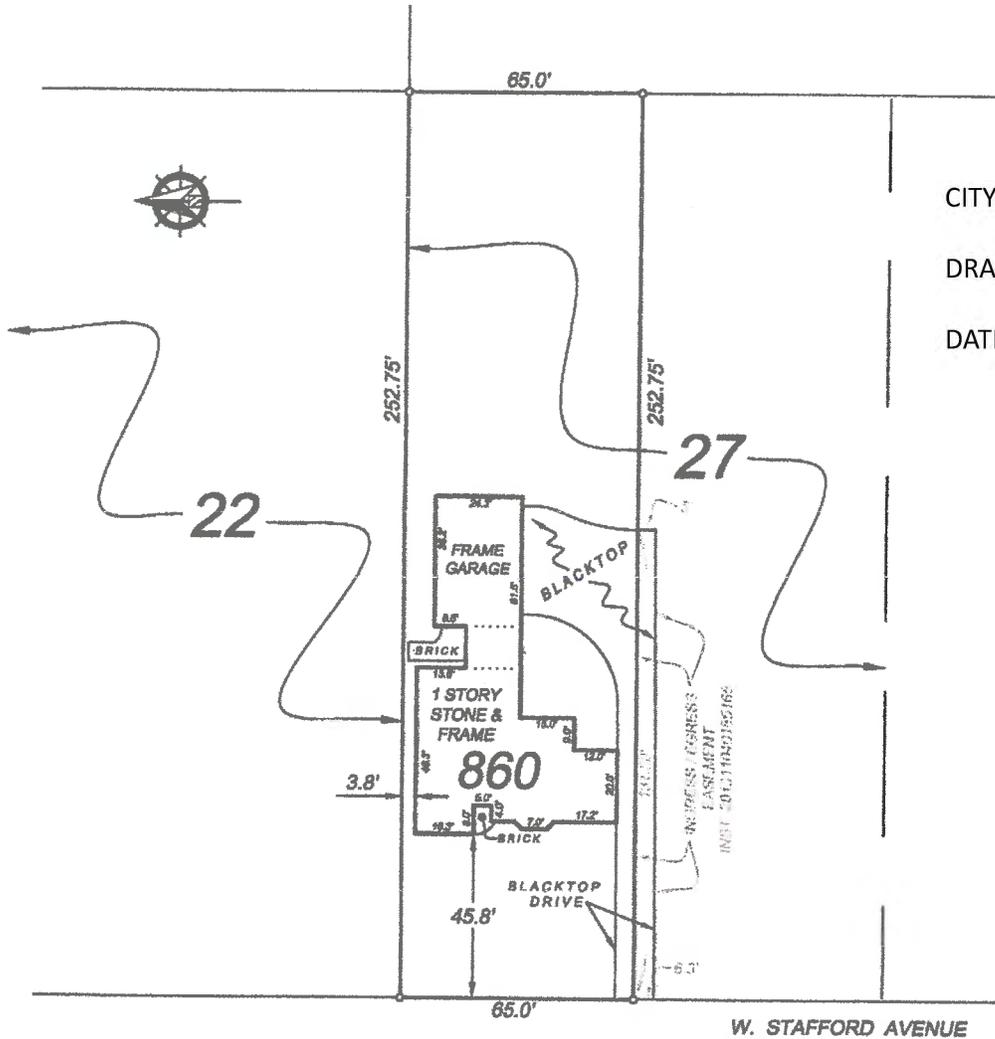


HOY LAND SURVEYING
 39 Village Green Drive
 Westerville, Ohio 43082
 Phone: 614-679-1186



JOB NUMBER #: 1206-2016 S DATE OF DRAWING 09-21-16

TITLE AGENCY NORTHWEST SELECT TITLE LENDER FIRST COMMONWEALTH BANK BUYER BOWEN
 LEGAL DESC. PART OF LOT 27 - WORTHINGTON PB. 3 PG. 330 COUNTY FRANKLIN
 CITY/TWP. WORTHINGTON DRN. SJH CK. SS DRAWING SCALE 1" = 40'
 FEMA INFORMATION: FLOOD ZONE X MAP PANEL INFO 39049C 0159K MAP DATE 06-17-08



CITY OF WORTHINGTON
 DRAWING NO. AR 67-19
 DATE 07-11-2019

OXFORD STREET 66'

We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a Boundary Survey pursuant to Chapter 4733-37, Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and is not to be construed as having been prepared for the owner and is not to be used to erect fences or other structures. Easements shown on this plat were taken from the subdivision plat of record. Additional easements affecting this property may exist.

ENCROACHMENT INFORMATION
None Noted

By Steven J. Hoy

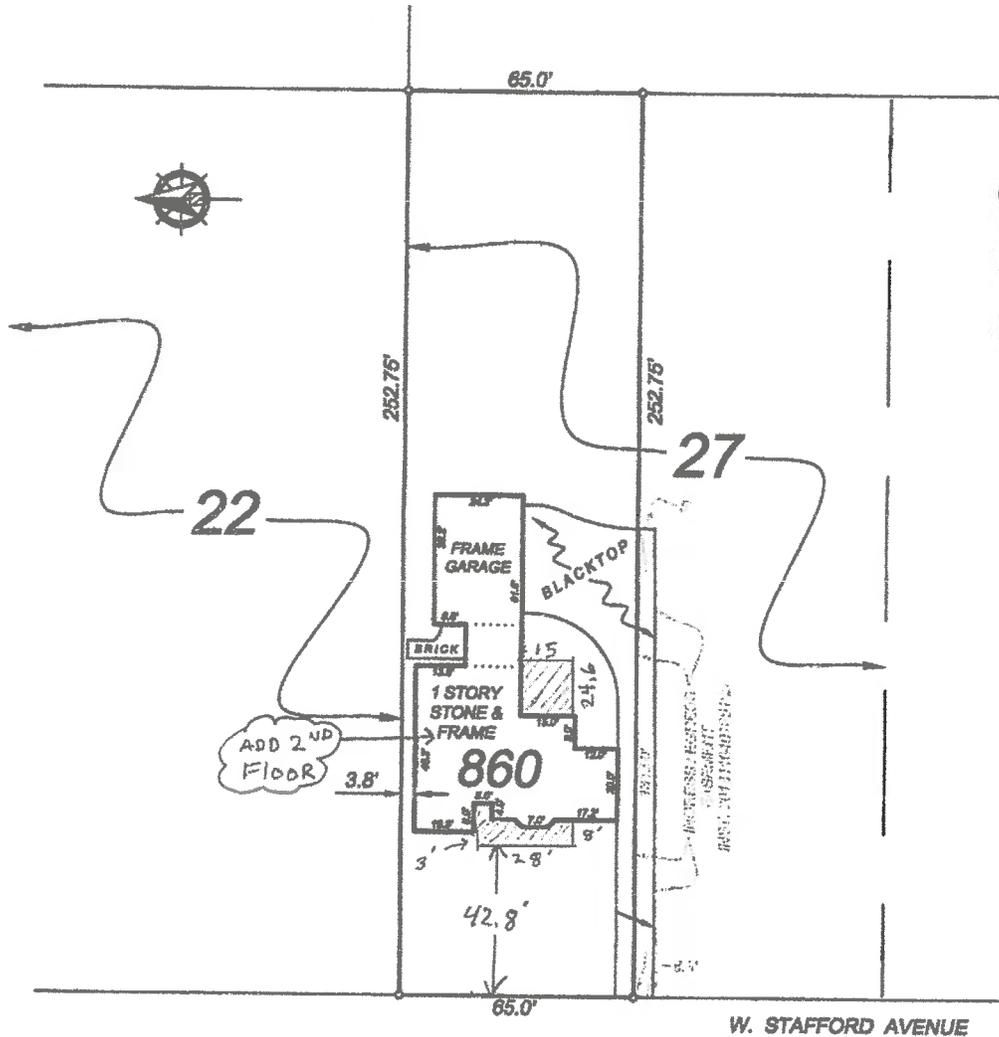


HOY LAND SURVEYING
 39 Village Green Drive
 Westerville, Ohio 43082
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CITY OF WORTHINGTON
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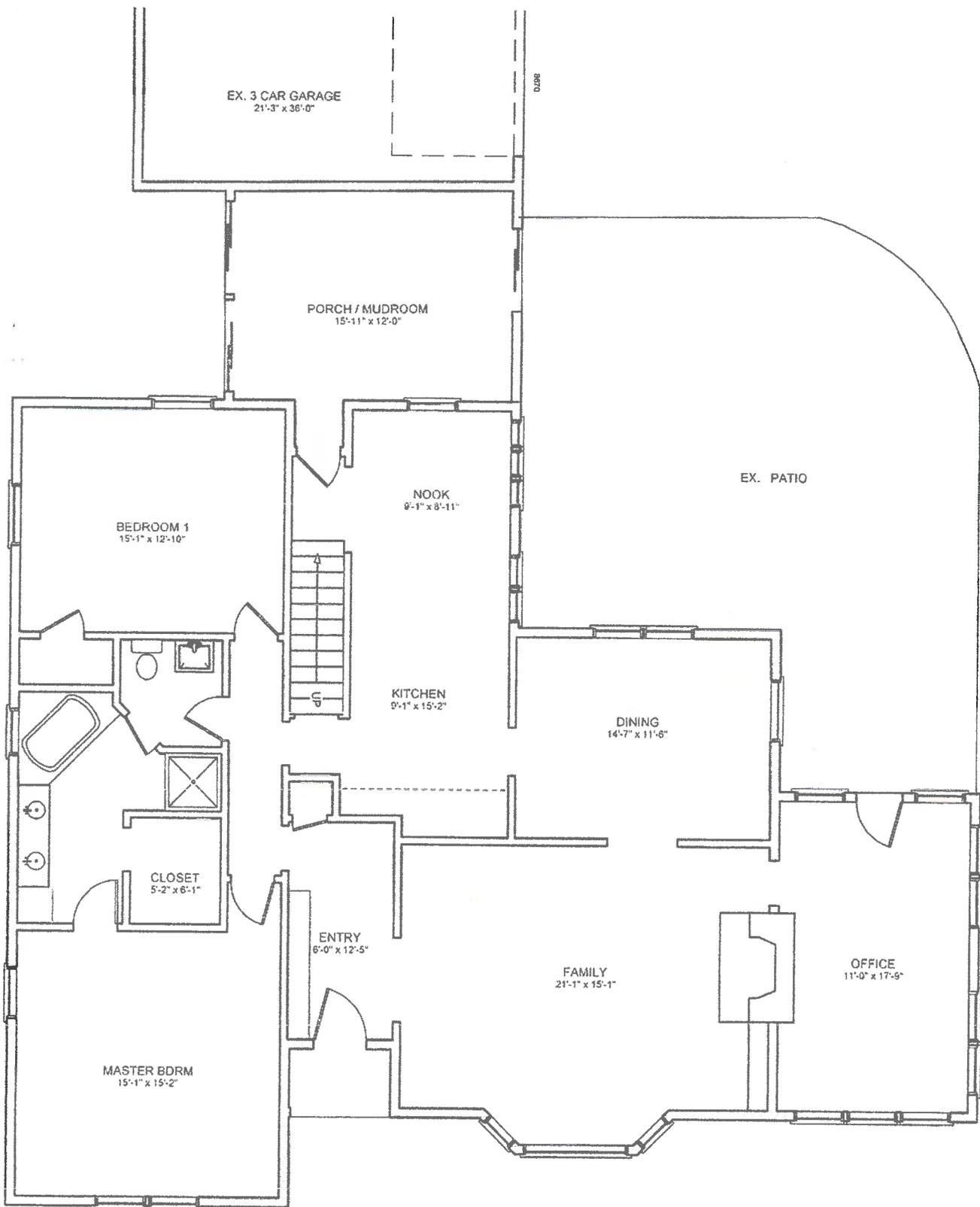
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ENCROACHMENT INFORMATION
None Noted

By Steven J. Hoy





Addition and Remodel for TJ and Christy Bowen at 860 Oxford St. Worthington Ohio 43085

Revised Plan Dated 4 - 26 - 19 EXISTING FIRST FLOOR Scale : 1/8" = 1'

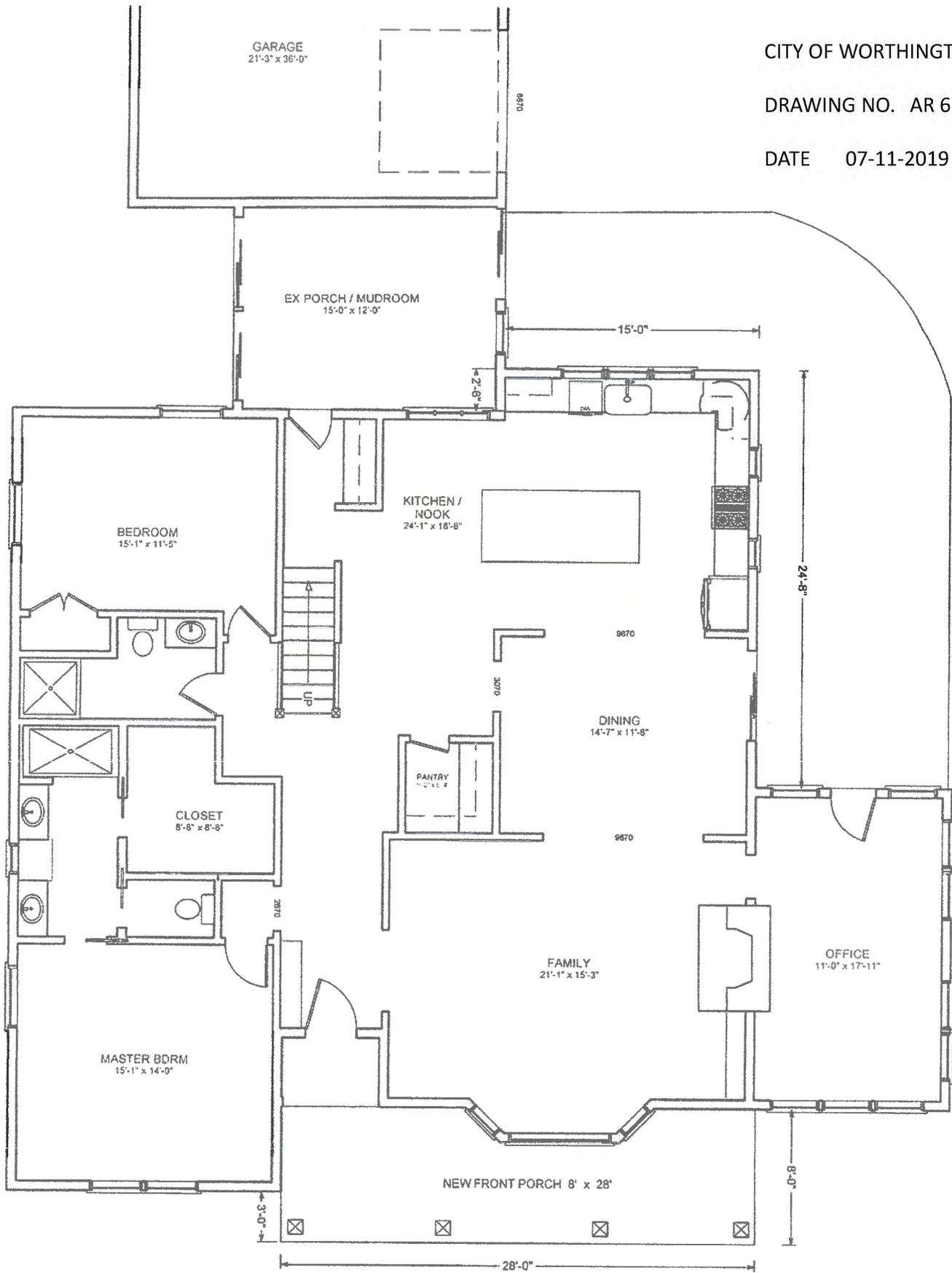
Prepared By : Ross Builders and Design Llc

CITY OF WORTHINGTON

DRAWING NO. AR 67-19

DATE 07-11-2019

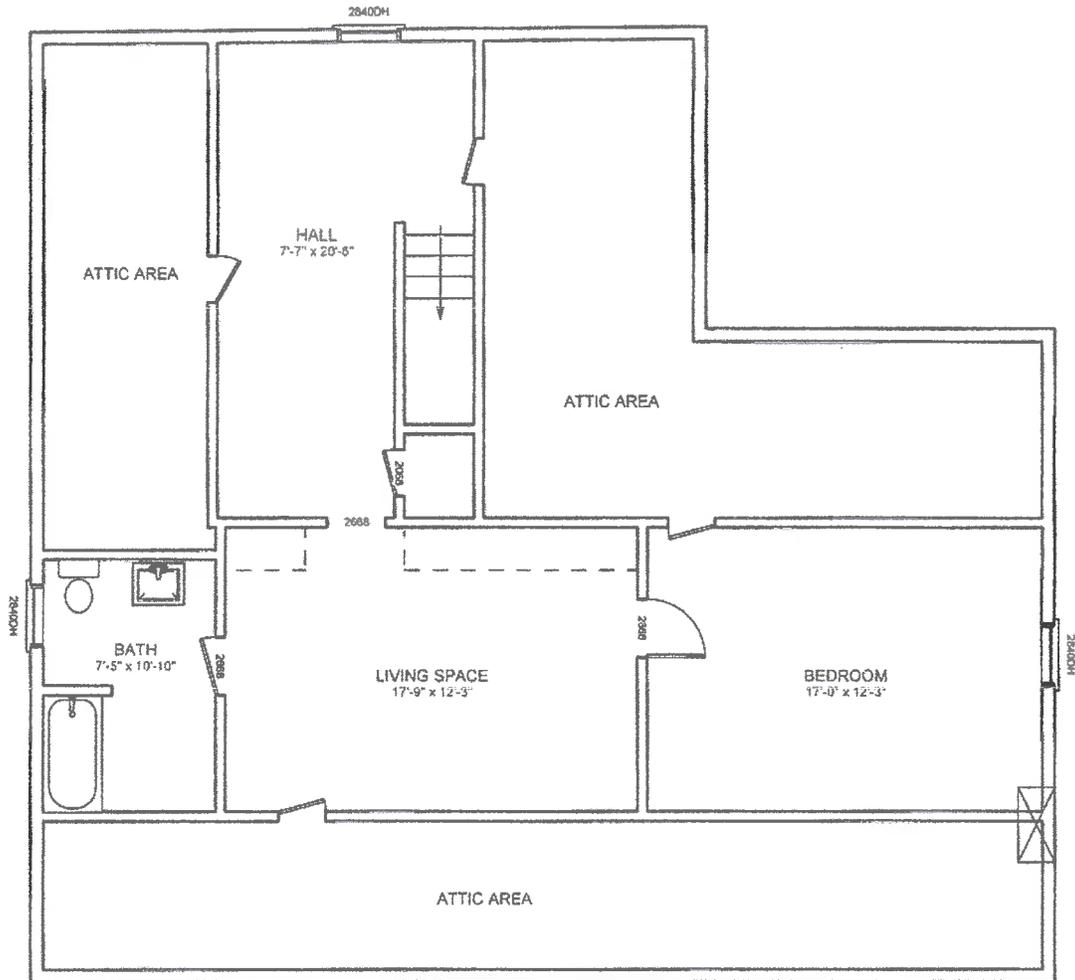
CITY OF WORTHINGTON
DRAWING NO. AR 67-19
DATE 07-11-2019



Addition and Remodel for TJ and Christy Bowen at 860 Oxford St. Worthington Ohio 43085

Revised Plan Dated 5 - 2 - 19 NEW FIRST FLOOR Scale : 1/8" = 1'

Prepared By : Ross Builders and Design Llc



Addition and Remodel for TJ and Christy Bowen at 860 Oxford St. Worthington Ohio 43085

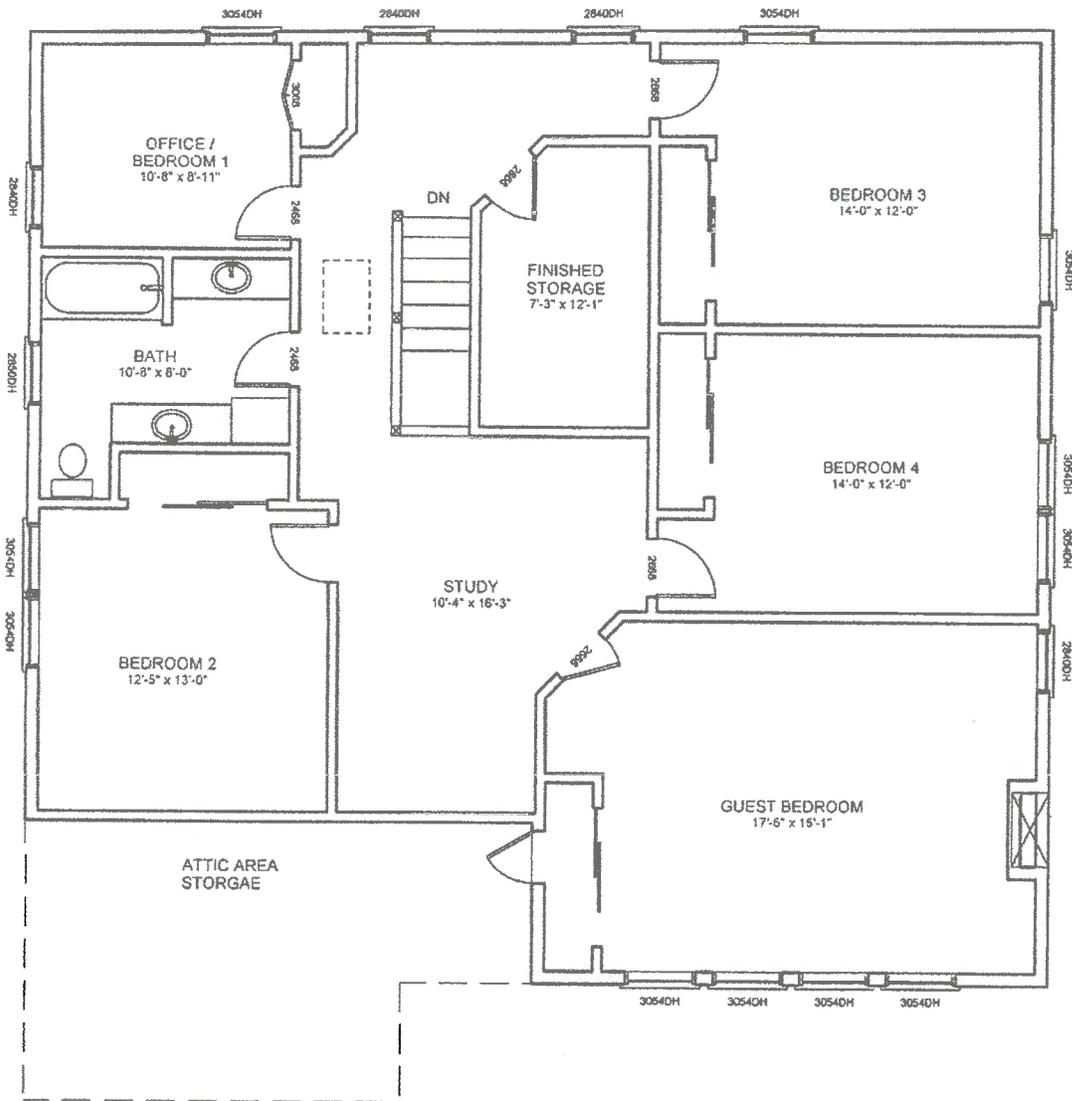
Revised Plan Dated 4 - 26 - 19 EXISTING SECOND FLOOR Scale : 1/8" = 1'

Prepared By : Ross Builders and Design Llc

CITY OF WORTHINGTON

DRAWING NO. AR 67-19

DATE 07-11-2019



Addition and Remodel for TJ and Christy Bowen at 860 Oxford St. Worthington Ohio 43085

Revised Plan Dated 4 - 26 - 19 NEW SECOND FLOOR Scale : 1/8" = 1'

Prepared By : Ross Builders and Design Llc

CITY OF WORTHINGTON
 DRAWING NO. AR 67-19
 DATE 07-11-2019

Test our vinyl. We do. Rigorously. Relentlessly.



OIL CAN TEST Siding panels are placed under heat strips and saturated to 120°-140°F to make sure the siding doesn't warp or buckle.



WEATHERING Color retention (resistance to fading) is tested by subjecting Mastic products to real-time weather conditions and accelerated UV testing. This ensures that Mastic products will hold up in the most extreme environmental conditions.



RIGIDITY Panels are designed and engineered to be more rigid so the siding remains straight on the wall.



COLOR READ TEST Using a spherical spectrophotometer, a 10,000 watt xenon flash tube bounces light off a siding panel. This information is then analyzed to determine if the color falls within accepted ranges for color consistency and match.



VERTICAL HEIGHT IMPACT TEST Measures the product's durability and ability to resist impact forces — the result of proper thickness, formulation and impact modifiers.



GLOSS TEST A digital readout microgloss meter is used to scan siding to determine if its gloss falls within a target range. Gloss is important to the aesthetic appeal of the siding.

CITY OF WORTHINGTON

DRAWING NO. AR 67-19

DATE 07-11-2019



* This Siding profile *

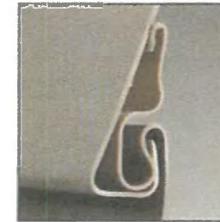
DOUBLE 4-1/2"
DUTCH LAP
WOODGRAIN

TRIPLE 3"
SMOOTH

SINGLE 8"
SMOOTH

DOUBLE 5"
WOODGRAIN

DOUBLE 4"
WOODGRAIN
OR SMOOTH



CITY OF WORTHINGTON

DRAWING NO. AR 67-19

DATE 07-11-2019



T-2 LOK*

Locking system delivers a positive locking action with a wider locking mechanism for more contact area.*



ROLLOVER, REINFORCED NAIL HEM

Easier installation — more precise and secure fastening.*



PREMIUM .044 THICKNESS

Superior thickness and impact resistance.



WIND SPEED — RATED UP TO 200 MPH

Mastic's proprietary design and engineering delivers a panel that achieves superior wind resistance.

5/8" PANEL PROJECTION

Enhanced shadow lines replicate the appearance of real wood siding.



DURANYL 5000* PROTECTION SYSTEM

Proprietary technology adds extra UV protection to our deepest, most vivid colors — protects color against harsh elements and maximizes long-term weatherability.



HANG-TOUGH™ TECHNOLOGY

Exclusive formulation and process boosts durability so panels are more resistant to cracking, impact and thermal distortion. As an added benefit, rich color resides throughout the panel — virtually eliminating the appearance of nicks and minor surface scratches.



CLASS 1(A) FIRE RATING



METRO-DADE COUNTY APPROVED



V.I.P. LIMITED LIFETIME WARRANTY

Premium guarantee of lasting quality and peace of mind — backed by Mastic, a trusted industry leader for 50+ years (see warranty for complete details).



THIS PRODUCT HAS BEEN CERTIFIED BY HOME INNOVATION RESEARCH LABS.

This means you can be assured that this product complies with specific green practice criteria in the National Green Building Standard (NGBS). Visit www.HomeInnovation.com/GreenProducts for more details.

Home Innovation
NGBS GREEN CERTIFIED™

RESOURCE EFFICIENCY

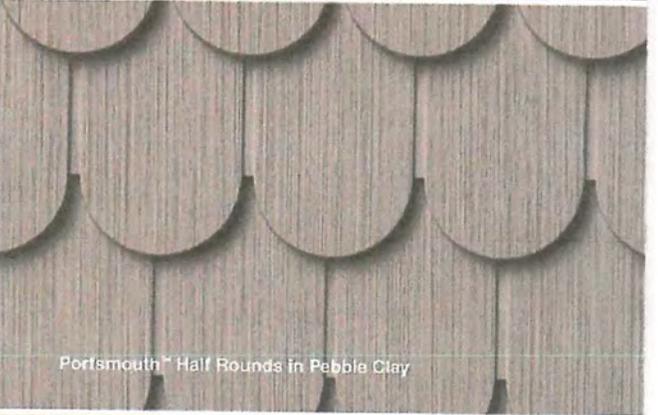
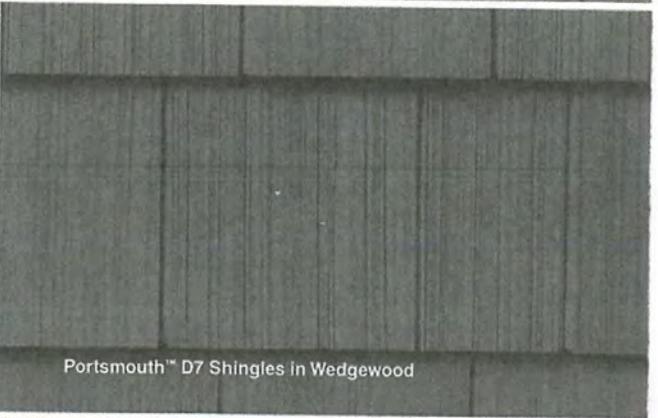
*Single 8" panel features a unique, advanced locking system and nail hem.

Heightened curb appeal: one amazing accent after another.

Whether you're mixing Hand-Split Shake into a clapboarded Craftsman for a rustic vibe, or creating coastal ambience with Half Round accents, every one of our Shake & Shingles profiles will help take your exterior to the next level—the one where you can't help but smile every time you look at it.

- Available in S7, D5, D7, Half Round and Hand-Split profiles
- Broad array of traditional colors and trending, UV-resistant Colorscapes® shades
- Realistic natural cedar texture

* THIS Panel
For Shed Dormer
& Front Gable →



CITY OF WORTHINGTON

DRAWING NO. AR 67-19

DATE 07-11-2019

Brickmould Series 600 & 300



Tradition meets innovation.

When it comes to beauty, there's just nothing quite like wood. And when it comes to performance, there's nothing quite like vinyl. Until now. Simonton ProFinish® Brickmould vinyl windows and doors offer the best of both worlds. They combine the classic style and proportions of wood windows with the durability, thermal efficiency and ease of maintenance only vinyl is known for. ProFinish Brickmould provides the one thing you want in a window for your new home—everything.

 **SIMONTON**
ProFinish®
New Construction Windows and Doors

CITY OF WORTHINGTON

DRAWING NO. AR 67-19

DATE 07-11-2019

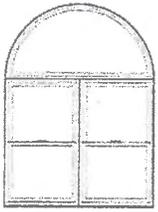




◀ This Casement configuration consists of six windows mullied together to create a focal point in this kitchen.

Virtually Unlimited Configurations.

Different Brickmould 600 operating styles can be mullied together for virtually unlimited configurations. Start with a Double Hung, the ultimate expression of classic style. Consider a breathtaking wall of windows. Maybe an exciting geometric shape will make the perfect accent. Whatever your vision, with Brickmould 600, anything is possible.



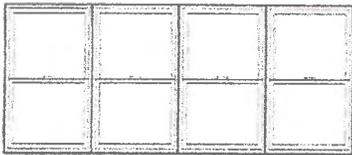
Two Double Hung windows mullied together with a Half-round picture window above.



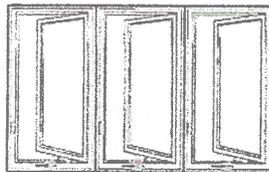
A Double Hung mullied with a Half-round picture window above.



A Picture window mullied with two Double Hung windows.



A wall of Double Hung windows.



Three Casement windows mullied together.



* This Exterior Molding Option ON DBL HG WINDOWS



The optional **Flat Casing** surround suggests the appearance of a traditional wood window.

The **Colonial Casement** features a faux meeting rail, so it provides the appearance of a Double Hung window, but it functions like a Casement window.



CITY OF WORTHINGTON

DRAWING NO. AR 67-19

DATE 07-11-2019

◀ **Simulated Divided Lites** provide the appearance of separate panes of glass.

Available **light** or **dark woodgrain** interiors create a rich, warm appearance.

An optional **Flat Casing** surround simulates the look of a traditional wood window.

The Brickmould 600 series combines the beauty of wood with all the advantages of vinyl. From a richly detailed, multi-tiered profile, to a broad Flat Casing surround, their stance and stature suggest the classic appearance of a wood window. But unlike wood, Brickmould 600 vinyl windows will never require sanding or repainting to look beautiful for years to come. And the Brickmould 600 series is backed by a great warranty. This **Lifetime Limited Warranty** is transferrable to a subsequent homeowner, and covers the vinyl, hardware, screen and glass for your absolute peace of mind.



▲ Hardware cast in lustrous metal finishes allows you to complement your home's other fixtures.



▲ An entire line of window styles is available, including a classic **Double Hung, Geometrics** and **Patio Door**.



▲ A choice of **seven exterior colors** makes it easy to find the perfect accent for your home.

CITY OF WORTHINGTON

DRAWING NO. AR 67-19

DATE 07-11-2019



This front door, but black

Portsmouth™ D5 Cedar Shingles in Storm (top) and Sterling (bottom),
Royal™ Vinyl Trim in White

CITY OF WORTHINGTON

DRAWING NO. AR 67-19

DATE 07-11-2019



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Case # AR 169-19 Date Received 06-14-19 Fee \$100.00 pd Meeting Date 06-27-19 Filing Deadline 06-14-19 Receipt # 167148

1. Property Location 784 Morning St. Worthington 43085

2. Present/Proposed Use

3. Zoning District

4. Applicant Famiglia Homes LLC (Alainna Greene)

Address 1105 Beechview Dr. S. Worthington 43085

Phone Number(s) 614-974-8231

Email

5. Property Owner Robert and Meridith Greene

Address 784 Morning St. Worthington, OH 43085

Phone Number(s)

Email

6. Project Description Addition for new kitchen and master suite All new white vinyl windows,

7. Project Details:

a) Design Addition/Siding 7" hardie siding, windows with grides

b) Color siding Night gray (to match) windows white

c) Size

d) Approximate Cost 160,000 Expected Completion Date 7 months from start date

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME: The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Alainna Greene Applicant (Signature)

6/14/19 Date

M. Greene Property Owner (Signature)

6/16/19 Date

ABUTTING PROPERTY OWNERS
FOR
784 Morning St.

Dale and Susan Purdy

Christopher Staron

Thomas and Patricia Lauducci

Michael Stanich

Leslie Holmes

780 Morning St.

785 Morning St.

791 Morning St.

790 Morning St.

153 Franklin Ave.

Worthington, OH 43085

July 18, 2019

Chairman Mikel Coulter
Worthington Architectural Review Board and Municipal Planning Commission
City of Worthington
6550 North High Street Worthington, Ohio 43085

Re: 784 Morning Street

Dear Worthington Architectural Review Board and Municipal Planning Commission:

Our family writes seeking your support of our proposed home renovation and addition. We are proud members of the Worthington community and have resided in our home at 784 Morning Street for more than 11 years. It has and continues to be our intent to not only create deep family roots in our home, neighborhood and the Worthington community but also continue to preserve and enhance the historical character of our home.

Our family would like to continue to grow in our home for many years to come. The purpose of our renovation and addition is to create open flexible first floor family room/kitchen, and a master bath on the second floor. We are enthusiastically proud that our home is uniquely positioned in the heart of Worthington and we are grateful for the continued reinvestment that continues to evolve our community as vibrant, diverse and sustainable all while improving the quality of life for everyone in our community.

We apologize in advance and appreciate your understanding that we will not be present at the Thursday July 25, 2019 Architectural Review Board meeting. Our family has a tradition of attending family camp every fourth weekend of July and unfortunately this is in conflict with the next scheduled Architectural Review Board meeting. We appreciate your understanding regarding our inability to present but please know that our contractor, Famiglia Homes, will be available to answer any remaining/open questions or concerns.

Thank you for your time and consideration of our addition, renovation and reinvestment in our beloved home, neighborhood and community.

Warm regards,

Merydith & Bob Greene

Merydith & Bob Greene

784 Morning Street

To Whom it May Concern,

Description for Addition and Remodel for 784 Morning Street

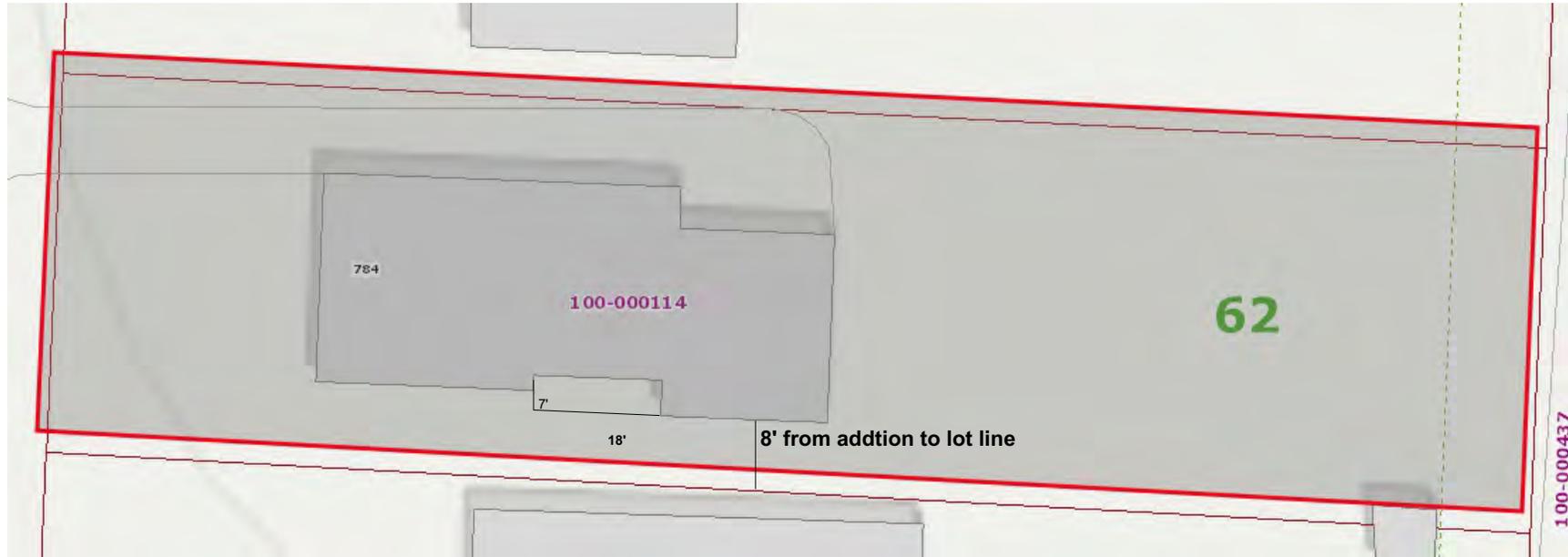
- On the exterior we will be doing a 7' x 18' addition that will include a new master bath and new kitchen (see attached pictures)
 - o We will use the same siding that is currently there – 7” Hardie Lap Board siding and painted Night Gray (the rest of the home was replaced with this same material in 2015)
 - o We will trim out all windows for the addition in Arctic white
- All new replacement windows (to stay the same size as what is currently there) throughout the entire home
 - o White on White vinyl windows with grids (see attached picture) on the exterior all windows will be trimmed out in Arctic white (metal wrap)
- All gutters (white 6” aluminum gutters), roof (for just the addition), soffits (painted arctic white to match the rest of the home), and fascia (painted arctic white to match the rest of the home) everything to match what is currently there
- Install new Black vinyl board and batten shutters on the south side of the new addition to match the rest of the shutters on that side of the home

Thank you,

Famiglia Homes

Alainna and Josh Greene

784 Morning Street, Worthington, Ohio 43085



CITY OF WORTHINGTON

DRAWING NO. AR 69-19

DATE 07-02-2019

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Site Plan

PROJECT DESCRIPTION:
Greene Addition

DRAWINGS PROVIDED BY:
Famiglia Homes

DATE:

SCALE:

SHEET:

784 Morning St., Worthington, Ohio 43085



Exterior Notes

1. Exterior Finish to be over 1/2" plywood/OSB -
2. Windows to be White on White Vinyl Windows with grids with white trim on the outside
3. Siding to match current home - 7" Hardie Lap Siding in a Night Gray color with White trim
4. Roofing to be 30 year asphalt Shingels over #15 Felt, 5/8" OSB (Color to match existing roof)
5. Downspouts to be collected and roof run off to be directed away from structure underground and towards the street
6. Finish grade shall slope away from structure min. 1/2" per foot of run

CITY OF WORTHINGTON

DRAWING NO. AR 69-19

DATE 07-02-2019

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:	Overview / Outside
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PROJECT DESCRIPTION:	Greene Addition
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DRAWINGS PROVIDED BY:	Famiglia Homes
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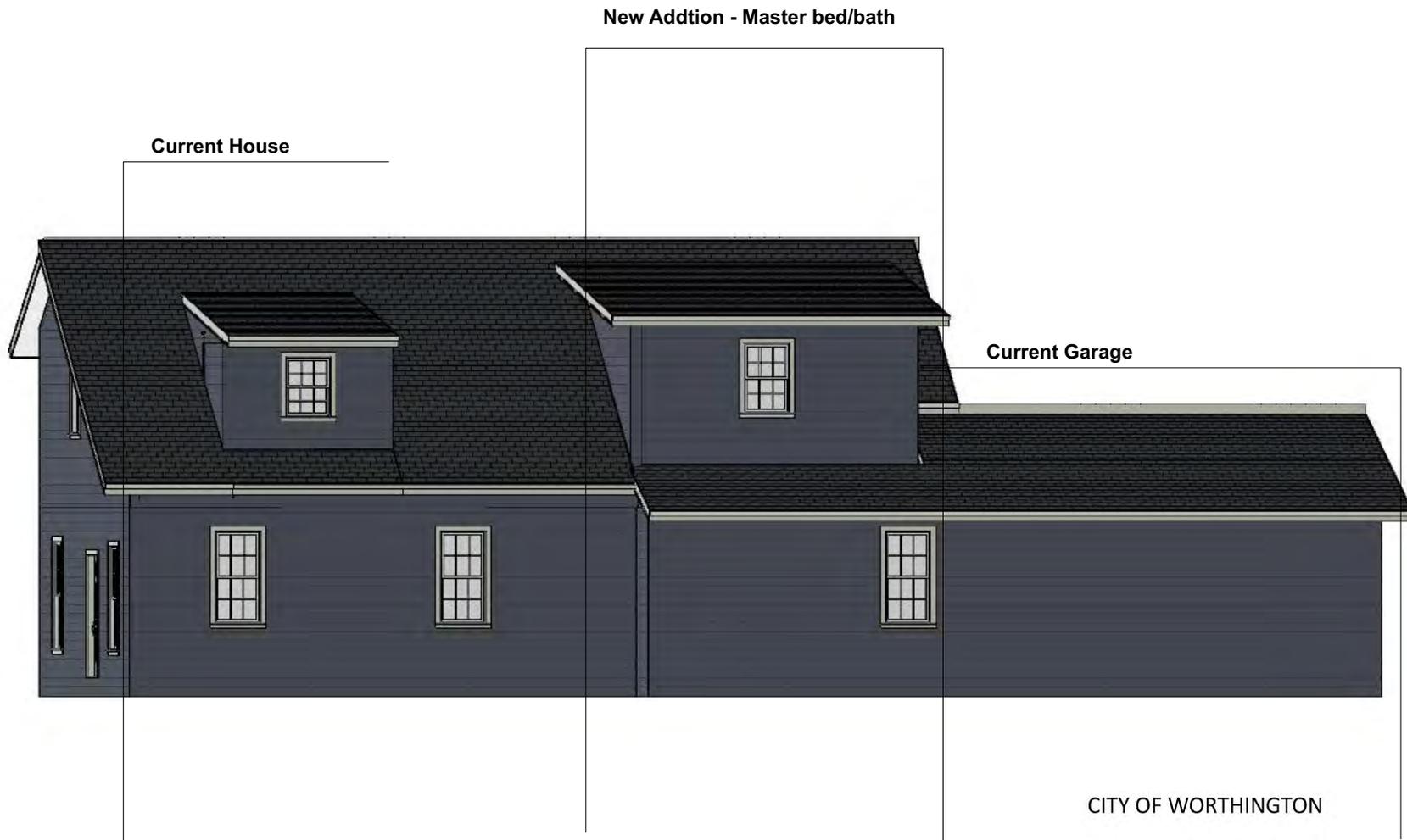
DATE:	
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SCALE:	
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SHEET:	
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784 Morning Street , Worthington, Ohio 43085

South side of new addtion



CITY OF WORTHINGTON

DRAWING NO. AR 69-19

DATE 07-02-2019

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Overview/Outside South

PROJECT DESCRIPTION:
Greene Addition

DRAWINGS PROVIDED BY:
Famiglia Homes

DATE:

SCALE:

SHEET:

CITY OF WORTHINGTON

DRAWING NO. AR 69-19

DATE 07-02-2019



Add new window to the left of the front door to be the same size as the window to the right of the front door (in 2015 when removing old siding to install new siding a window was found under the siding and was cover back up with the new siding. homeowners would like to add that window back to help visually clairfy that this is the front of the house.

--

NO.	DESCRIPTION	BY	DATE

PROJECT DESCRIPTION:	SHEET TITLE:
PROJECT	SHEET TITLE

PROJECT DESCRIPTION:	PROJECT
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DRAWINGS PROVIDED BY:	DESIGNER
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DATE:

SCALE:

SHEET:

A-1



Loaction of new addition

CITY OF WORTHINGTON

DRAWING NO. AR 69-19

DATE 07-02-2019

New Windows on the addition to have shutters that match what are currently on the home

CITY OF WORTHINGTON

DRAWING NO. AR 69-19

DATE 07-02-2019

White on white vinyl window
with grids



CITY OF WORTHINGTON

DRAWING NO. AR 69-19

DATE 06-14-2019



250 Series Double-Hung

Performance Data

Sizes	
Standard Sizes	S
Special Sizes Available Built on 1/8" Increments	O
Frames	
Nail Fin Only	O
Nail Fin with J-Channel	O
3-1/4" Block	S
Integral 5/8" Flange	O
Double-Wall Flush Flange (West Region Only)	O
Performance ₁	
Standard Performance	
Meets or Exceeds AAMA/WDMA Ratings	R-PG20 – R-PG35 Hallmark Certified
Air Infiltration (cfm / ft ² of frame @ 1.57 psf wind pressure) ₂	0.10
Design Pressure	20 – 35 psf
Water Penetration Resistance	3.14 – 5.43 psf
Performance Upgrade ₃	
Meets or Exceeds AAMA/WDMA Ratings	R-PG50 Hallmark Certified
Air Infiltration (cfm / ft ² of frame @ 1.57 psf wind pressure) ₂	0.10
Design Pressure	50 psf
Water Penetration Resistance	7.52 psf
Other Performance Criteria	
Forced Entry Resistance (Minimum Security Grade) ₄	10
Operating Force (lb) Initiate Motion / Maintain Motion (of Hallmark tested size and glazing) ₅	35

Sound Transmission Class and Outdoor-Indoor Transmission Class						
Frame Size Tested ₆	Glazing System				STC Rating	OITC Rating
	Overall Glazing Thickness	Exterior Glass Thickness	Interior Glass Thickness	Third Pane Thickness		
Double-Hung - Dual pane insulating Glass						
48" x 60"	1 1/16"	2.2mm	2.2mm	–	26	22
Double-Hung - triple-pane insulating glass						
48" x 60"	1"	3mm	3mm	3mm	28	24

CITY OF WORTHINGTON

DRAWING NO. AR 69-19

DATE 06-14-2019

S = Standard; O = Optional;

(1) Published performance data is for single unit only. See Design Data pages in this section for specific product performance class and grade values.

(2) Published performance data for air infiltration is determined by testing a minimum of four (4) products of NFRC model size. Testing is conducted in accordance with ASTM E283. Air infiltration ratings for products will differ by size. The performance data does not apply to combination assemblies unless noted. Actual product performance may vary for a number of reasons including installation and product care.

(3) The sash members may have metal reinforcement in the cavities of the extrusion to achieve the stated Performance Grade. The exterior appearance of the unit is unchanged.

(4) The higher the level, the greater the product's ability to resist forced entry.

(5) Glazing configurations may result in higher operational forces.

(6) ASTM E 1425 defines standard sizes for acoustical testing. Ratings achieved at that size are representative of all sizes of the same configuration.

The presence of low-e or argon have negligible effect on sound attenuation characteristics.



250 Series Double-Hung

Features and Options

Glazing (insulating glass)		Hardware	
Glazing Type		Color matched hardware	
Dual-pane insulating glass	S	S	
Triple-pane insulating glass	O	Sash Locks	
Insulated Glass Options / Low-E Types		Standard Cam Lock	
Advanced Low-E	S	Autolock	
NaturalSun Low-E	O	Tilt-Wash Cleaning	
SunDefense Low-E ₁	O	Tilt to interior on both sashes	
Bronze-tinted Advanced Low-E ₁	O	Screens	
Additional Glazing Options		Conventional black fiberglass - flat	
Annealed glass	S	Grilles	
Tempered glass	O	Grilles-Between-the-Glass₃	
Obscure glass ₂	O	3/4" Contour	
Gas Fill / High Altitude		5/8" flat	
Argon	O	1" Contour	
High altitude	O	Grille Patterns: Traditional, Prairie, Top Row, Custom - Equally Divided	
High altitude with argon ₁	O	Simulated-Divided-Light Grilles₁ (without spacer)	
SASH		7/8" contour profile	
Foam insulation	O	Grille Patterns: Traditional, Prairie, Top Row, Custom - Equally Divided	
Performance upgrade	O		
Interior / Exterior Color			
White Interior/White Exterior	S		
Almond Interior/Almond Exterior	O		
Fossil Interior/Fossil Exterior	O		
White Interior/Brown Exterior	O		
White Interior/Fossil Exterior	O		
White Interior/Black Exterior	O		
White Interior/Brick Red Exterior	O		
White Interior/Hartford Green Exterior	O		
White Interior/Morning Sky Gray Exterior	O		
White Interior/Poplar White Exterior	O		
White Interior/Portobello Exterior	O		
White Interior/Tan Exterior	O		

CITY OF WORTHINGTON
 DRAWING NO. AR 69-19
 DATE 06-14-2019

S = Standard; O = Optional
 (1) Not available with triple-pane glazing.
 (2) Contact your local Pella sales representative for current offering.



250 Series Double-Hung

Glazing Performance - Total Unit

Glass Thickness	Type of Glazing	NFRC Certified Product #	Glass (mm)		Gap Fill	Performance Values ¹				Shaded Areas Meet ENERGY STAR® Performance Criteria in Zones Shown									
			Ext.	Int.		U-Factor	SHGC	VLT	CR	U. S.				Canada ²					
										Zone				ER	Zone				
										N	NC	SC	S			1	2	3	
VENT - Dual-Pane																			
3/4"	Advanced Low-E IG	PEL-N-211-00054-00004	3	3	air	0.33	0.28	0.53	53										
	with SDL or grilles-between-the-glass	PEL-N-211-00054-00005				0.33	0.25	0.47	53										
3/4"	Advanced Low-E IG	PEL-N-211-00057-00004	3	3	argon	0.29	0.28	0.53	57										
	with SDL or grilles-between-the-glass	PEL-N-211-00057-00005				0.29	0.25	0.47	57										
3/4"	NaturalSun Low-E IG	PEL-N-211-00053-00004	3	3	air	0.33	0.49	0.59	53							25			
	with SDL or grilles-between-the-glass	PEL-N-211-00053-00005				0.33	0.44	0.53	53										
3/4"	NaturalSun Low-E IG	PEL-N-211-00056-00004	3	3	argon	0.30	0.49	0.59	56							28			
	with SDL or grilles-between-the-glass	PEL-N-211-00056-00005				0.30	0.44	0.53	56							25			
3/4"	SunDefense™ Low-E IG	PEL-N-211-00055-00004	3	3	air	0.32	0.21	0.49	54										
	with SDL or grilles-between-the-glass	PEL-N-211-00055-00005				0.32	0.19	0.43	54										
3/4"	SunDefense Low-E IG	PEL-N-211-00058-00004	3	3	argon	0.29	0.21	0.49	57										
	with SDL or grilles-between-the-glass	PEL-N-211-00058-00005				0.29	0.19	0.43	57										
VENT – with Foam Insulation																			
3/4"	Advanced Low-E IG	PEL-N-211-00069-00004	3	3	air	0.31	0.28	0.53	54										
	with SDL or grilles-between-the-glass	PEL-N-211-00069-00005				0.31	0.25	0.47	54										
3/4"	Advanced Low-E IG	PEL-N-211-00072-00004	3	3	argon	0.27	0.28	0.53	57							20			
	with SDL or grilles-between-the-glass	PEL-N-211-00072-00005				0.27	0.25	0.47	57							18			
3/4"	NaturalSun Low-E IG	PEL-N-211-00068-00004	3	3	air	0.31	0.49	0.59	53							27			
	with SDL or grilles-between-the-glass	PEL-N-211-00068-00005				0.31	0.44	0.53	53										
3/4"	NaturalSun Low-E IG	PEL-N-211-00071-00004	3	3	argon	0.28	0.49	0.59	56							31			
	with SDL or grilles-between-the-glass	PEL-N-211-00071-00005				0.28	0.44	0.53	56							28			
3/4"	SunDefense™ Low-E IG	PEL-N-211-00070-00004	3	3	air	0.30	0.21	0.49	54										
	with SDL or grilles-between-the-glass	PEL-N-211-00070-00005				0.30	0.19	0.43	54										
3/4"	SunDefense Low-E IG	PEL-N-211-00073-00004	3	3	argon	0.27	0.21	0.49	57							16			
	with SDL or grilles-between-the-glass	PEL-N-211-00073-00005				0.27	0.19	0.43	57										
Tinted Glazing																			
3/4"	Bronze Advanced Low-E IG	PEL-N-211-00057-00007	3	3	argon	0.29	0.27	0.39	57										
	with SDL or grilles-between-the-glass	PEL-N-211-00057-00008				0.29	0.25	0.35	57										
Tinted Glazing – with Foam Insulation																			
3/4"	Bronze Advanced Low-E IG	PEL-N-211-00072-00007	3	3	argon	0.27	0.27	0.39	57							19			
	with SDL or grilles-between-the-glass	PEL-N-211-00072-00008				0.27	0.25	0.35	57							18			

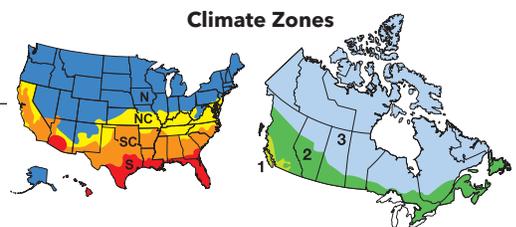
CITY OF WORTHINGTON

DRAWING NO. AR 69-19

DATE 06-14-2019

R-Value = 1/U-Factor
 SHGC = Solar Heat Gain Coefficient
 VLT % = Visible Light Transmission
 CR = Condensation Resistance
 ER = Canadian Energy Rating

(1) Glazing performance values are calculated based on NFRC 100, NFRC 200 and NFRC 500. ENERGY STAR® values are updated to 2016 (Version 6) criteria.
 (2) The values shown are based on Canada's updated ENERGY STAR® 2015 initiative. Based on unit size, some products will use 2.5mm glass that may have improved glazing performance from what is shown. See the Product Performance section for more detailed information or visit www.energystar.gov for Energy Star guidelines.





250 Series Double-Hung

Glazing Performance - Total Unit

Glass Thickness	Type of Glazing	NFRC Certified Product #	Glass (mm)			Gap Fill	Performance Values ¹				Shaded Areas Meet ENERGY STAR® Performance Criteria in Zones Shown							
			Ext.	Mid.	Int.		U-Factor	SHGC	VLT	CR	U. S.				Canada ²			
											Zone	ER	Zone					
VENT - Triple-Pane											N	NC	SC	S				
1"	Advanced Low-E Triple-pane IG	PEL-N-211-00059-00001	3	3	3	air	0.26	0.24	0.41	63					19			
	with Grilles-between-the-glass	PEL-N-211-00063-00001					0.27	0.21	0.36	63					16			
1"	Advanced Low-E Triple-pane IG	PEL-N-211-00061-00001	3	3	3	argon	0.23	0.24	0.41	65					22			
	with Grilles-between-the-glass	PEL-N-211-00065-00001					0.23	0.21	0.36	65					21			
1"	NaturalSun Low-E Triple-pane IG	PEL-N-211-00060-00001	3	3	3	air	0.27	0.42	0.52	62					28			
	with Grilles-between-the-glass	PEL-N-211-00064-00001					0.27	0.38	0.47	62					26			
1"	NaturalSun Low-E Triple-pane IG	PEL-N-211-00062-00001	3	3	3	argon	0.24	0.42	0.52	65					32			
	with Grilles-between-the-glass	PEL-N-211-00066-00001					0.24	0.38	0.47	65					29			
VENT – with Foam Insulation																		
1"	Advanced Low-E Triple-pane IG	PEL-N-211-00074-00001	3	3	3	air	0.24	0.24	0.41	63					21			
	with Grilles-between-the-glass	PEL-N-211-00078-00001					0.25	0.21	0.36	63					19			
1"	Advanced Low-E Triple-pane IG	PEL-N-211-00076-00001	3	3	3	argon	0.21	0.24	0.41	67					25			
	with Grilles-between-the-glass	PEL-N-211-00080-00001					0.21	0.21	0.36	67					23			
1"	NaturalSun Low-E Triple-pane IG	PEL-N-211-00075-00001	3	3	3	air	0.25	0.42	0.52	63					30			
	with Grilles-between-the-glass	PEL-N-211-00079-00001					0.25	0.38	0.47	63					28			
1"	NaturalSun Low-E Triple-pane IG	PEL-N-211-00077-00001	3	3	3	argon	0.22	0.42	0.52	66					34			
	with Grilles-between-the-glass	PEL-N-211-00081-00001					0.22	0.38	0.47	66					32			
VENT – with Structural Reinforcement																		
1"	Advanced Low-E Triple-pane IG	PEL-N-211-00059-00001	3	3	3	air	0.26	0.24	0.41	63					19			
	with Grilles-between-the-glass	PEL-N-211-00063-00001					0.27	0.21	0.36	63					16			
1"	Advanced Low-E Triple-pane IG	PEL-N-211-00061-00001	3	3	3	argon	0.23	0.24	0.41	65					22			
	with Grilles-between-the-glass	PEL-N-211-00065-00001					0.23	0.21	0.36	65					21			
1"	NaturalSun Low-E Triple-pane IG	PEL-N-211-00060-00001	3	3	3	air	0.27	0.42	0.52	62					28			
	with Grilles-between-the-glass	PEL-N-211-00064-00001					0.27	0.38	0.47	62					26			
1"	NaturalSun Low-E Triple-pane IG	PEL-N-211-00062-00001	3	3	3	argon	0.24	0.42	0.52	65					32			
	with Grilles-between-the-glass	PEL-N-211-00066-00001					0.24	0.38	0.47	65					29			
VENT – with Foam Insulation – with Structural Reinforcement																		
1"	Advanced Low-E Triple-pane IG	PEL-N-211-00089-00001	3	3	3	air	0.26	0.24	0.41	63					19			
	with Grilles-between-the-glass	PEL-N-211-00093-00001					0.26	0.22	0.36	63					18			
1"	Advanced Low-E Triple-pane IG	PEL-N-211-00091-00001	3	3	3	argon	0.22	0.24	0.41	66					24			
	with Grilles-between-the-glass	PEL-N-211-00095-00001					0.22	0.21	0.36	66					22			
1"	NaturalSun Low-E Triple-pane IG	PEL-N-211-00090-00001	3	3	3	air	0.26	0.42	0.52	62					29			
	with Grilles-between-the-glass	PEL-N-211-00094-00001					0.26	0.38	0.47	62					27			
1"	NaturalSun Low-E Triple-pane IG	PEL-N-211-00092-00001	3	3	3	argon	0.23	0.42	0.52	66					33			
	with Grilles-between-the-glass	PEL-N-211-00096-00001					0.23	0.38	0.47	66					31			

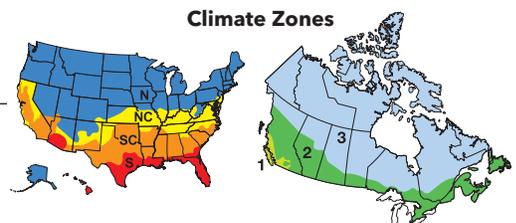
CITY OF WORTHINGTON

DRAWING NO. AR 69-19

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 VLT % = Visible Light Transmission
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 ER = Canadian Energy Rating

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 (2) The values shown are based on Canada's updated ENERGY STAR® 2015 initiative. Based on unit size, some products will use 2.5mm glass that may have improved glazing performance from what is shown. See the Product Performance section for more detailed information or visit www.energystar.gov for Energy Star guidelines.





250 Series Double-Hung

Glazing Performance - Total Unit

Glass Thickness	Type of Glazing	NFRC Certified Product #	Glass (mm)		Gap Fill	Performance Values ¹				Shaded Areas Meet ENERGY STAR® Performance Criteria in Zones Shown									
			Ext.	Int.		U-Factor	SHGC	VLT	CR	U. S.				Canada ²					
										Zone	ER	Zone							
VENT – Dual-Pane with Structural Reinforcement										N	NC	SC	S						
3/4"	Advanced Low-E IG	PEL-N-211-00054-00004	3	3	air	0.33	0.28	0.53	53										
	with SDL or grilles-between-the-glass	PEL-N-211-00054-00005				0.33	0.25	0.47	53										
3/4"	Advanced Low-E IG	PEL-N-211-00057-00004	3	3	argon	0.29	0.28	0.53	57										
	with SDL or grilles-between-the-glass	PEL-N-211-00057-00005				0.29	0.25	0.47	57										
3/4"	NaturalSun Low-E IG	PEL-N-211-00053-00004	3	3	air	0.33	0.49	0.59	53					25					
	with SDL or grilles-between-the-glass	PEL-N-211-00053-00005				0.33	0.44	0.53	53										
3/4"	NaturalSun Low-E IG	PEL-N-211-00056-00004	3	3	argon	0.30	0.49	0.59	56					28					
	with SDL or grilles-between-the-glass	PEL-N-211-00056-00005				0.30	0.44	0.53	56					25					
3/4"	SunDefense™ Low-E IG	PEL-N-211-00055-00004	3	3	air	0.32	0.21	0.49	54										
	with SDL or grilles-between-the-glass	PEL-N-211-00055-00005				0.32	0.19	0.43	54										
3/4"	SunDefense Low-E IG	PEL-N-211-00058-00004	3	3	argon	0.29	0.21	0.49	57										
	with SDL or grilles-between-the-glass	PEL-N-211-00058-00005				0.29	0.19	0.43	57										
VENT – with Foam insulation – with Structural Reinforcement																			
3/4"	Advanced Low-E IG	PEL-N-211-00084-00004	3	3	air	0.32	0.28	0.53	53										
	with SDL or grilles-between-the-glass	PEL-N-211-00084-00005				0.32	0.25	0.47	53										
3/4"	Advanced Low-E IG	PEL-N-211-00087-00004	3	3	argon	0.29	0.28	0.53	57										
	with SDL or grilles-between-the-glass	PEL-N-211-00087-00005				0.29	0.25	0.47	57										
3/4"	NaturalSun Low-E IG	PEL-N-211-00083-00004	3	3	air	0.33	0.49	0.59	53					25					
	with SDL or grilles-between-the-glass	PEL-N-211-00083-00005				0.33	0.44	0.53	53										
3/4"	NaturalSun Low-E IG	PEL-N-211-00086-00004	3	3	argon	0.29	0.49	0.59	56					29					
	with SDL or grilles-between-the-glass	PEL-N-211-00086-00005				0.29	0.44	0.53	56					27					
3/4"	SunDefense™ Low-E IG	PEL-N-211-00085-00004	3	3	air	0.32	0.21	0.49	54										
	with SDL or grilles-between-the-glass	PEL-N-211-00085-00005				0.32	0.19	0.43	54										
3/4"	SunDefense Low-E IG	PEL-N-211-00088-00004	3	3	argon	0.28	0.21	0.49	57										
	with SDL or grilles-between-the-glass	PEL-N-211-00088-00005				0.28	0.19	0.43	57										
Tinted Glazing – with Structural Reinforcement																			
3/4"	Bronze Advanced Low-E IG	PEL-N-211-00057-00007	3	3	argon	0.29	0.27	0.39	57										
	with SDL or grilles-between-the-glass	PEL-N-211-00057-00008				0.29	0.25	0.35	57										
Tinted Glazing – with Foam insulation – with Structural Reinforcement																			
3/4"	Bronze Advanced Low-E IG	PEL-N-211-00087-00007	3	3	argon	0.29	0.27	0.39	57										
	with SDL or grilles-between-the-glass	PEL-N-211-00087-00008				0.29	0.25	0.35	57										

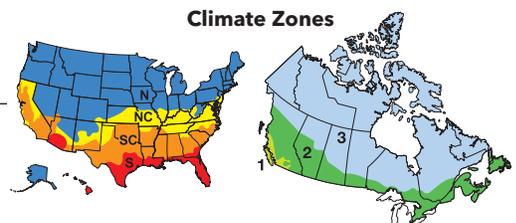
CITY OF WORTHINGTON

DRAWING NO. AR 69-19

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R-Value = 1/U-Factor
 SHGC = Solar Heat Gain Coefficient
 VLT % = Visible Light Transmission
 CR = Condensation Resistance
 ER = Canadian Energy Rating

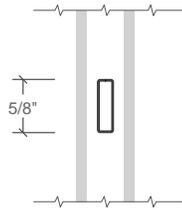
(1) Glazing performance values are calculated based on NFRC 100, NFRC 200 and NFRC 500. ENERGY STAR® values are updated to 2016 (Version 6) criteria.
 (2) The values shown are based on Canada's updated ENERGY STAR® 2015 initiative. Based on unit size, some products will use 2.5mm glass that may have improved glazing performance from what is shown. See the Product Performance section for more detailed information or visit www.energystar.gov for Energy Star guidelines.



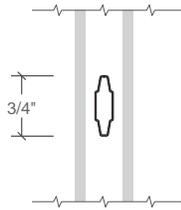


Grille Profiles

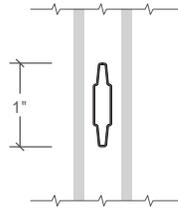
Grilles-Between-the-Glass



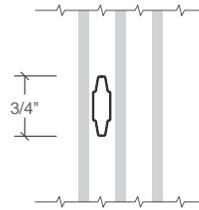
5/8" Flat Grille



3/4" Contour

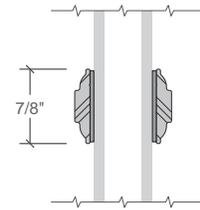


1" Contour



3/4" Contour - Triple

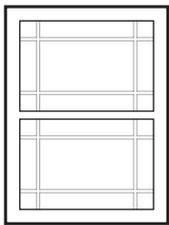
Simulated-Divided-Light Grilles without spacer



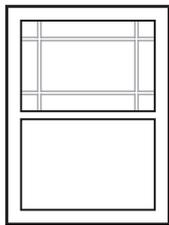
7/8" Contour

Grille Patterns

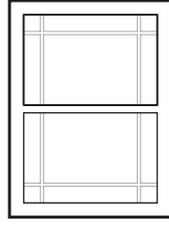
Prairie Lite Patterns



9-Lite Prairie



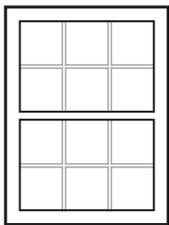
6-Lite Prairie



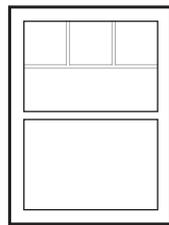
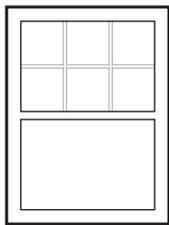
Prairie

- Specify upper or both sash
- Approximately 4" from edge of sash to center of bar
- Minimum actual glass is 13"

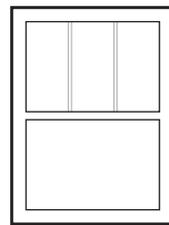
Other Available Patterns



Traditional



Top Row



Custom - Equally Divided

Traditional

- Specify upper or both sash
- Specify number of lites
- Grilles must be equally divided on visible glass
- Minimum 6" x 6" center-to-center

Top Row

- Standard visible glass to separator bar must be $\leq 1/2$ upper actual glass

CITY OF WORTHINGTON

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City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Case # AR 72-19 Date Received 2-26-19 Fee \$200.00 Meeting Date 07-25-19 Filing Deadline 07-12-19 Receipt # 107195

- 1. Property Location 6699 N. High Street, Worthington, OH
2. Present/Proposed Use Funeral 43085
3. Zoning District C-3
4. Applicant Schoedinger Funeral + Cremation Svc Address 229 E. State St Col 43215 Phone Number(s) 614-429-5755 Randy Schoedinger
5. Property Owner JAVIO - Randy Schoedinger Address 229 E. State St Col 43215 Phone Number(s) 614-429-5755
6. Project Description Interior remodel of Reception Center and construction of a new exterior deck
7. Project Details: a) Design Azek decking material w/power awning b) Color Coastline c) Size Approx. 44' x 37' d) Approximate Cost \$350,000 Expected Completion Date 12-30-19

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME: The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Randy Schoedinger Applicant (Signature)

5/1/19 Date

Randy Schoedinger Property Owner (Signature)

5/1/19 Date

Abutting Property Owners
for
6699 N. High St.

Ethan Allen	6767 N. High St5.	Worthington, OH 43085
All Saints Evangelical Lutheran Church	6760 N. High St.	Worthington, OH 43085
Anthem Inc.	6740 N. High St.	Worthington, OH 43085
Christine Miller	4161 Rowanne Rd.	Columbus, OH 43214
Matthew & Brooke Reid	6680 Hayhurst St.	Worthington, OH 43085
David & Martha Werner	6690 Hayhurst St.	Worthington, OH 43085
Palmer Moore	6700 Hayhurst St.	Worthington, OH 43085
Michael & Teresa Mazeika	6710 Hayhurst St.	Worthington, OH 43085
Thomas Gjostein	6720 Hayhurst St.	Worthington, OH 43085
John & Shannon Kemp	6730 Hayhurst St.	Worthington, OH 43085



John A. Schoedinger
David S. Schoedinger
Michael S. Schoedinger
J. Randall Schoedinger
Kevin D. Schoedinger

**Executive Offices
Midtown Chapel**
229 East State Street
Columbus, Ohio 43215
614.224.6105

Circleville Chapel
151 East Main Street
Circleville, Ohio 43113
740.474.3750

East Chapel
5360 East Livingston Avenue
Columbus, Ohio 43232
614.861.6268

Grove City Chapel
3920 Broadway
Grove City, Ohio 43123
614.875.6333

Hilltop Chapel
3030 West Broad Street
Columbus, Ohio 43204
614.279.8675

Linden Memorial Chapel
2741 Cleveland Avenue
Columbus, Ohio 43224
614.267.8363

Newark Chapel
179 Granville Street
Newark, Ohio 43055
740.345.9714

North Chapel
5554 Karl Road
Columbus, Ohio 43229
614.436.9220

Northeast Chapel
1051 East Johnstown Road
Gahanna, Ohio 43230
614.939.4558

Northwest Chapel
1740 Zollinger Road
Columbus, Ohio 43221
614.457.5481

Worthington Chapel
6699 North High Street
Worthington, Ohio 43085
614.848.6699

June 10, 2019

To: City of Worthington

RE: Schoedinger Funeral Home

Schoedinger Funeral Home is proposing creating a special place for families experiencing a loss. We are realizing more and more families are wanting a more non traditional type of service, including food and drink. The ability to have natural light and outdoor space adds a great deal of customer satisfaction. By redesigning a currently unused space in our facility and adding an outside deck area, we will be able to meet the needs of the changing consumer. This space will have new windows, French doors, audio visual equipment, catering and food space, a water element, and an indoor/outdoor fireplace.

We anticipate the response to be overwhelmingly positive and anticipate service groups and other non-profits will want to use the space for morning meetings and we are happy to donate the space for such meetings.

Sincerely

Randy Schoedinger

www.schoedinger.com





AVANTE® collection

The Avante is the perfect choice to modernize any home; transforming not only garages, it can also be used as an indoor loft partition or a versatile solarium door.

CITY OF WORTHINGTON

DRAWING NO. AR 72-19

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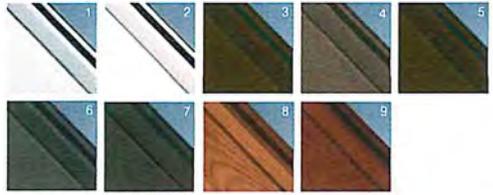
Aluminum and glass combine to create a sleek, contemporary look. Many window options are available to control the degree of light transmission and privacy.

STYLE AND CONSTRUCTION



- Aluminum frame provides a virtually maintenance-free, long-lasting door.
 - Tempered glass, acrylic or solid aluminum panel options. (See panel options on page 9.) Insulated glass is also available for increased energy efficiency.
 - Integral reinforcing fin provides increased strength and longevity.
 - Heavy-duty steel ball bearing rollers with nylon tires provide quiet operation.
- See your Clopay Dealer for WindCODE® availability.*

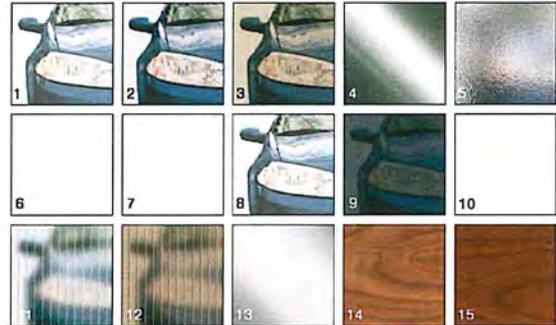
FRAME/SOLID PANEL COLOR OPTIONS



- 1 Clear Aluminum (Anodized)
- 2 Standard White
- 3 Bronze (Painted)
- 4 Chocolate (Painted)
- 5 Bronze (Anodized)
- 6 Black (Anodized)
- 7 Dark Bronze (Anodized)
- 8 Ultra-Grain® Cherry Light Finish (Aluminum Panel)
- 9 Ultra-Grain® Cherry Dark Finish (Aluminum Panel)

Due to the anodizing process, color variation may occur. The use of "Bronze (Painted)" is recommended for a more consistent bronze finish color. Custom colors available.

GLASS/PANEL OPTIONS



- 1 Clear Glass*
 - 2 Gray Tinted Glass*
 - 3 Bronze Tinted Glass*
 - 4 Mirrored Glass*
 - 5 Obscure Glass*
 - 6 White Laminate Glass
 - 7 Frosted Glass* or Acrylic
 - 8 Clear Acrylic
 - 9 Gray Acrylic
 - 10 White Acrylic
 - 11 Clear Polygal®
 - 12 Bronze Polygal®
 - 13 Clear Anodized (Aluminum Panel)
 - 14 Ultra-Grain® Cherry Light Finish (Aluminum Panel)
 - 15 Ultra-Grain® Cherry Dark Finish (Aluminum Panel)
- *Glass is tempered

Glass available in single pane or insulated. White laminated and mirrored glass not available insulated. Panels can be aluminum to match the aluminum frame. Glass/acrylic panels may be combined with aluminum panels. Custom glass and colors available. See your Clopay Dealer for details. Acrylic windows require special cleaning. Never use products that contain ammonia or petroleum products to clean acrylic. Please visit clopaydoor.com/acrylic for complete details. See pages 30 - 31 for more information regarding Ultra-Grain® finishes.

WARRANTIES 	HARDWARE Attractive color-matched aluminum grip handles.
-----------------------	--



Y-3
on wall
of Deck

DIMENSIONAL INFORMATION

Height	23.50"
ADA Compliant	No
	7.25"W X 13.00"H
Width	11.00"
Extension	14.25"
Top To Center	6.50"

SHIPPING INFORMATION

Carton 1	29.25" x 13.75" x 25.50"
Carton 1 Weight	23.54lb.
Shipping Method	UPS

LAMPING INFORMATION



Bulb 1	No
(4) 60 Watt Max 120	
Bulb Included	E12 Candelabra
Socket Type	Base
UL Rating	WET

AVAILABLE FINISHES

Aged Pewter

CITY OF WORTHINGTON

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DATE 06-26-2019

JOB/LOCATION

QUANTITY

NOTES

Charlemagne

Product ID P4435



TROY LIGHTING

Est. 1963



P
post mount
of deck

DIMENSIONAL INFORMATION

Height	20.50"
ADA Compliant	No
Diameter	8.50"

SHIPPING INFORMATION

Carton 1	21.00" x 11.00" x 23.75"
Carton 1 Weight	12.76lb.
Shipping Method	UPS

LAMPING INFORMATION



Bulb 1	
(3) 60 Watt Max 120	
Bulb Included	No
Socket Type	E12 Candelabra Base
UL Rating	WET

AVAILABLE FINISHES

Aged Pewter

CITY OF WORTHINGTON
DRAWING NO. AR 72-19
DATE 06-26-2019

JOB/LOCATION

QUANTITY

NOTES

Troy Lighting | 14508 Nelson Ave E, City of Industry, CA 91744 | troylighting.hvlgroup.com

PIER MOUNTS

Cast Aluminum

Troy cast aluminum pier mounts are sculpted for that finishing touch.

Pier mount for P fixture



PM8680

6"W x 3 1/2"H
MM: 152 W 89 H



PM4942

8"W x 4"H
MM: 203 W 102 H



PM4941

8 1/2"W x 3 3/4"H
MM: 216 W 95 H



PM4948

5 1/2"W x 2 1/4"H
MM: 140 W 57 H



PM8420

8 1/2"W x 8 3/4"H
MM: 216 W 222 H



PM8685

9"W x 4 1/2"H
MM: 229 W 114 H
SURFACE MOUNT POST ADAPTER

When ordering, include collection name. Add finish to mount item number. For Coastal Finish, add -C suffix. EXAMPLE: Verona PM4941MB-C

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EARLY ELECTRIC LAMPS

Incandescent



60W

LB-60

2.25"OD x 5.5"MOL
mm: 57 x 136
60W, 130V
E26 Med Base

ORDER:
LB60-6 (6 pack)
LB60-48 (48 pack)



40W

LB-40

1" x 3.625" MOL
25 x 92 mm
40W, 130V
E12 Cand Base

ORDER:
LB40-12 (12 pack)



40W Flame Tip

LB-40-FT

1" x 3.625" MOL
mm 25 x 92
40W, 130V
E12 Cand Base

ORDER:
LB40-FT-12 (12 pack)

LED



6W

LB-6W-LED

2.25"OD x 5.5"MOL
mm: 57 x 136
6W 120V LED
2200k 400 lumens
E26 Med Base

ORDER:
LB6W-6 (6 pack)
LB6W-5.5-12 (12 pack)



3W

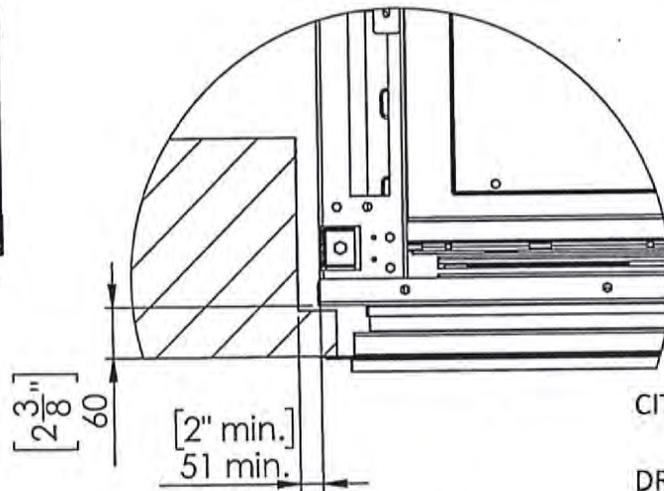
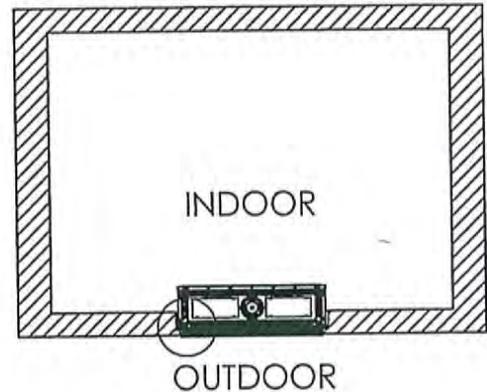
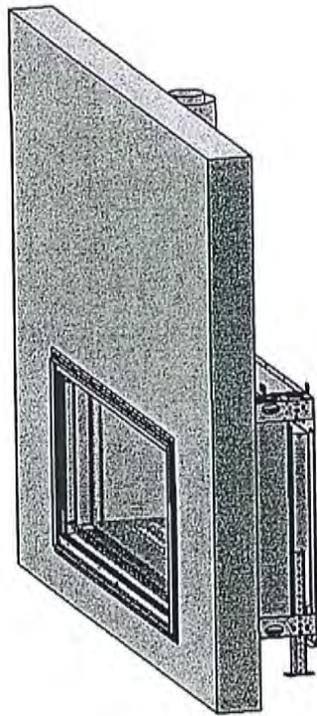
LB-3W-LED

1" x 3.625" MOL
mm 25 x 92
3W 120V LED
2200k 180 lumens
E12 Cand Base

ORDER:
LB3W-12 (12 pack)



Appliance Location and Specifications



CITY OF WORTHINGTON

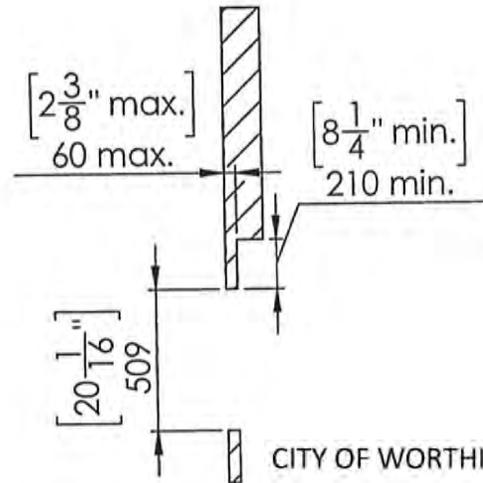
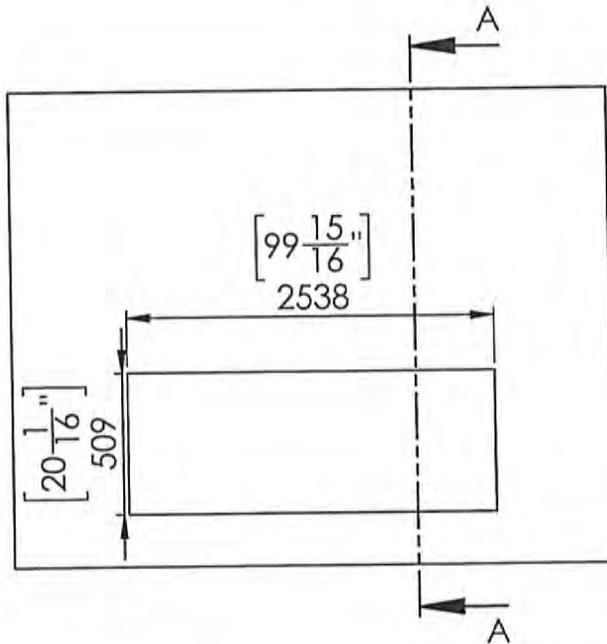
DRAWING NO. AR 72-19

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Specifications for Appliance Flare See Through 100

Factor	NG	LPG
Burner Type	55,105,55	55,105,55
Orifice	550,1200,550	180,260,180
BTU Max.	60000	60000
BTU min.	32500	25500
Kw/h	17.5k	17.5k
Chimney DIA.	5X8	5X8
Manifold Pressure[w.c]	4.4	7.4
Efficiency rate	81	76
Glass Size Length\Width	2520.5 X 420 mm	99" 1/4 X 16" 8/16'
Appliance Weigh	270Kg	595lb

External Cement Board Opening

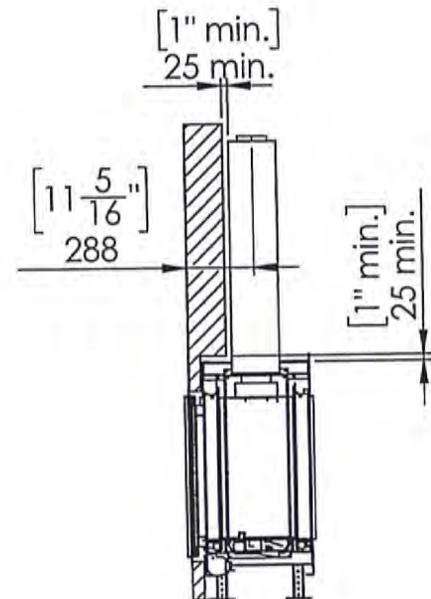
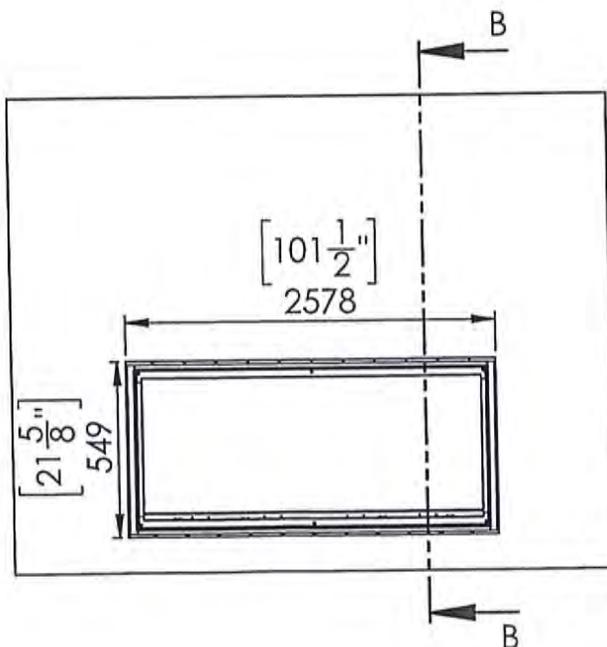


CITY OF WORTHINGTON

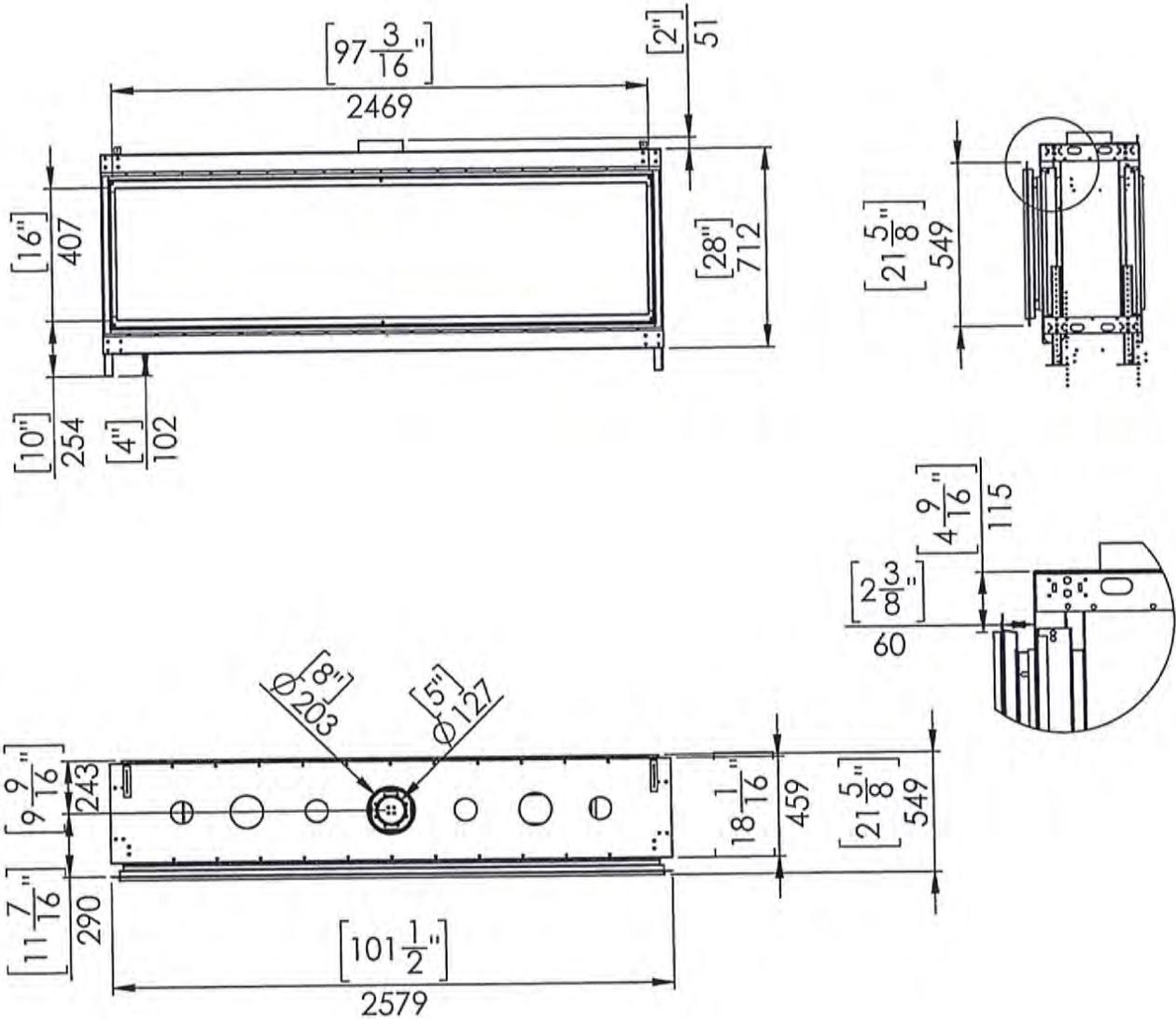
DRAWING NO. AR 72-19

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Outdoor Kit - External Frame



FLARE See Through 100 Outdoor

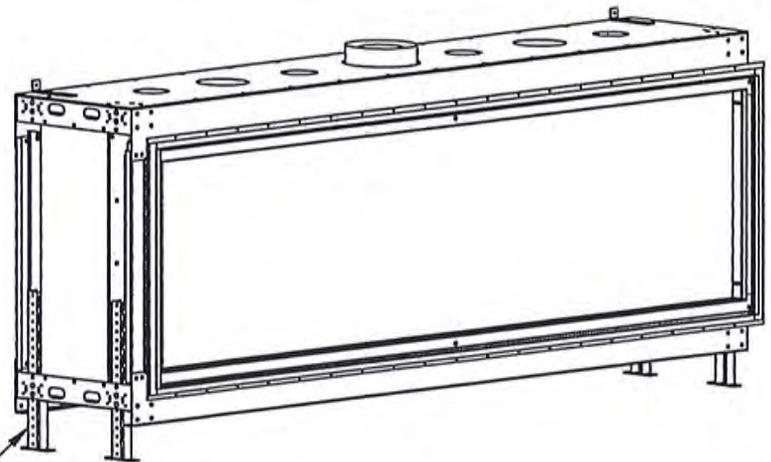


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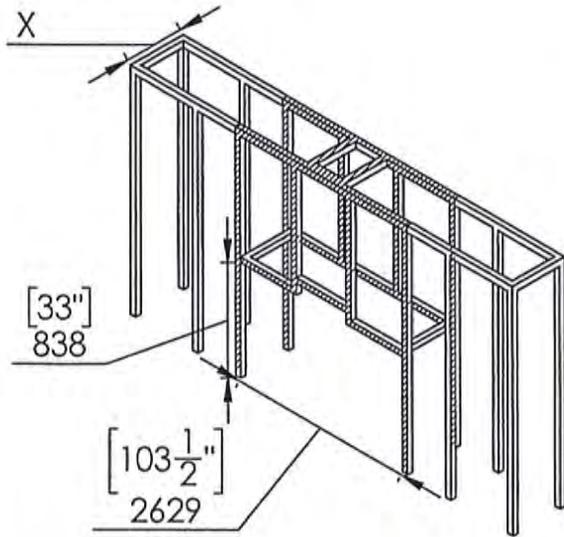
DATE 06-26-2019

Telescopic legs ranges
(from bottom of glass): 10"-19"



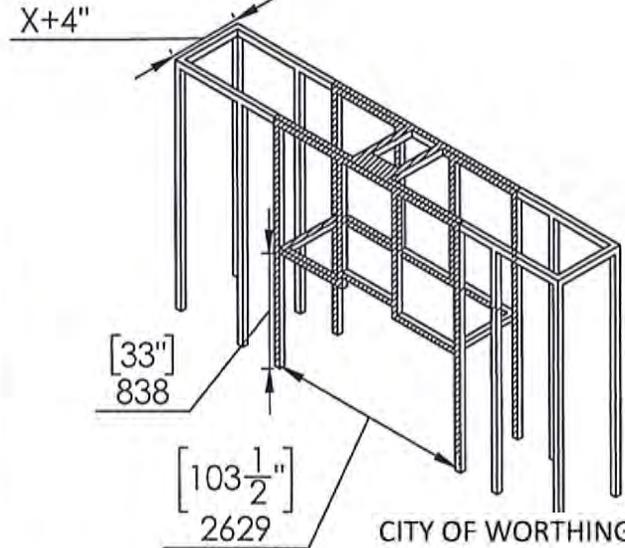
Flat installtion - option 1

Metal studs **surrounding all sides** of Fireplace



▨ Metal stud

Recess installtion - option 1



▨ Metal stud

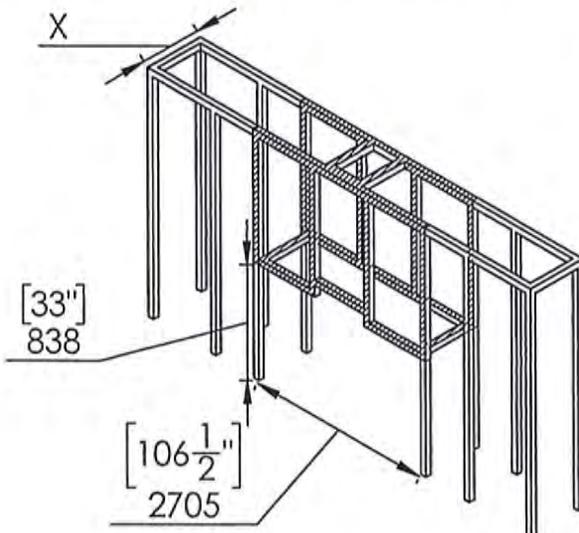
CITY OF WORTHINGTON

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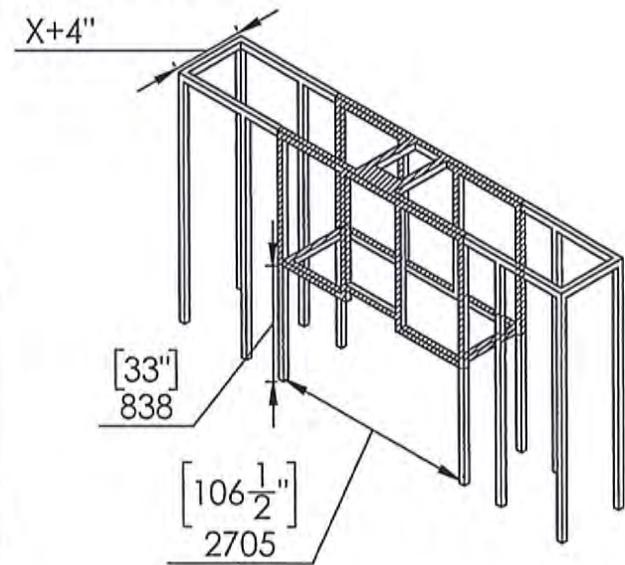
Flat installtion - option 2

Metal studs **above** the Fireplace **only**



▨ Metal stud
□ Coverd Wood stud

Recess installtion - option 2



▨ Metal stud
□ Coverd Wood stud



**OWNER'S MANUAL
& INSTALLATION
INSTRUCTIONS**

*Do Not Discard,
Retain for Future Reference*

**VISTA® Awnings,
Motorized Awnings**

Motorized XL Awnings

**WARNING:
FAILURE TO FOLLOW THESE
INSTRUCTIONS COULD
RESULT IN
PERSONAL INJURY!**

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For Technical support visit us at www.sunsetter.com/ownerscorner,
e-mail at contactus@sunsetter.com or call Toll Free 800-670-7071 • Fax 877-224-4944

Awning Installation Instructions

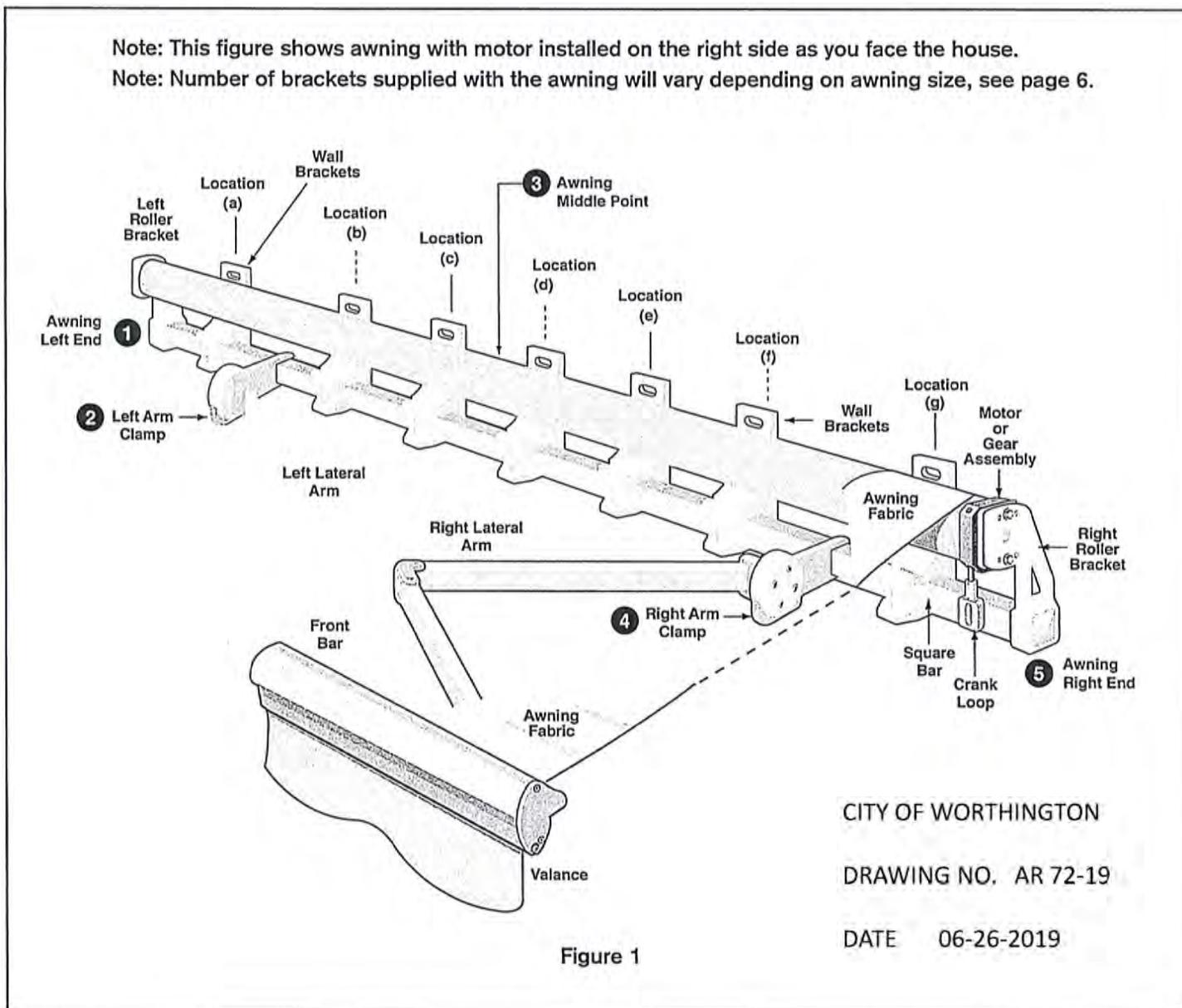
WARNING: FAILURE TO FOLLOW THESE INSTRUCTIONS COULD RESULT IN PERSONAL INJURY!

WARNING: DO NOT REMOVE THE PLASTIC SAFETY SLEEVES FROM THE LATERAL ARMS UNTIL INSTRUCTED TO DO SO.

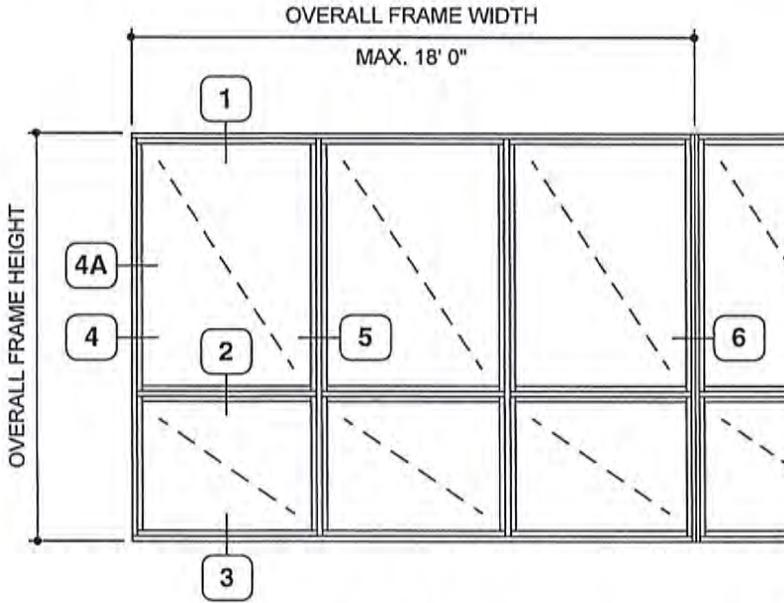
WARNING: NEVER ATTEMPT TO REPAIR OR DISSASSEMBLE ANY PART OF THE AWNING WITHOUT FOLLOWING REPLACEMENT PART PROCEDURES SUPPLIED BY THE MANUFACTURER. TRYING TO DO SO WITHOUT PROPER INSTRUCTIONS COULD RESULT IN PERSONAL INJURY!

Before Starting

1. Before beginning, please familiarize yourself with the components of the awning as shown in Figure 1, and the supplied fasteners/parts shown on pages 6 & 7. Find the mounting brackets (wall or soffit) in the package (they are separated from the awning itself). If you are mounting the awning on a soffit, please go to Appendix C on page 19 for this type of installation.

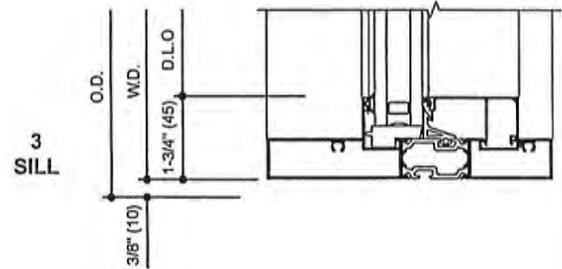
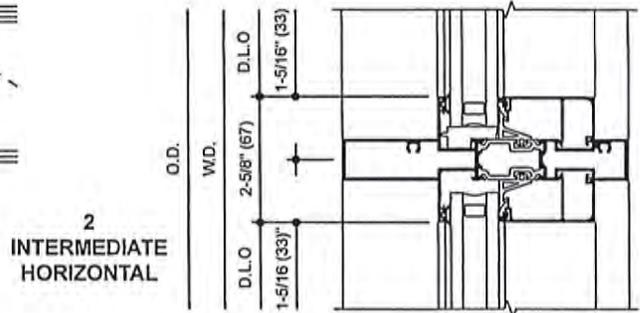
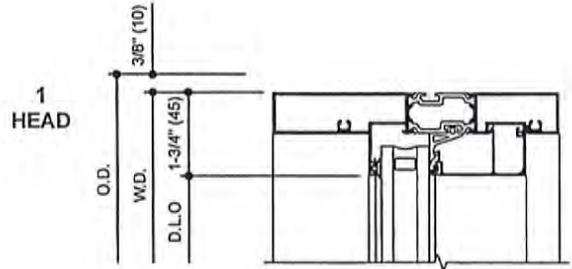


Additional information and CAD details are available at www.kawneer.com



TYPICAL ELEVATION

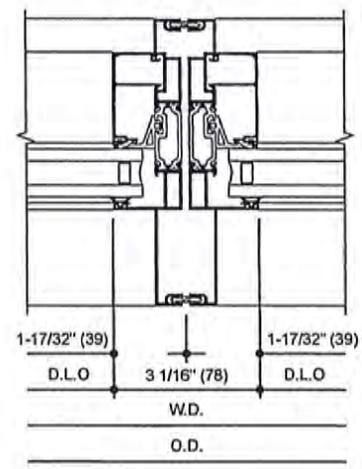
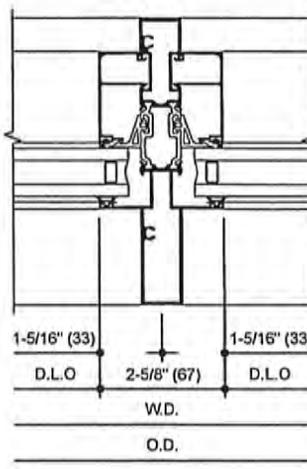
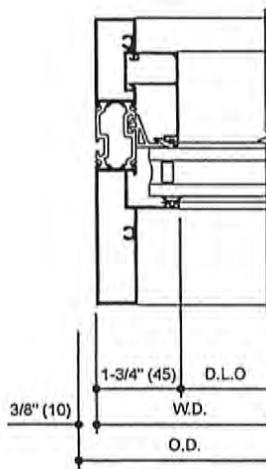
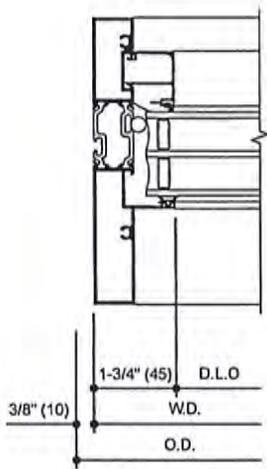
Log onto www.kawneer.com for other configurations



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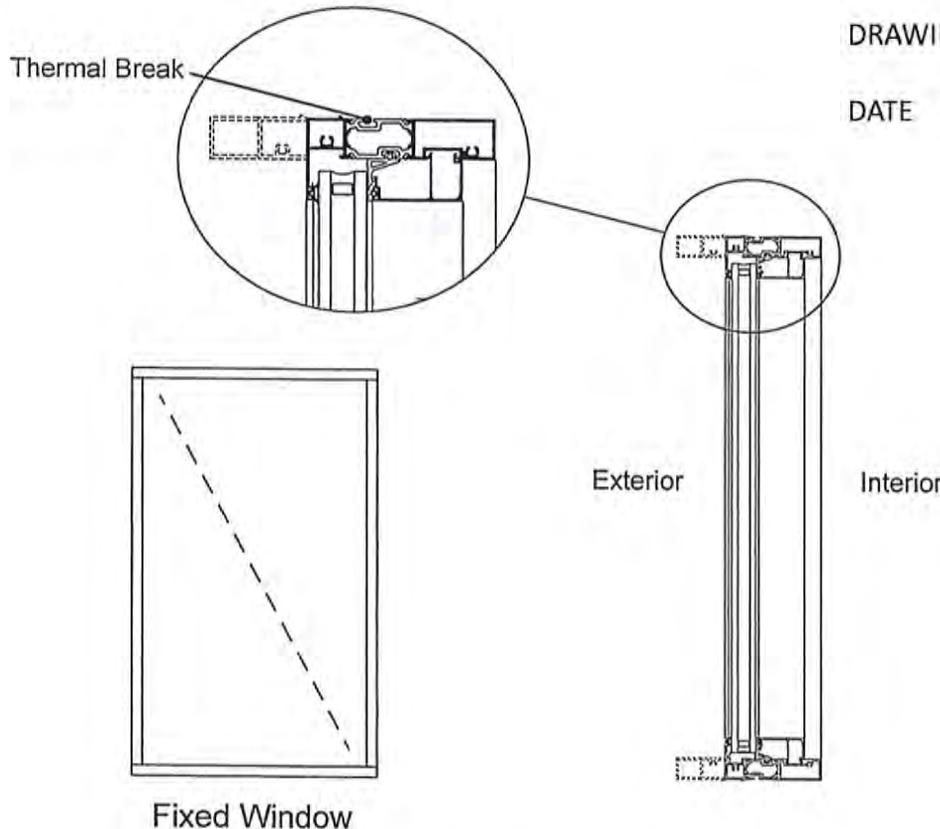
Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

© 2014 Kawneer Companies, Inc.

Features

- Architectural Grade Commercial Window
- Tested to US and Canadian Standards
- Polyamide Thermal Break
- Tubular Profiles
- Optional "Top Hat" Accent Feature
- Rain Screen and Pressure Equalized
- Accommodates Air and / or Vapor barrier
- Accommodates Projected and Casement Vents
- Field Dry Glazed
 - 1" dual glazing (RSPE with gasket)
 - 1-3/4" triple glazing (RSPE with gasket or silicone heel bead)
- Interior Applied Glazing Bead
- Architectural Anodized Finishes and Applied Coatings
- Interior and Exterior Dual Finish Options
- Two Year Manufacturer's Warranty



CITY OF WORTHINGTON
DRAWING NO. AR 72-19
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For specific product applications,
consult your Kawneer representative.

Laws and uniformly and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© 2014, Kawneer Company, Inc.

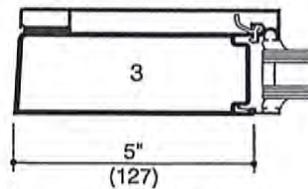
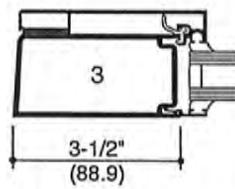
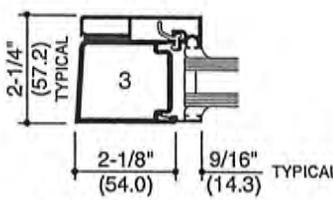
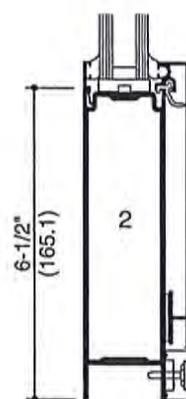
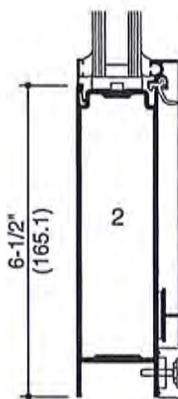
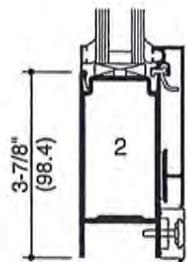
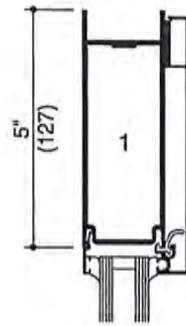
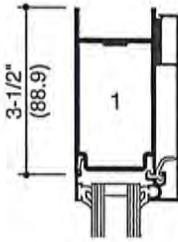
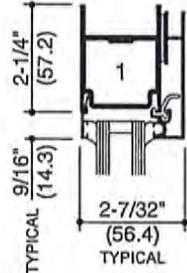
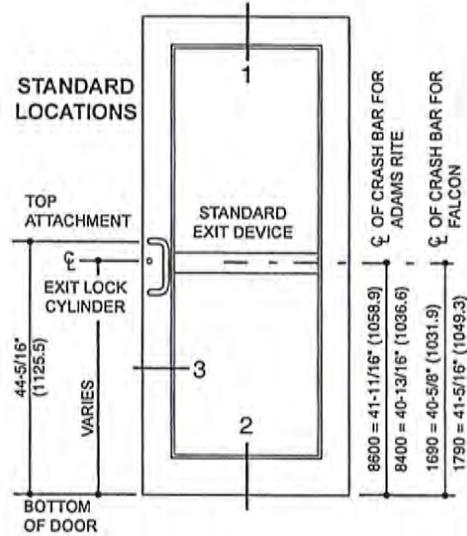
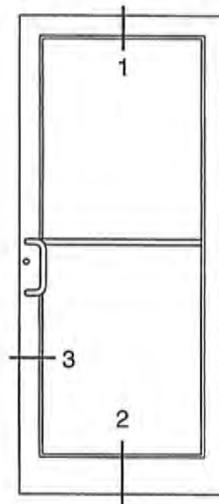
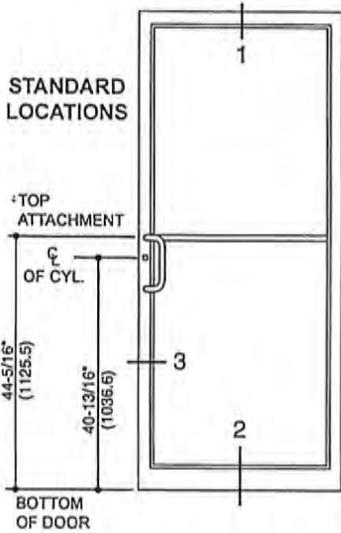
Additional information and CAD details are available at www.kawneer.com

DATE 06-26-2019

260 NARROW STILE

360 MEDIUM STILE

560 WIDE STILE



SINGLE ACTING

SINGLE ACTING

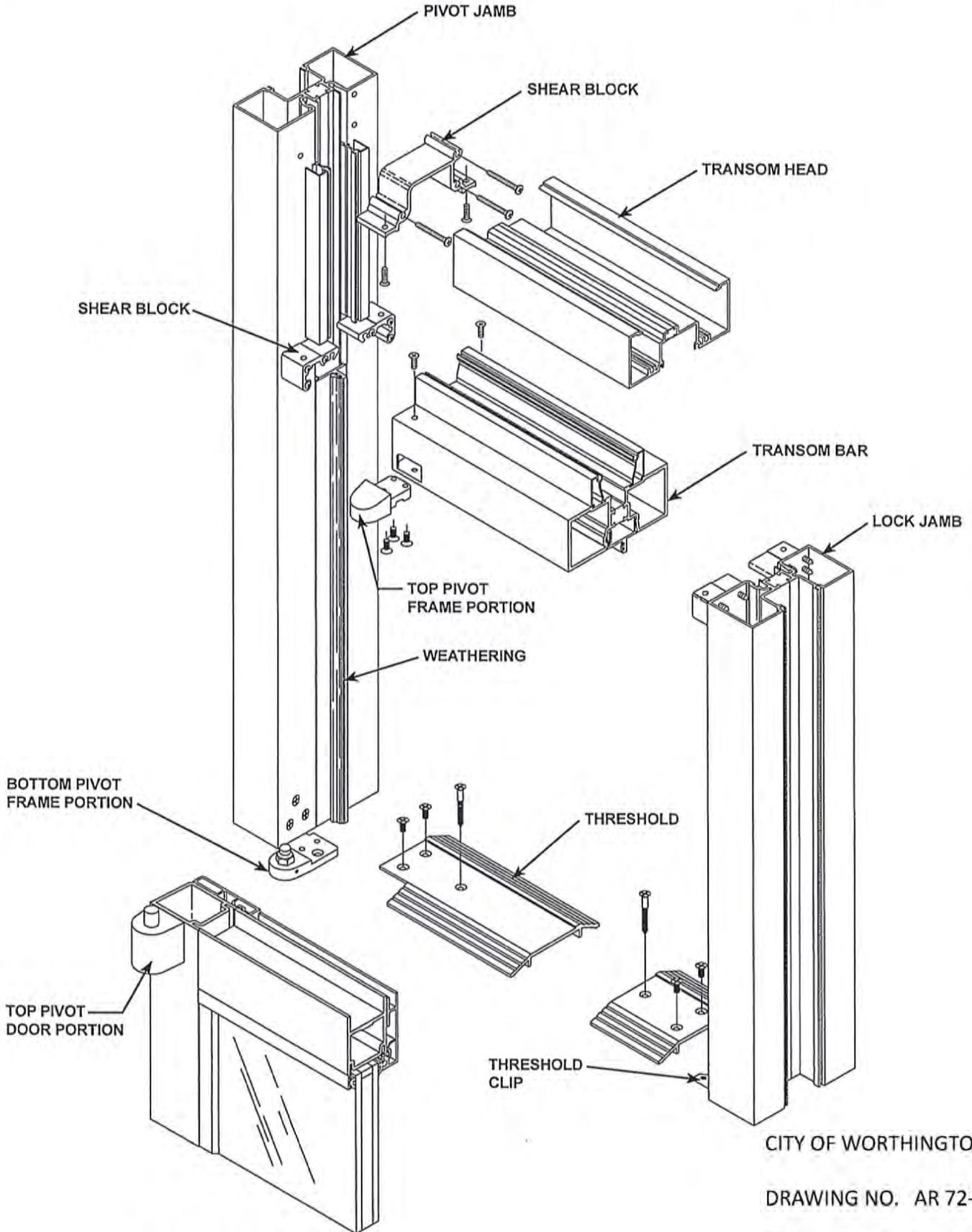
SINGLE ACTING

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc. 2015

Let's discuss safety and safety labels governing the use of Kawneer products. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configurations without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2015



INSULCLAD™ 260 DOOR

CITY OF WORTHINGTON

DRAWING NO. AR 72-19

DATE 06-26-2019

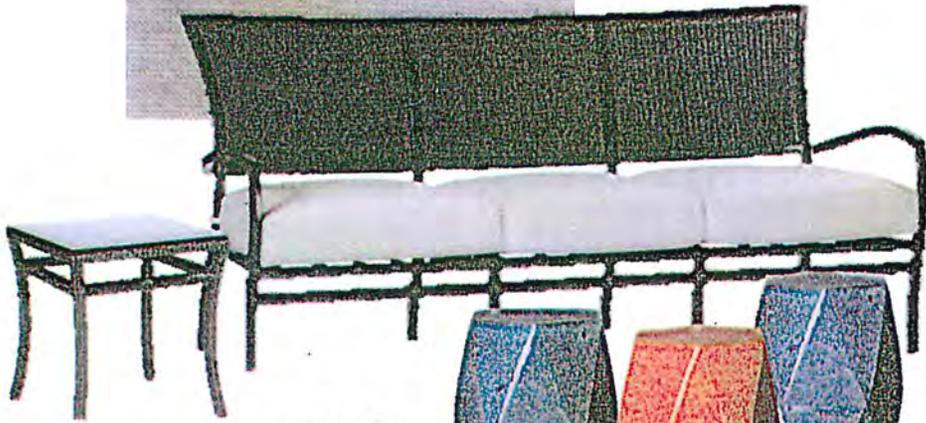
Patio furniture and lighting



Sofa cushions & pillows



Chair pillow



E-Sofas-
2 total

G-End tables
4 total



H-Ceramic tables
6 total



F-Chairs
4 total

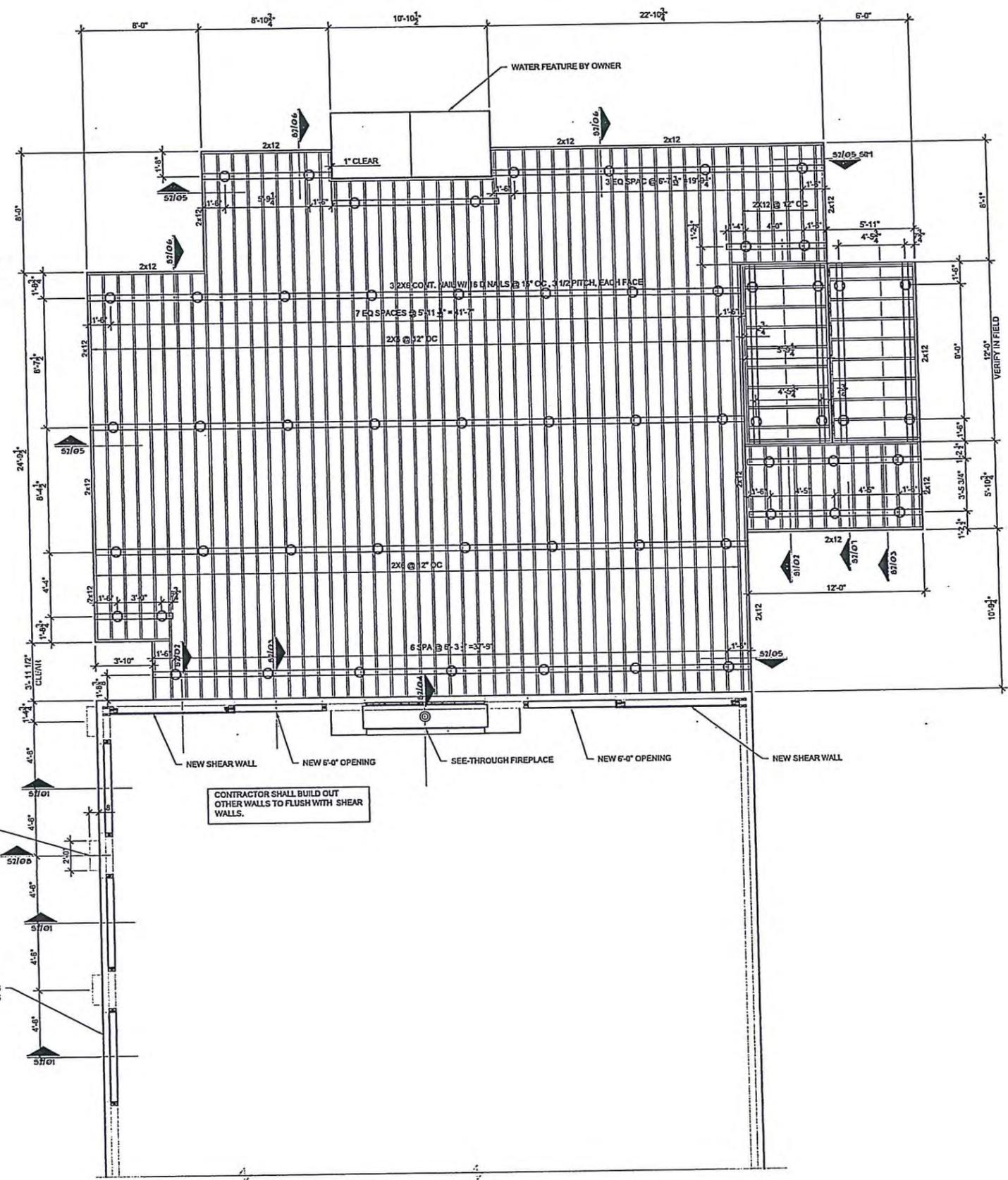


J- 36" diameter
Bar height table
3 total

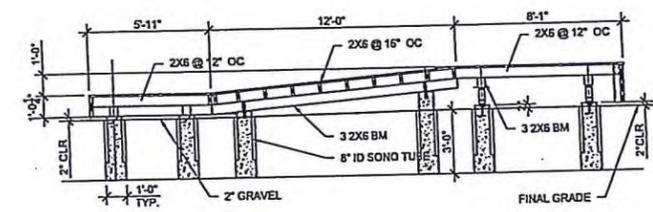
I-Bar stools
19 total

Z:\Shared Documents\11846 JST Schoedinger Worthington Chapel\Sheet\Chapel Deck\Sheet.dwg (JST) Plot File Name: Worthington Chapel Deck.dwg

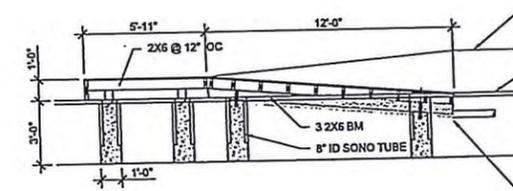
ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED



01 CHAPEL FIRST FLOOR & DECK
SCALE 1/4" = 1'-0"



02 SECTION THRU RAMP
SCALE 1/4" = 1'-0"



03 SECTION THRU RAMP
SCALE 1/4" = 1'-0"

EXCAVATE 2' BELOW 3x6 BEAM AND FILL WITH FREE DRAINING GRADE. PROVIDE 4\"/>



JST ARCHITECTS
ARCHITECTURE | PLANNING | MAUSOLEUM | CEMETERY INTERIORS
WWW.JSTARCHITECTS.COM
J. STUART TODD, INC.
2019 WELBORN STREET, SUITE 101, DALLAS, TEXAS 75219
© JSTUART TODD, INC.



SCHOEDINGER WORTHINGTON CHAPEL
INTERIOR REMODEL AND NEW TERRACE
COLUMBUS, OHIO

CITY OF WORTHINGTON

DRAWING NO. AR 72-19

DATE 06-26-2019

SHEET NO.

S1

JOB NUMBER: 17269

GENERAL NOTES

BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC) 2012 ED.

DESIGN GRAVITY LOADS

G1. DECK LIVE LOAD (REDUCABLE) 30 PSF

G2. GROUND SNOW LOAD (Pg) 20 PSF

DESIGN WIND LOAD:

W1. 3 SECOND WIND GUST SPEED: Vult 115 MPH

W2. WIND IMPORTANCE FACTOR (I=1.0) OCCUPANCY CATEGORY = II

W3. WIND EXPOSURE B

W4. INTERNAL PRESSURE COEFFICIENT + 0.18

W5. COMPONENTS AND CLADDING 20 PSF

GENERAL CONDITIONS

G1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND SHALL BE RESPONSIBLE FOR CONDITIONS OF ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.

G2. DISCREPANCIES AND/OR VARIATIONS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT.

G3. DETAILS SHOWN ON DRAWINGS APPLY AT ALL LIKE CONDITIONS.

G4. ALL MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STANDARDS AND TO THE APPLICABLE PROVISIONS OF THE GOVERNING BUILDING CODE.

G5. THESE DRAWINGS SHOW ONLY REPRESENTATIVE AND TYPICAL DETAILS TO ASSIST THE CONTRACTOR. THE DRAWING DOES NOT ILLUSTRATE EVERY CONDITION. ALL ATTACHMENTS, CONNECTIONS, FASTENINGS, ETC., SHALL BE PROPERLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

G6. THE USE OF REPRODUCTIONS OF THESE CONTRACT DRAWINGS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES HIS ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATED HI

CONCRETE

C1. CONCRETE WORK SHALL BE EXECUTED IN STRICT ACCORDANCE WITH THE LATEST AMERICAN CONCRETE INSTITUTE BUILDING CODE (ACI 318-05)

C2. CONCRETE SPECIFICATIONS SHALL BE AS FOLLOWS:

LOCATION	28 DAY STRENGTH	AGGREGATE	SUMP
PIERS	3000 PSI	HR	5'-7"

PORTLAND CEMENT SHALL CONFORM TO ASTM C-150. AGGREGATE SHALL CONFORM TO ASTM C-33 (HR) ALL CONCRETE SHALL BE PROPORTIONED TO HAVE A MAXIMUM WATER/CEMENT RATIO OF 0.55

C3. JOB SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE FABRICATION OF MATERIALS.

REINFORCEMENT

R1. ALL REINFORCEMENT SHALL CONFORM TO ASTM A-615 GRADE 60.

R2. REINFORCING STEEL SHALL BE DESIGNED, DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST ACI DETAILING MANUAL (SP-17) AND CSRI MANUAL OF STANDARD PRACTICE.

CONCRETE ANCHORS AND SHEAR CONNECTORS

A1. POST INSTALLED CONCRETE ANCHORS SHALL BE MANUFACTURED BY H.E. T. SIMPSON STRONG TIE OR APPROVED EQUAL. INSTALLATION SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS. RATED LOAD CAPACITIES SHALL BE CALCULATED IN ACCORDANCE WITH APPENDIX D ACI 318

COLD ROLLED STEEL FRAMING SYSTEM

CR1. ALL STUDS, LINTELS, JOISTS, RUNNER TRACKS AND ACCESSORIES SHALL BE MANUFACTURED FROM GALVANIZED STEEL SHEETS AS FOLLOWS.

(A) RUNNER TRACKS SHALL BE FABRICATED FROM ASTM A-653 GRADE A STEEL (33 KSI MINIMUM YIELD POINT)

(B) STUDS, LINTELS, AND JOISTS 43 MIL OR LESS IN THICKNESS SHALL BE FABRICATED FROM ASTM A-53 GRADE C STEEL (33 KSI MINIMUM YIELD POINT)

(C) STUDS, LINTELS, AND JOISTS 54 MIL OR GREATER IN THICKNESS SHALL BE FABRICATED FROM ASTM A-53 GRADE C STEEL (50 KSI MINIMUM YIELD POINT)

(D) HOT-DIPPED GALVANIZED COATING SHALL CONFORM TO ASTM A-653 REQUIREMENTS.

CR2. FABRICATION AND ERECTION OF MEMBERS SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

FOUNDATIONS

S1. THE FOUNDATIONS HAVE BEEN DESIGNED USING AN ALLOWABLE SOIL BEARING VALUE OF 1500 PSF FOR SPREAD FOOTINGS/GRADE BEAMS IN ACCORDANCE WITH TABLE 1806.2 PRESUMPTIVE LOAD BEARING VALUES FOR CLAY OR SANDY SILT LIEU OF A SOIL REPORT.

S2. ALL PIERS SHALL BE FOUNDED WITH A 3 FOOT MINIMUM PENETRATION BELOW GRADE. REFER TO TYPICAL PIER DETAILS.

S3. CONCRETE SHALL BE PLACED IN ALL PIER HOLES WITHIN 8 HOURS AFTER EXCAVATION.

S4. PIERS SHALL BE FORMED BY DRILLING TO 3'-6" DEEP WITH AN AUGER, POURING 10" OF CONCRETE, SETTING THE 8 INCH DIA. SONOTUBE, POURING THE REMAINDER OF CONCRETE UNTIL TUBE IS FULL AND FINALLY SETTING THE HARDWARE FOR CONNECTING TO STRUCTURE. BACK FILL AROUND THE TUBE.

WOOD FRAMING

W1. ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.

W2. BEAMS, JOISTS AND HEADERS SHALL BE KILN DRIED #2 GRADE SOUTHERN PINE WITH AN ALLOWABLE BENDING STRESS (Fb) OF 1250 PSI MINIMUM, AN ALLOWABLE SHEAR STRESS (Fv) OF 175 PSI MINIMUM AND A MODULUS OF ELASTICITY (E) OF 1,600,000 PSI. LOADBEARING STUDS AND STUDS

W3. POSTS AND/OR COLUMNS SHALL HAVE AN ALLOWABLE COMPRESSIVE STRESS PARALLEL TO GRAIN OF 1,000 PSI (MINIMUM).

SIZE	MAXIMUM SPAN
2-2x6	7'-11"
2-2x8	5'-10"
2-2x10	4'-11"
2-2x12	9'-11"
3-2x10	6'-11"
3-2x12	7'-11"

W4. UNLESS OTHERWISE SHOWN ON THE PLANS, WOOD HEADERS BASED ON 6x9

W5. ALL PREMANUFACTURED CONNECTING HARDWARE SHALL BE SIMPSON STRONG TIE METAL HANGERS AS MANUFACTURED BY THE SIMPSON COMPANY OR APPROVED EQUAL UNLESS DETAILED OTHERWISE. THE TUPE HANGER USED AND ITS INSTALLATION SHALL BE AS RECOMMENDED BY THE MANUFACTURER FC

W6. WHERE MULTIPLE JOISTS OR HEADERS OCCUR THERE SHALL BE A STUD FOR EACH MEMBER OF THE BEAM, IE, PROVIDE DOUBLE STUDS UNDER DOUBLE JOISTS.

W7. PROVIDE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS. BOTTOM SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" DIAMETER BOLTS AT 4'-0" ON CENTER MAXIMUM SPACING UNLESS NOTED OTHERWISE. PROVIDE ADDITIONAL ANCHORS A

W8. STUDS SHALL BE DOUBLED AT ALL ANGLES, CORNERS AND AROUND ALL OPENINGS. STUDS ON LOAD BEARING WALLS SHALL OCCUR UNDER EACH ROOF TRUSS. PROVIDE TRIPLE STUDS UNDER TRUSS GIRDERS.

WALL SHEATHING

S111. FASTEN 1/2" APA RATED STRUCTURAL 1 SHEATHING WITH 20 NAILS AT 6" ON CENTER AT PLYWOOD PANEL EDGES AND AT 12" ON CENTER ALONG INTERMEDIATE SUPPORTS. ALL EDGES HAVE TO BE BLOCKED.

01 GENERAL NOTES
SCALE 3/4" = 1'-0"

ISSUE DATE: _____

REVISION: _____

STATE OF OHIO

ROBERT C. KILLINGSWORTH

REGISTERED ARCHITECT

11034

JST ARCHITECT, ARCHITECTURE PLANNING (MAUSOLEUM) CEMETERY (INTERIORS)

WWW.JSTARCHITECTS.COM

J. STUART TODD, INC.

2918 WELBORN STREET, SUITE 101, DALLAS, TEXAS 75216 (469) 222-1122

© JSTUART TODD, INC.



SCHOEDINGER WORTHINGTON CHAPEL
INTERIOR REMODEL AND NEW TERRACE
COLUMBUS, OHIO

CITY OF WORTHINGTON
DRAWING NO. AR 72-19
DATE 06-26-2019

SHEET NO.
S3
JOB NUMBER: 17269

Z:\Shared Documents\110434\JST\Schoedinger Worthington Chapel\Drawings\Interior Remodel\01-General Notes.dwg (JST) Plot File Path: \\jst\plotters\plot01.dwg



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 74-19
Date Received 7-1-19
Fee \$4.00 pd
Meeting Date 07-25-19
Filing Deadline 7-12-19
Receipt # 07220

1. Property Location

184 E Dublin Granville Rd

2. Present/Proposed Use

gardening supplies/mower/patio furniture
Bicycles

3. Zoning District

4. Applicant

Mark Spence

Address

184 E Dublin Granville Rd

Phone Number(s)

(732) 894-6872 / (908) 917-9918

Email

5. Property Owner

Mark Spence

Address

184 E Dublin Granville Rd

Phone Number(s)

(732) 894-6872 / (908) 917-9918

Email

6. Project Description

would like to add a storage shed to the backyard.

7. Project Details:

a) Design

charming cottage / garden house

b) Color

gray-blue body / cream trim / white shutters

c) Size

10W x 14D x 10'3H

d) Approximate Cost

\$4000.00

Expected Completion Date

sep. 1st 2019
4 weeks

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

[Handwritten signature]

Date

20 June 2019

Property Owner (Signature)

[Handwritten signature]

Date

20 June 2019

Abutting Property Owners List for
184 E. Granville Rd.

Brian & Mary Arthmire	189 Franklin Ave.	Worthington, OH 43085
Stella Hunter	193 Franklin Ave.	Worthington, OH 43085
John Guzzo	203 Fanklin Ave.	Worthington, OH 43085
Anthony & Corinne Konecny	196 E. Granville Rd.	Worthington, OH 43085
David Robinson	195 E. Granville Rd.	Worthington, OH 43085
James & Julia Miller	187 E. Granville Rd.	Worthington, OH 43085
Andrew Hartwick	178 E. Granville Rd.	Worthington, OH 43085

184 E Dublin Granville Rd.

Supporting Statement

We have recently moved in from out of state and we were hoping to put a shed in our backyard to be located behind our garage. The charming cottage / garden house will sit 8 feet in at apx. 10 feet x 14 feet. The shed will be used for garden tools, lawn mower, bicycles, stroller and baby lawn tools.

We want the shed to still be appealing to us and our neighbors, so we want to keep the charm of Old Worthington even in our shed.

184 E. Granville Rd.



CERTIFIED TO NORTHWEST SELECT TITLE AGENCY

LENDER EQUITY RESOURCES, INC

BUYER SPENCE

LEGAL DESC. PART LOT 9 ~ EAST SIDE ADDITION TO WORTHINGTON

P.B. 5 PG. 390-391

CITY/TWP. WORTHINGTON

COUNTY FRANKLIN

DRN. SJH

CK. SS

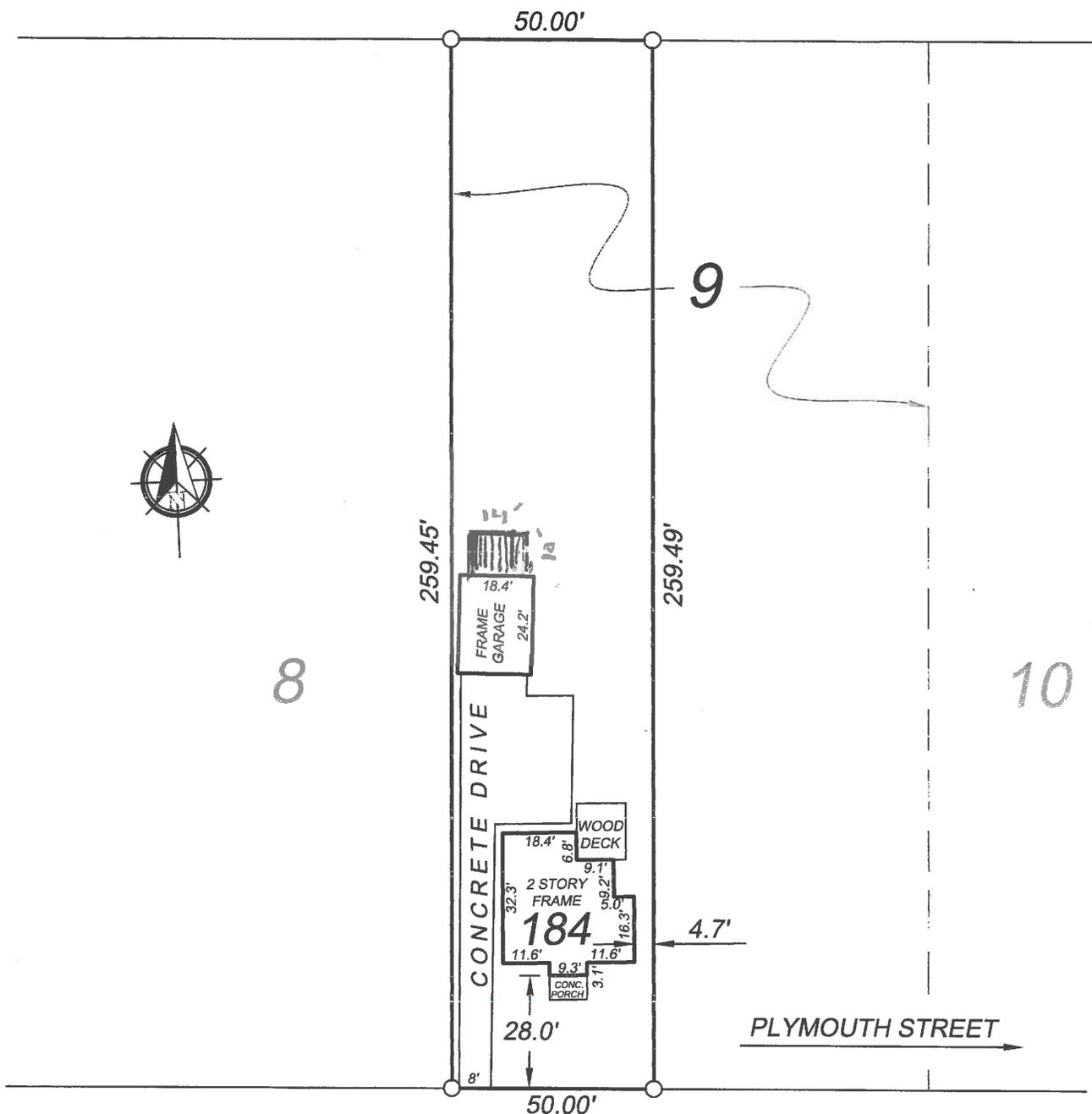
DRAWING SCALE 1" = 40'

FEMA INFORMATION: FLOOD ZONE X

MAP PANEL INFO 39049C 0159K

MAP DATE 6-17-08

ALLEY 20'



E. DUBLIN - GRANVILLE ROAD

CITY OF WORTHINGTON

DRAWING NO. AR 74-19

DATE 07-01-2019

184 E Dublin Granville Rd
Garden / storage shed project



Pencil Sketch N500-4M ©

Body



Navajo White 22^u

Trim



Bit of Sugar PR-W14^u

window
Boxes/
Transoms



Galactic Tint N510-2^u

accents

CITY OF WORTHINGTON

DRAWING NO. AR 74-19

DATE 07-01-2019

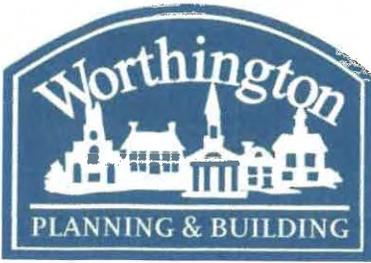
184 E Dublin Granville Rd Worthington
storage shed

Materials

Solid wood - premium grade Lumber (2x4 Framing)
Smart side siding - Plywood
Gravel pad; Solid cement blocks
Stainless steel → locks



*Rear View



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 75-19
Date Received	7-2-19
Fee	\$2.00
Meeting Date	7-25-19
Filing Deadline	7-12-19
Receipt #	47222
Amend AR	116-18

1. Property Location 86 W. North St.

2. Present/Proposed Use currently single family residential

3. Zoning District R10

4. Applicant Anna Patitucci & Luca Filippi

Address 86 W. North St.

Phone Number(s) (415) 377-8086

Email _____

5. Property Owner same

Address _____

Phone Number(s) _____

Email _____

6. Project Description change rear elevation window from Double Hung to awning to accommodate furniture layout.

7. Project Details:

a) Design window to be Andersen 200

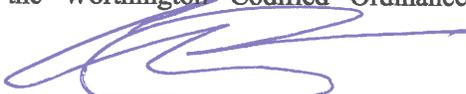
b) Color to match existing exterior color/dtrim

c) Size approx 40" w x 18" h

d) Approximate Cost \$1500 Expected Completion Date Sept. 2019

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.


 Applicant (Signature)

July 1, 2019
 Date


 Property Owner (Signature)

July 1, 2019
 Date

Abutting Property Owners List for
86 W. North St.

Brent & Sandy Buckley	220 Greenbrier Ct.	Worthington, OH 43085
Samuel Speck	240 Greenbrier Ct.	Worthington, OH 43085
Raymond & Nancy Gant	70 W. North St.	Worthington, OH 43085
James & Kay Cermak	915 Oxford St.	Worthington, OH 43085
Thomas Mack-Crane	92 W. North St.	Worthington, OH 43085

Supporting Statement:

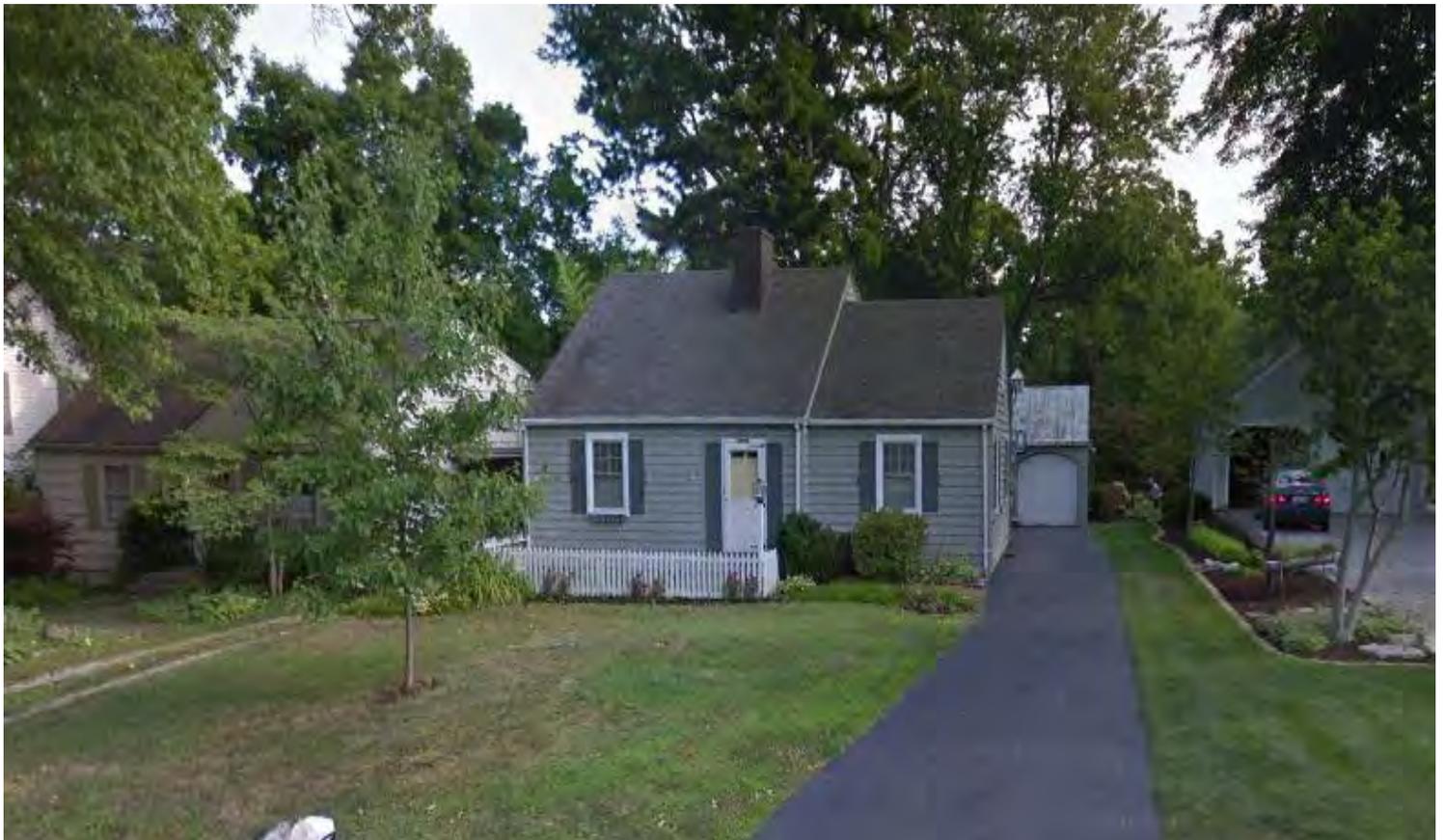
This dormer addition was approved with original rear elevation (See attachment A) at the **January 10th, 2019 meeting, case AR 116-18**. The homeowner would like to change the window on the rear elevation from a double hung to an awning window to accommodate flexibility in furniture placement in this bedroom. (See attachment B) Trim details and window style/manufacturer will remain consistent with the other windows.

CITY OF WORTHINGTON

DRAWING NO. AR 75-19

DATE 07-02-2019

86 W. North St.





ORIGINAL APPROVED REAR ELEVATION

Attachment "A"

CITY OF WORTHINGTON

DRAWING NO. AR 75-19

DATE 07-02-2019



PROPOSED NEW REAR ELEVATION
Attachment "B"

CITY OF WORTHINGTON

DRAWING NO. AR 75-19

DATE 07-02-2019



Andersen Windows - Abbreviated Quote Report



Project Name: Patitucci

Quote #: 84

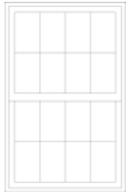
Print Date: 06/04/2019

Quote Date: 03/18/2019

iQ Version: 19.0

Dealer:	Customer: Owens Constuction
Sales Rep: Vic Buzard	Billing
Created By:	Address:
	Phone: Fax:
	Contact:
	Trade ID: 000001 Promotion Code:

Item	Qty	Item Size (Operation)	Location
------	-----	-----------------------	----------



0001 2 244DH3049 (AA)
RO Size = 3' 0" W x 4' 9" H Unit Size = 2' 11 1/2" W x 4' 8 1/2" H
 200 Series
 Unit, 3 1/4" Frame Depth, White/PI White, Low E Glass, Finelight Grilles-Between-the-Glass, Specified Equal Lite, 4W2H, White/White, 3/4" (Each Sash)
 (Includes 6 9/16" Factory Applied Pre-finished White Complete Unit Extension Jambs)
 Insect Screen, White
 Zone: Northern
 U-Factor: 0.29, SHGC: 0.29, ENERGY STAR® Certified: No

Viewed from Exterior



0003 1 244FX3416 (F)
RO Size = 3' 4" W x 1' 6" H Unit Size = 3' 3 1/2" W x 1' 5 1/2" H
 200 Series
 Unit, 3 1/4" Frame Depth, White/PI White, Low E Glass (Includes 6 9/16" Factory Applied Pre-finished White Complete Unit Extension Jambs), Finelight
 Grilles-Between-the-Glass, Specified Equal Lite, 4w2h, White/White, 3/4"
 Zone: Northern
 U-Factor: 0.28, SHGC: 0.30, ENERGY STAR® Certified: No

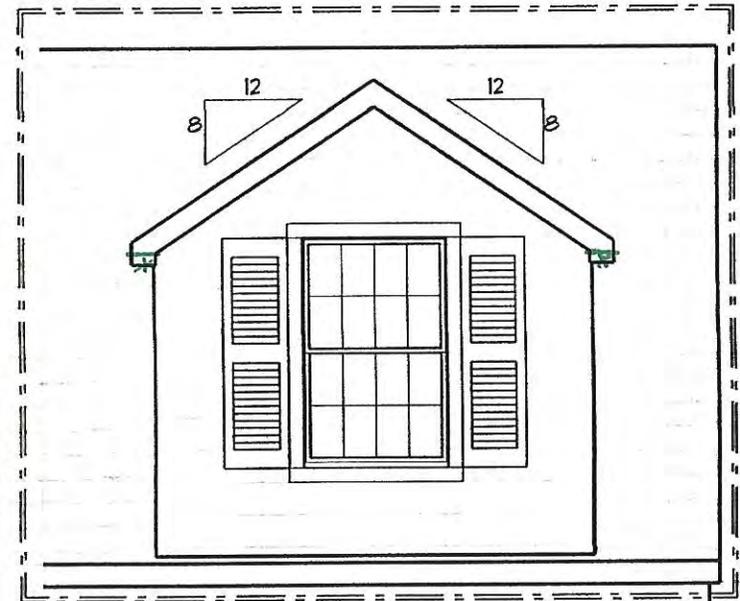
Viewed from Exterior

F RAKES #
.O.
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E 6"

ES
ING

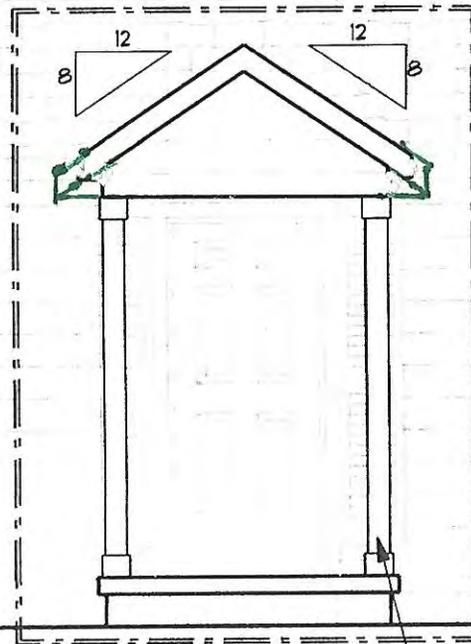
86 W. North St.
Updated Portico
Gable/Roof line
7.15.19

ADDITION



VERIF
M.
HE
WALI

5'-11"
BR4 WINDOW HT.

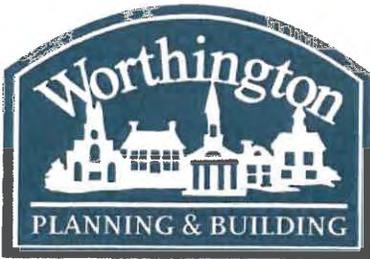


ADDITION

6x6 POST
WRAP'D SEE

CITY OF WORTHINGTON
DRAWING NO. AR 75-19
DATE 07-02-2019

July 12th Deadline



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Case # AR76-19 Date Received 07-11-2019 Fee \$8.00 Meeting Date 07-25-2019 Filing Deadline Receipt # 67274

- 1. Property Location 88 W. Dublin-Granville Rd.
2. Present/Proposed Use Residence
3. Zoning District R-10 Y
4. Applicant Bill Porteus
Address 88 W. Dublin-Granville Rd.
Phone Number(s) 740-502-5237
Email
5. Property Owner
Address
Phone Number(s)
Email

RECEIVED JUL 11 2019 BY:

- 6. Project Description Replace rotted columns and floor boards. Railing and Skirting to also be replaced. Roof and floor joists to remain.
7. Project Details:
a) Design Round tapered fiberglass Columns-12", railing & skirt (see attached)
b) Color
c) Size 28' x 12' porch, 8' columns
d) Approximate Cost \$8,000 Expected Completion Date 11-1-19

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME: The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Bill Porteus (Applicant Signature) 7-11-19 (Date)
Bill Porteus (Property Owner Signature) 7-11-19 (Date)

Abutting Property Owners List for
88 W. Granville Rd.

Matthew and Oliva Hower
Thomas and Kathy Holcombe
Hope Kingsborough
Matt and Lesley Welch
Jesse and Nicole Kwiek

94 W. Granville Rd.
80 W. Granville Rd.
75 W. Granville Rd.
93 W. Granville Rd.
771 Oxford St.

Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085

Architectural Review Board,

Due to structural concerns, I intend to replace my decaying front porch. Currently, the two wooden columns are rotting from the bottom up and the floor boards are also experiencing water damage. Because of this, I intend to replace the columns, floor boards, railing and skirting to the front porch to enhance the aesthetic while dealing with the structural concerns. From inspection, the framing and supporting structure still seems to be in good condition and does not need replaced. The roof will also remain. All improvements are proposed to meet current building code, with increased railing height and new hand rails. All material will be wood, with the exception to fiberglass columns. The design will change to enhance the overall look while still staying true to the era of the house. Rendering of the design are included.

Thank you,

Bill Porteus

88 W. Dublin-Granville Rd.

88 W. Granville Rd





S0066

50'

Lot 5

Lot 4

Lot 3

20'

12'

Lot 2

190'

4-2

35' 13"

20'

34'

50'

100'

94'

21'

88'

9'

80'

4-8

2.8'

4-14

front porch is the limits of construction

W DUBLIN-GRANVILLE RD

8

CC7442

CITY OF WORTHINGTON

DRAWING NO. AR 76-19

DATE 07-11-2019

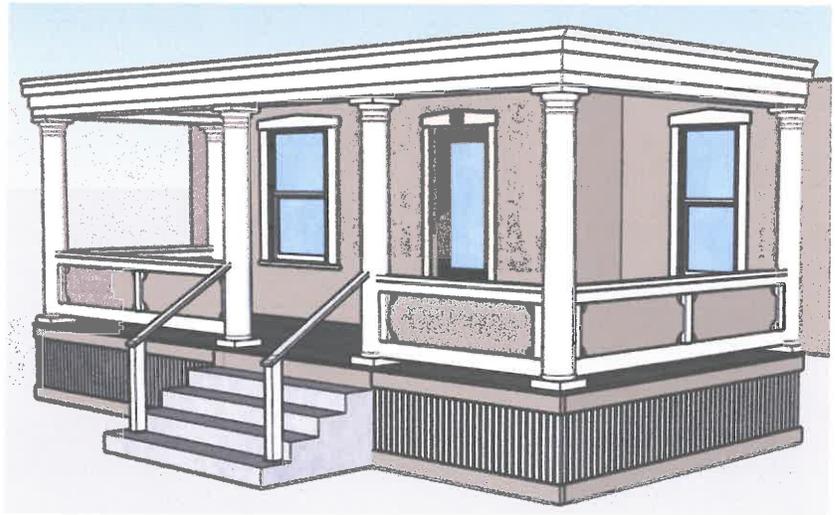
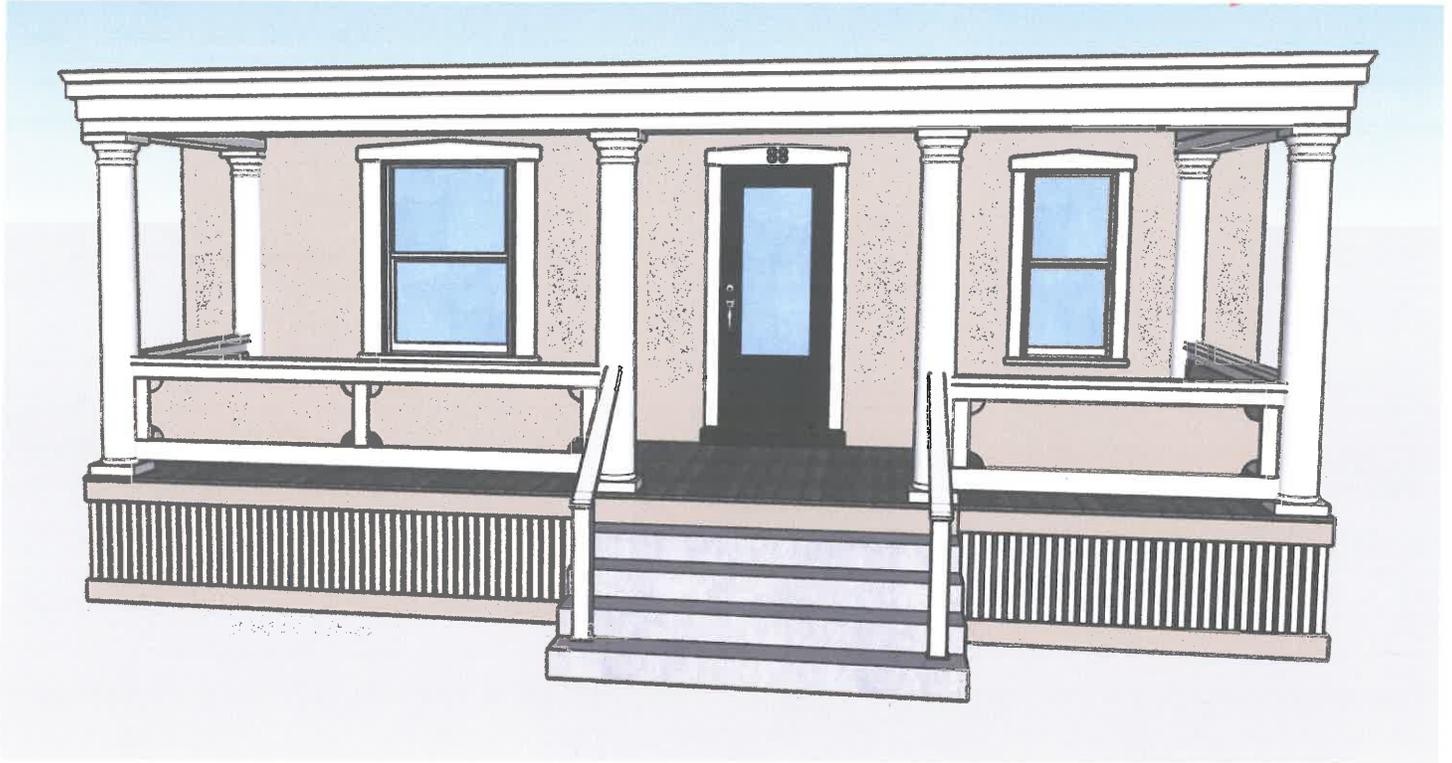
93

75

OXFORD ST



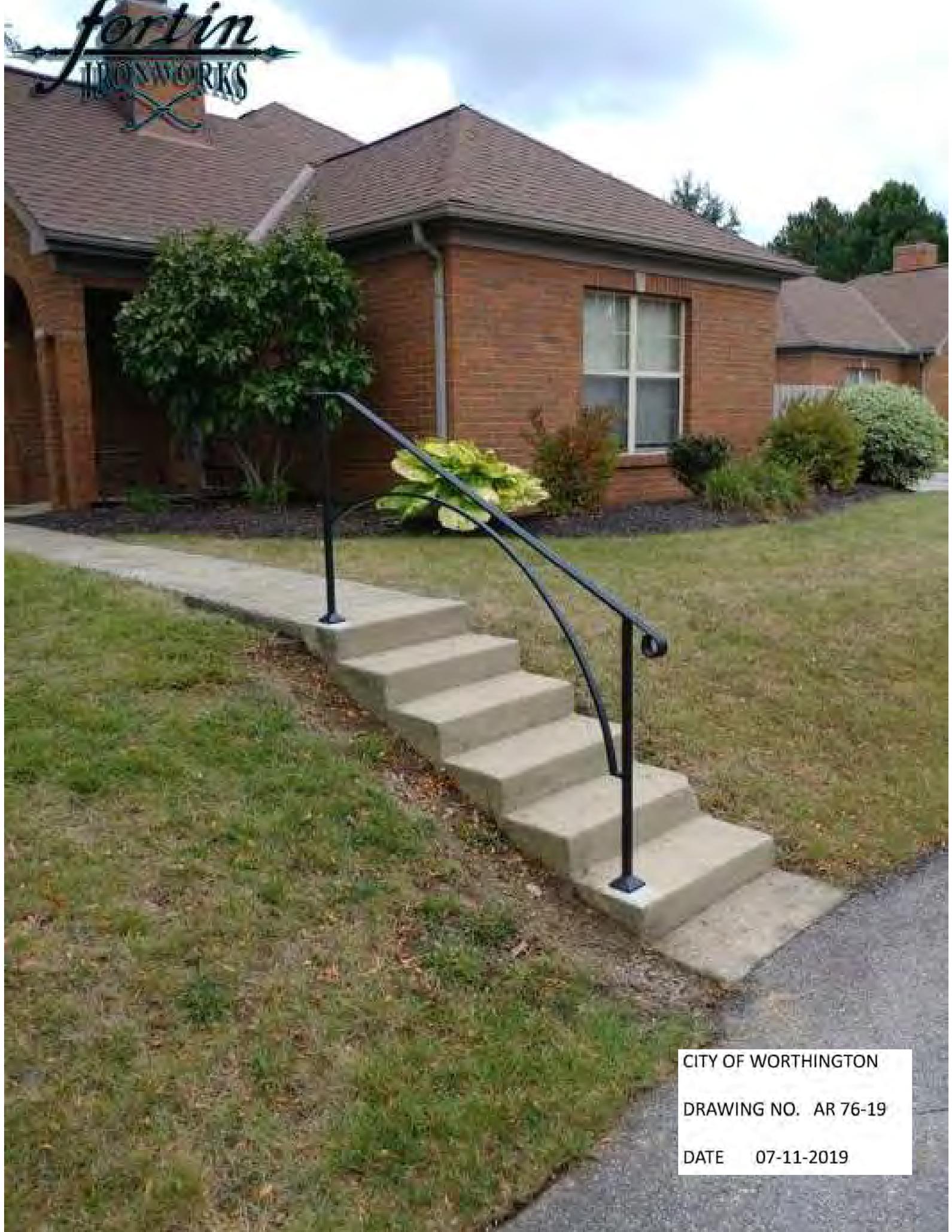
CITY OF WORTHINGTON
DRAWING NO. AR 76-19
DATE 07-11-2019



CITY OF WORTHINGTON

DRAWING NO. AR 76-19

DATE 07-11-2019



CITY OF WORTHINGTON
DRAWING NO. AR 76-19
DATE 07-11-2019

PAINT SELECTIONS: 88 W. DUBLIN GRANVILLE



EXISTING HOUSE COLOR
PAINT NEW RAIL DETAIL BOARD,
SKIRTING BORDER



PORCH FLOOR



TRIM AROUND WINDOWS, DOOR,
RAILING, SKIRTING

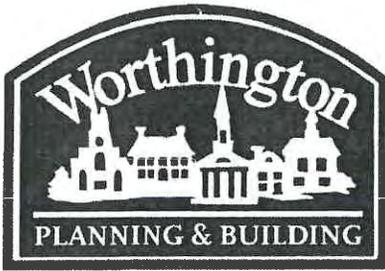


FRONT DOOR

CITY OF WORTHINGTON

DRAWING NO. AR 76-19

DATE 07-11-2019



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 77-19
Date Received 07-12-2019
Fee \$10.00 pd
Meeting Date 07-25-2019
Filing Deadline _____
Receipt # 67284

- 1. Property Location 50 WEST NEW ENGLAND AVE
- 2. Present/Proposed Use WHS OFFICE, GIFTSHOP & MUSEUM
- 3. Zoning District _____
- 4. Applicant WORTHINGTON HISTORICAL SOCIETY (WHS)
Address 50 WEST NEW ENGLAND AVE
Phone Number(s) 614 885 1247
Email _____
- 5. Property Owner WORTHINGTON HISTORICAL SOCIETY (WHS)
Address 50 WEST NEW ENGLAND AVE
Phone Number(s) 614 885 1247
Email _____
- 6. Project Description RE PAINTING - SEE ATTACHED
DISCRPTION (REPAINTING ORIGINAL BUILDING)
- 7. Project Details:
 - a) Design SEE ATTACHED
 - b) Color SEE ATTACHED - WILL PROVIDE SAMPLES
 - c) Size _____
 - d) Approximate Cost \$10,000⁰⁰ Expected Completion Date ASAP

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Frank Shepherd
Applicant (Signature)

7/12/19
Date

FRANK SHEPHERD
WHS BOARD V.P.
614 668 5547

Frank Shepherd
Property Owner (Signature)

7/12/19
Date

f.shepherd@wsarch.net

Abutting Property Owners
for
50 W. New England Ave.

Timothy Randolph	653 Oxford St.	Worthington, OH 43085
Patrick & Nicole Porter	659 Oxford St.	Worthington, OH 43085
Richard and Deanna Stovall	59 W. New England Ave.	Worthington, OH 43085
Tenant	633 Oxford St.	Worthington, OH 43085
Tenant	91 W. New England Ave.	Worthington, OH 43085
Fallon Realty	633 Oxford St.	Worthington, OH 43085
Martin Raupple	Amanda Shirilla 55 W. New England Ave.	Worthington, OH 43085

**Old Rectory Painting Project
Supporting Statement
Architectural Review Board Application, Summer 2019**

In this project, the Worthington Historical Society will be painting the c. 1845 portion of the Old Rectory to address typical deterioration of paint. Several components of the project have noticeable changes in colors to better reflect historic paint schemes for Greek Revival architecture, and those changes are being addressed in this application. These include change in color for the shutters, window sashes and front door of the c. 1845 house. The siding of the 1845 section will be repainted white, using Sherwin Williams "Dune White" color (also used at the Orange Johnson House in our 2017 and 2018 projects), which is a very minor change in white. The later addition to at the rear (north) of the property will have no color changes to the windows.

The Secretary of the Interior's Standards for the Treatment of Historic Properties recommends "repainting historically-painted wood features with colors that are documented to the restoration period of the building."

The appropriate color scheme for the shutters, sashes and doors has been informed through the use of published pattern books and websites documenting Greek Revival (1825-1860) architecture. Specific paint colors selected for this project were recommended by Frank Welsh, of Welsh Color & Conservation, out of Pennsylvania. Welsh is the president of the company which specializes in restoration and preservation of historic finishes primarily related to historic buildings. He provides expert paint analysis for determining original colors. Although he has not visited this site, he is able to recommend the most prevalent color shades of the era, and how those colors were utilized on architectural components.

The three elements to be painted new colors are as follows:

- **Shutters** (*currently a very deep shade of green which appears black*)

Will match **Benjamin Moore Chrome Green**

- **Window Sashes** (*currently white*)

Will match **Sherwin Williams Tricorn Black**

- **Front Door** (*currently white*)

Will match **Benjamin Moore Chrome Green**

The article "Painting your historic house, a guide to colors and color schemes" states "the most common (almost standard) color scheme: White or off-white body, green doors and shutters, black sash. (1)

50 W. New England Ave.



Mark Landry, historic preservationist with Landmark Services, writes “many historic houses in America had windows (and exterior shutters) that were painted dark. Black and green were the two most common colors in the 19th century.” (2)

An image of a Greek Revival house located in Marion, Ohio can be seen below which features a black window sash. This property has white exterior storm windows, whereas the Rectory has fixed windows with interior storms.

The second image below is a 1940 image of the Rectory when it was located on Hartford Street. During this period of time, black exterior storm windows had been installed. The picture provides some visualization into what the windows will look like, on this particular building, although the muntins will be painted black as well.

The third and fourth images, from [A Treasury of Early American Homes](#) by Richard Pratt show window sashes that are black with the trim remaining white, as we are proposing in this application. Both structures predate the Rectory but are painted in the tradition that was popular through the Greek Revival era. On [oldhouseonline.com](#), Ken Roginski’s article “Window Sash Painting Tips” states, “although light window sashes were popularized for Colonial Revival homes starting in the 1890s, few were quick to adopt the practice. Light sash and trim in one color became a thoughtless standard after the middle of the 20th century.”

1,

<https://historicipswich.org/colors/>

2.

<http://www.landmarkservices.com/blog/bid/31885/Paint-Color-Do-s-and-Dont-s-for-Historic-Houses>

Images



Marion, Ohio; Black sash (under white storm window)



Old Rectory,
1940 on
Hartford Street
with black
exterior storms
over the white
windows. For
visualization
only.

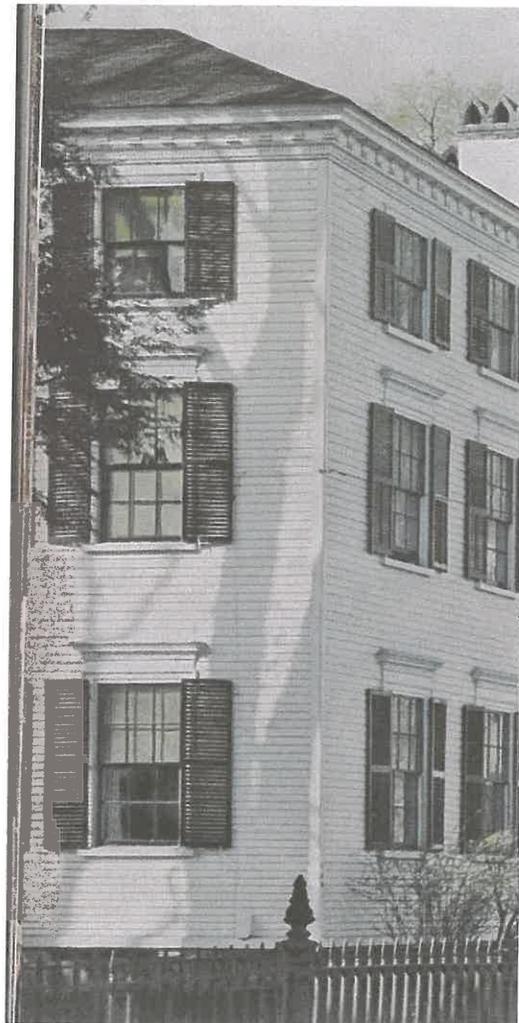
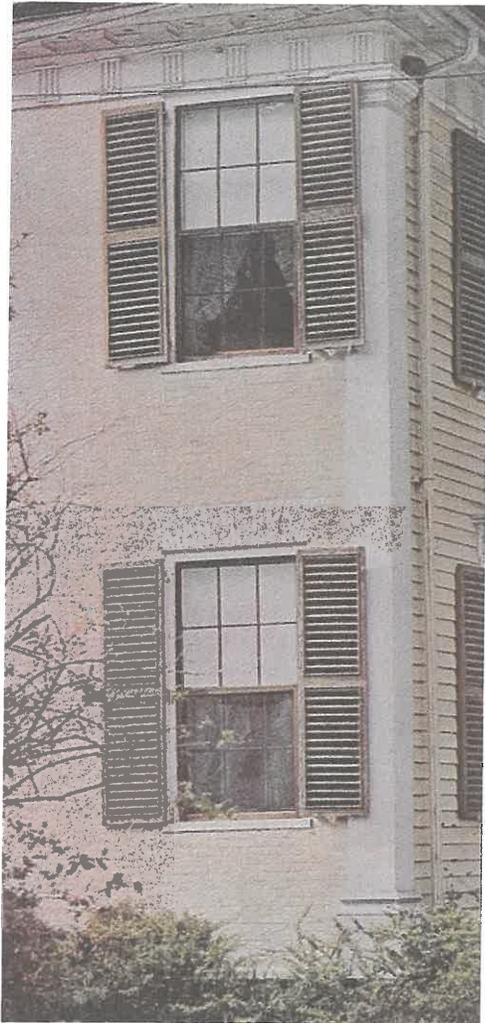
CITY OF WORTHINGTON

DRAWING NO. AR 77-19

DATE 07-12-2019

Left: Portsmouth, New Hampshire 1808 building
(from *A Treasury of Early American Homes*, Richard Pratt)

Right: Woodstock, Vermont 1809 Johnson House
(from *A Treasury of Early American Homes*, Richard Pratt)



CITY OF WORTHINGTON

DRAWING NO. AR 77-19

DATE 07-12-2019

Elevation Images



South Elevation

Door to be painted Chrome Green
5 pairs of shutters to be painted Chrome Green
6 sashes to be painted Tricorn Black



West Elevation

3 pairs of shutters to be painted Chrome Green
3 sashes to be painted Tricorn Black

CITY OF WORTHINGTON

DRAWING NO. AR 77-19

DATE 07-12-2019



East Elevation

4 pairs of shutters to be painted Chrome Green

4 sashes to be painted Tricorn Black

CITY OF WORTHINGTON

DRAWING NO. AR 77-19

DATE 07-12-2019



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 78-19
Date Received	07-12-19
Fee	\$40.00 pd
Meeting Date	07-25-19
Filing Deadline	07-12-19
Receipt #	107290

- 1. Property Location 130 E SOUTH ST
- 2. Present/Proposed Use SINGLE FAMILY RESIDENCE
- 3. Zoning District _____
- 4. Applicant ICON SOLAR

Address 50 W TECHNE CENTER DR MILFORD, OH 45758

Phone Number(s) 573-396-7777

Email _____

- 5. Property Owner JASON ISAACSON

Address 130 E SOUTH ST WORTHINGTON, OHIO 43085

Phone Number(s) 614-288-3075

Email _____

- 6. Project Description Install 43 roof top flush mounted solar panels

7. Project Details:

- a) Design 43 FLUSH MOUNTED SOLAR PANELS
- b) Color ALL BLACK ALUMINUM MATERIAL + GLASS (NON REFLECTIVE)
- c) Size 66" X 39" X 1.5" EACH PANEL
- d) Approximate Cost 40,000.00 Expected Completion Date 8/20/19

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
 Applicant (Signature)

7/10/19
 Date

[Signature]
 Property Owner (Signature)

7/17/19
 Date

Abutting Property Owners List for
130 E. South St.

Sean & Kimberly Crowley
William & Shirley Brenner
Brant & Suzanna Gipson
John & Melissa Conrath
Matthew & Jessica Dopkiss

120 E. South St.
136 E. South St.
570 Hartford St.
129 E. South St.
141 E. South St.

Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085

Hi Jaye,

Attached is the signed Worthington ARB application. Regarding the project description, please include the following.

The homeowner and family have the desire to invest in renewable solar energy to become good stewards of their environment. Additionally, the onetime cost of the project is offset by substantial future savings from many decades of usage.

I hope that is adequate. Please let meet know if you need anything else from me.

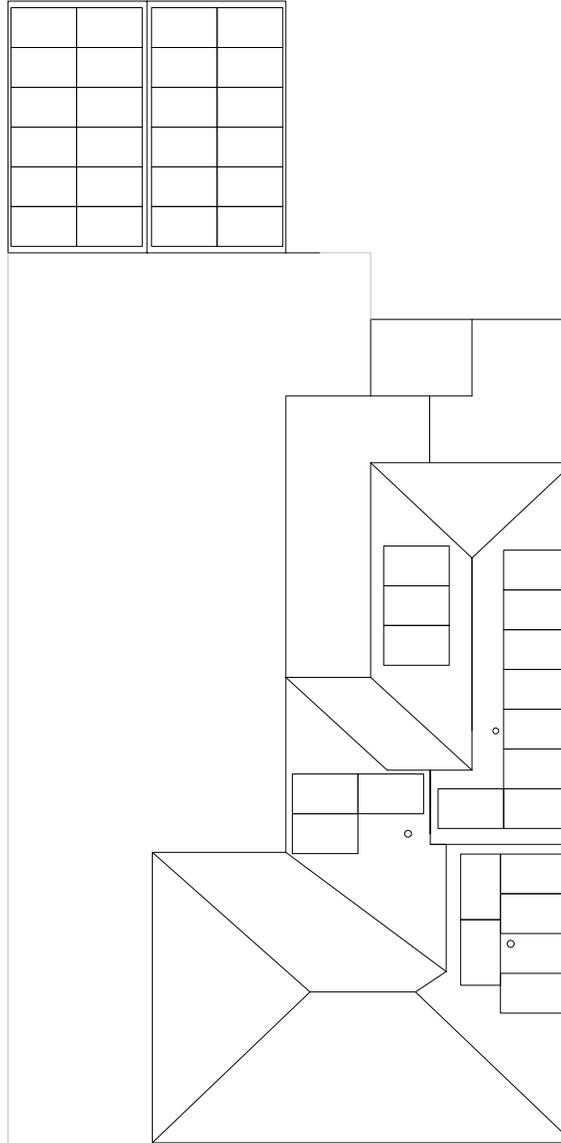
Best,

Jason

130 E. South St.



43-Q.CELL 315W MODULES -13.545KW DC
Q PEAK DUO-BLK-G5-315
SHINGLE ROOF ON 1X6 DECKING
2x4 RAFTERS 16" OC
AZ-280-100
PITCH- 8:12
12.47KW PEAK AC OUTPUT
ENPHASE IQ7PLUS



SITE PLAN

1/16" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 78-19

DATE 07-12-2019



PROPOSED:

ISAACSON RESIDENCE
130 E SOUTH ST
WORTHINGTON, OH 43085

ICON SOLAR

50 W TECHNECENTER DR. SUITE K
MILFORD, OHIO 45150

Q.PEAK DUO BLK-G5 305-320

Q.ANTUM SOLAR MODULE

The new Q.PEAK DUO BLK-G5 solar module from Q CELLS impresses with its outstanding visual appearance and particularly high performance on a small surface thanks to the innovative Q.ANTUM DUO Technology. Q.ANTUM's world-record-holding cell concept has now been combined with state-of-the-art circuitry half cells and a six-busbar design, thus achieving outstanding performance under real conditions — both with low-intensity solar radiation as well as on hot, clear summer days.



Q.ANTUM TECHNOLOGY: LOW LEVELISED COST OF ELECTRICITY

Higher yield per surface area, lower BOS costs, higher power classes, and an efficiency rate of up to 19.3%.



INNOVATIVE ALL-WEATHER TECHNOLOGY

Optimal yields, whatever the weather with excellent low-light and temperature behaviour.



ENDURING HIGH PERFORMANCE

Long-term yield security with Anti LID Technology, Anti PID Technology¹, Hot-Spot Protect and Traceable Quality Tra.Q™.



EXTREME WEATHER RATING

High-tech aluminium alloy frame, certified for high snow (5400 Pa) and wind loads (4000 Pa).



A RELIABLE INVESTMENT

Inclusive 12-year product warranty and 25-year linear performance warranty².



STATE OF THE ART MODULE TECHNOLOGY

Q.ANTUM DUO combines cutting edge cell separation and innovative wiring with Q.ANTUM Technology.



www.VDEInfo.com
ID. 40032587



¹ APT test conditions according to IEC/TS 62804-1:2015, method B (-1500V, 168 h)

² See data sheet on rear for further information.

THE IDEAL SOLUTION FOR:



Rooftop arrays on residential buildings

CITY OF WORTHINGTON

DRAWING NO. AR 78-19

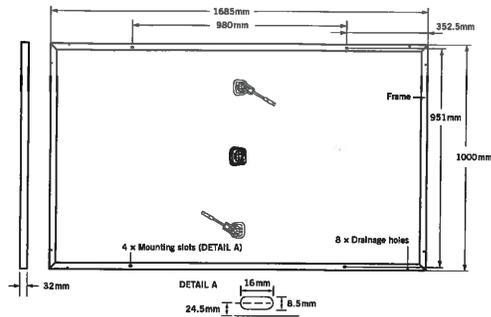
DATE 07-12-2019

Engineered in Germany

Q CELLS

MECHANICAL SPECIFICATION

Format	1685mm × 1000mm × 32mm (including frame)
Weight	18.7kg
Front Cover	3.2mm thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodised aluminium
Cell	6 × 20 monocrystalline Q.ANTUM solar half cells
Junction box	70-85mm × 50-70mm × 13-21mm Protection class IP67, with bypass diodes
Cable	4mm ² Solar cable; (+) 1100mm, (-) 1100mm
Connector	Multi-Contact MC4, IP65 and IP68



ELECTRICAL CHARACTERISTICS

POWER CLASS		305	310	315	320	
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC¹ (POWER TOLERANCE +5W / -0W)						
Minimum	Power at MPP²	P_{MPP} [W]	305	310	315	320
	Short Circuit Current[*]	I_{SC} [A]	9.78	9.83	9.89	9.94
	Open Circuit Voltage[*]	V_{OC} [V]	39.75	40.02	40.29	40.56
	Current at MPP[*]	I_{MPP} [A]	9.31	9.36	9.41	9.47
	Voltage at MPP[*]	V_{MPP} [V]	32.78	33.12	33.46	33.80
	Efficiency²	η [%]	≥ 18.1	≥ 18.4	≥ 18.7	≥ 19.0
MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NOC³						
Minimum	Power at MPP²	P_{MPP} [W]	226.0	229.7	233.5	237.2
	Short Circuit Current[*]	I_{SC} [A]	7.88	7.93	7.97	8.02
	Open Circuit Voltage[*]	V_{OC} [V]	37.18	37.43	37.69	37.94
	Current at MPP[*]	I_{MPP} [A]	7.32	7.36	7.41	7.45
	Voltage at MPP[*]	V_{MPP} [V]	30.88	31.20	31.52	31.84

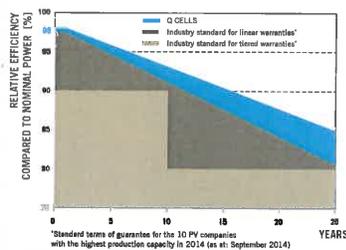
¹1000W/m², 25°C, spectrum AM 1.5G

² Measurement tolerances STC ± 3%; NOC ± 5%

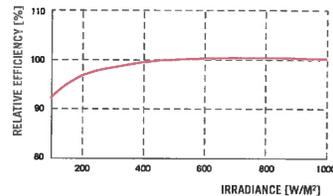
³ 800W/m², NOCT, spectrum AM 1.5G

^{*} typical values, actual values may differ

Q CELLS PERFORMANCE WARRANTY



PERFORMANCE AT LOW IRRADIANCE



Typical module performance under low irradiance conditions in comparison to STC conditions (25°C, 1000W/m²).

CITY OF WORTHINGTON

DRAWING NO. AR 78-19

DATE 07-12-2019

TEMPERATURE COEFFICIENTS

Temperature Coefficient of I_{SC}	α [%/K]	+0.04	Temperature Coefficient of V_{OC}	β [%/K]	-0.28
Temperature Coefficient of P_{MPP}	γ [%/K]	-0.37	Normal Operating Cell Temperature	NOCT [°C]	45

PROPERTIES FOR SYSTEM DESIGN

Maximum System Voltage	V_{SYS} [V]	1000	Safety Class	II
Maximum Reverse Current	I_R [A]	20	Fire Rating	C
Push/Pull Load (Test-load in accordance with IEC 61215)	[Pa]	5400/4000	Permitted Module Temperature On Continuous Duty	-40°C up to +85°C

QUALIFICATIONS AND CERTIFICATES

VDE Quality Tested, IEC 61215 (Ed.2); IEC 61730 (Ed.1), Application class A
This data sheet complies with DIN EN 50380.



PARTNER

NOTE: Installation instructions must be followed. See the installation and operating manual or contact our technical service department for further information on approved installation and use of this product.

Hanwha Q CELLS GmbH

Sonnenallee 17-21, 06766 Bitterfeld-Wolfen, Germany | TEL +49 (0)3494 66 99-23444 | FAX +49 (0)3494 66 99-23000 | EMAIL sales@q-cells.com | WEB www.q-cells.com

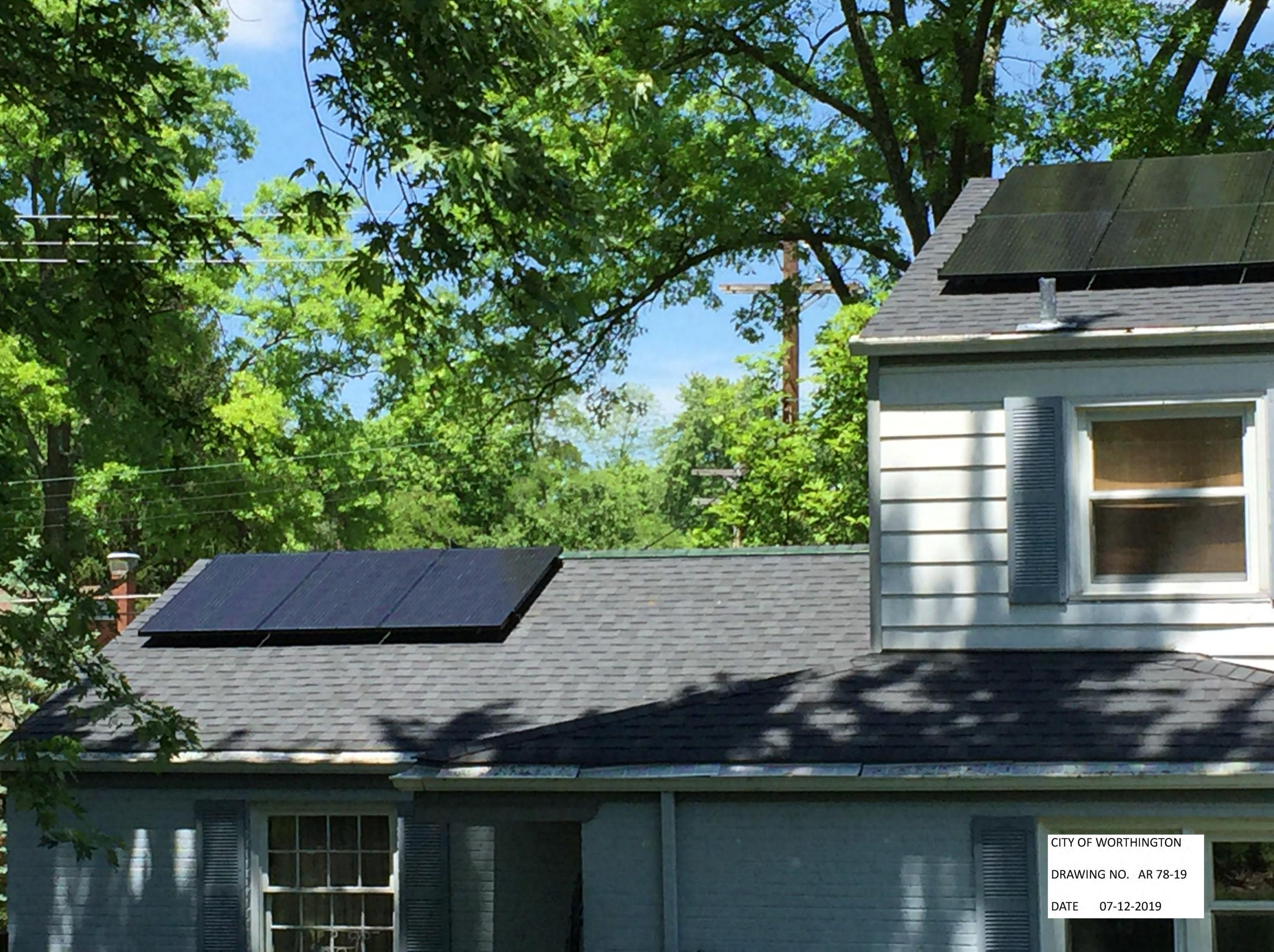
Specifications subject to technical changes © Hanwha Q CELLS Q.PEAK DUO BLK-65_305-320_2017-07_Rev01_EN



CITY OF WORTHINGTON

DRAWING NO. AR 78-19

DATE 07-12-2019



CITY OF WORTHINGTON
DRAWING NO. AR 78-19
DATE 07-12-2019



CITY OF WORTHINGTON
DRAWING NO. AR 78-19
DATE 07-12-2019



CITY OF WORTHINGTON
DRAWING NO. AR 78-19
DATE 07-12-2019



CITY OF WORTHINGTON
DRAWING NO. AR 78-19
DATE 07-12-2019

**130 E SOUTH ST
ISAACSON RESIDENCE**



CITY OF WORTHINGTON

DRAWING NO. AR 78-19

DATE 07-12-2019

**130 E SOUTH ST
ISAACSON RESIDENCE**





City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 80-19
Date Received	07-12-19
Fee	\$4.00
Meeting Date	07-15-2019
Filing Deadline	
Receipt #	67295

- Property Location 2285 W DUBLIN GRANVILLE RD SUITE 116
- Present/Proposed Use THE HILLS JEWELRY
- Zoning District C24
- Applicant SIGNARAMA WORTHINGTON
 Address 6185 HUNTLEY RD COLUMBUS OH 43229
 Phone Number(s) 614-841-1255
 Email _____
- Property Owner WINWORTH PLAZA LLC
 Address 1130 VENTURA BLVD ST. 590 ENCINO CA 91436
 Phone Number(s) 614-629-5222
 Email _____
- Project Description WALL SIGN/LETTERS // 1.5" thick routed & painted HDU/PVC letters mounted to wall
- Project Details:
 - Design ROUTED 1.5" DIMENSIONAL LETTERS
 - Color Black / Gold
 - Size 140 x 35.25
 - Approximate Cost \$3594.00 Expected Completion Date 7/31/19

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
 Applicant (Signature)

7/12/19
 Date

[Signature] (authorized representative) 7/14/19
 Property Owner (Signature) Date

Abutting Property Owners
for
2285 W. Dublin-Granville Rd. Suite 115

Richard Russell
Strait Real Estate LLC
MV2T Investments LLC
DK Erwin Properties LLC
Paul & Judith Doran
Linworth Duchess LLC
United Dairy Farmers Inc.
Strathaven of Worthington Condo Assoc.
Jim and Gail Caldwell

595 Retreat Ln.
2573 Swisher Creek Dr.
2290 W. Dublin-Granville Rd.
395 Country Cove
8378 Bevelhymmer Rd.
447 James Pkwy.
3955 Montgomery Rd.
5935 N. High St.
6476 Strathaven Ct. W.

Powell, OH 43065
Blacklick, OH 43004
Columbus, OH 43085
Cabot, AR 72023
Westerville, OH 43081
Newark, OH 43056
Cincinnati, OH 45212
Worthington, OH 43085
Worthington, OH 43085

SIGNARAMA WORTHINGTON

CITY OF WORTHINGTON ARB

THE HILLS JEWELRY

SUPPORTING STATEMENT

The attached ARB application is for a wall sign at The Hills Jewelry at 2285 West Dublin-Granville Road.

The sign is simple in nature consisting of routed dimensional letters painted black and accent bars painted gold.

Letters are 23.5" for "jewelry" and 15.5" for "THE HILLS" and are consistent with the master sign package originally developed for the property and consistent in shape and size for other signs already up in the center.

Design, fabrication and installation will be by Signarama Worthington and will follow normal commercial practices.

Contact at Signarama Worthington is David Mayer, Signarama Worthington---614.841.1255

2285 W. Dublin-Granville Rd.





Proposed Wall Sign

THE HILLS
jewelry

2285 Suite 116
Dublin Granville Road

CITY OF WORTHINGTON

DRAWING NO. AR 80-19

DATE 07-12-2019

Letter Size

T H E H I L L S | 15.5"
 jewelry | 23.75"

Overall Size

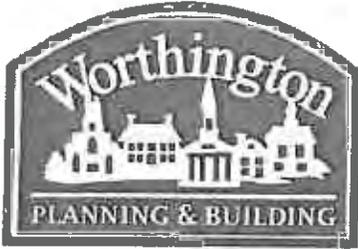
140"
 T H E H I L L S |
 jewelry | 35.25"



CITY OF WORTHINGTON

DRAWING NO. AR 80-19

DATE 07-12-2019



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Case # AR01-19 Date Received 7-12-19 Fee Meeting Date 7-25-19 Filing Deadline 7-12-19 Receipt #

- 1. Property Location 885 Evening Street
2. Present/Proposed Use Educational Use
3. Zoning District
4. Applicant Tim Gehring Address 200 E. Wilson Bridge Rd. Phone Number(s) 614-450-6082
5. Property Owner Worthington Board of Education Address Phone Number(s) Email
6. Project Description Amended Modular Classroom Application

- 7. Project Details: a) Design b) Color c) Size d) Approximate Cost Expected Completion Date

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME: The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature) T. Gehring Date 7-12-19
Property Owner (Signature) T. Gehring Date 7-12-19

Abutting Property Owners List for
885 Evening St.

Gordon and Roberta Powell		157 Medick Way.	Worthington, OH 43085
Alice Conklin		171 Medick Way.	Worthington, OH 43085
Brian and Margaret Heffernan		138 W. Clearview Ave.	Worthington, OH 43085
James and Tiffany Belcher		197 Medick Way.	Worthington, OH 43085
Rundsarah Tahboub		211 Medick Way.	Worthington, OH 43085
Samuel Hooper	Michelle Holdgreve	235 Medick Way.	Worthington, OH 43085
Michael and Dilfuza Limes		136 W. Stafford Ave.	Worthington, OH 43085
Kyle Goebbel	Jennifer Odebrecht	131 W. Stafford Ave.	Worthington, OH 43085
Seth and Lori Cramer		806 Evening St.	Worthington, OH 43085
Jenna Scholl		802 Evening St.	Worthington, OH 43085
Tenant		798 Evening St.	Worthington, OH 43085
John Shields	Jessica Kleinman	794 Evening St.	Worthington, OH 43085
Sean and Kathryn Lane		788 Evening St.	Worthington, OH 43085
Monica Shaner		185 Medick Way.	Worthington, OH 43085
Kay Holland		135 W. Clearview Ave.	Worthington, OH 43085

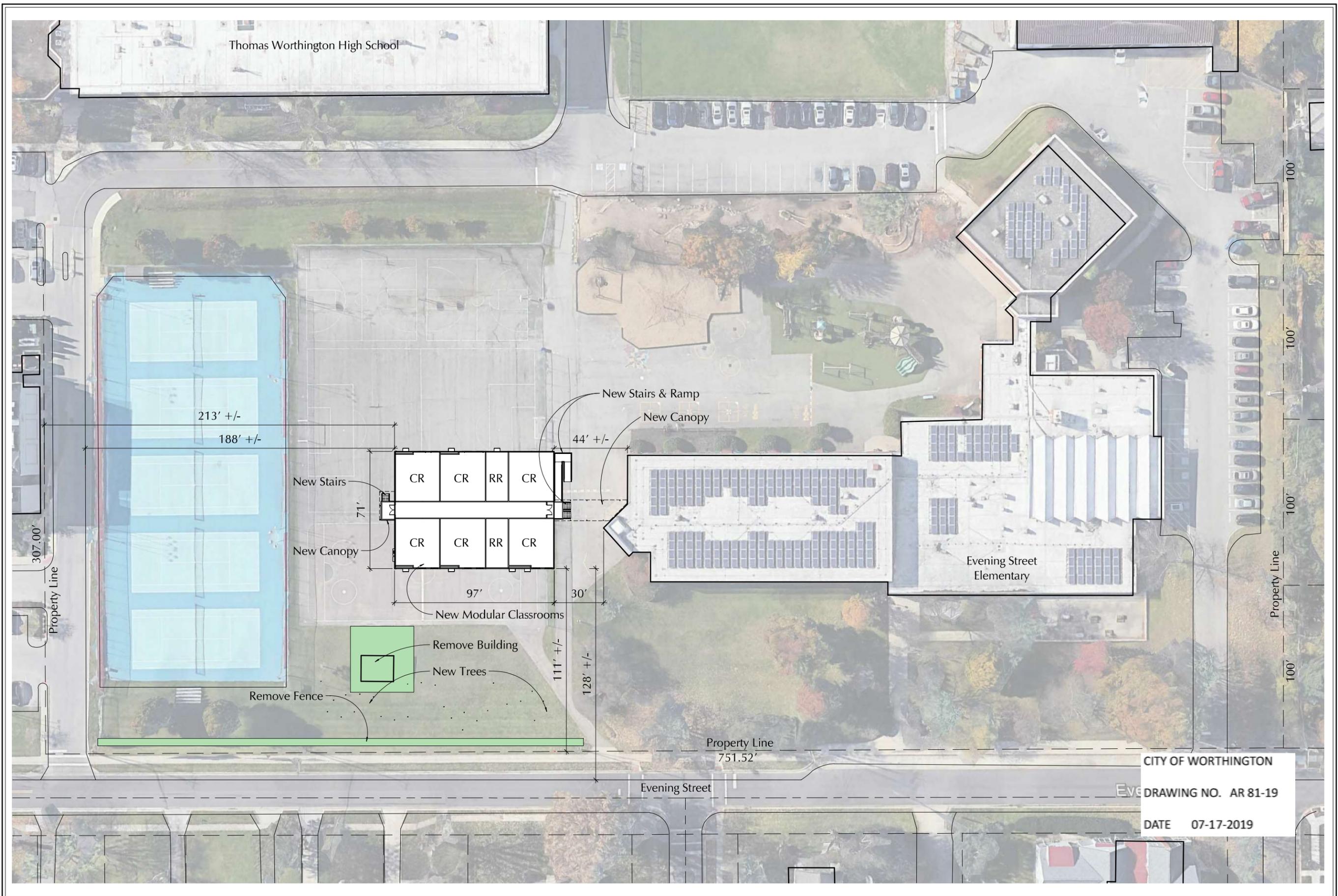
Supporting Statement
Evening Street Elementary Modular Classroom Unit
July 25th, 2019

Since the approval of the original application to place a modular classroom unit on the property of Evening Street Elementary on April 25, 2019, an agreement with neighboring property owners and city staff was reached to adjust the landscape plan and remove the existing perimeter fence. The Worthington City School District is seeking the approval to remove the fence that was originally stipulated to remain as part of the approved application.

In addition, since the modular unit was been delivered to the site, it was discovered the wrong floor plan was inadvertently used to develop the elevation drawings in the original application. New elevation drawings will be presented to accurately represent the modular unit currently on site; matching the same design theme previously approved.



CITY OF WORTHINGTON
DRAWING NO. AR 81-19
DATE 07-17-2019



CITY OF WORTHINGTON
 DRAWING NO. AR 81-19
 DATE 07-17-2019

Worthington Schools - Evening Street Modulares

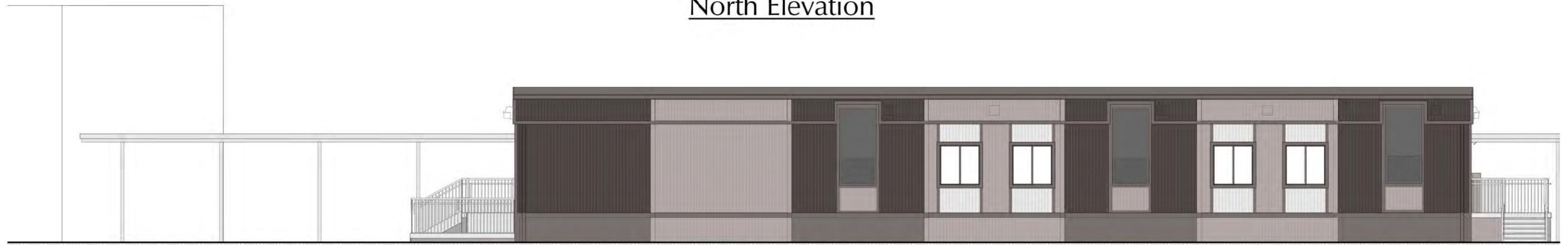




East Elevation



North Elevation



West Elevation

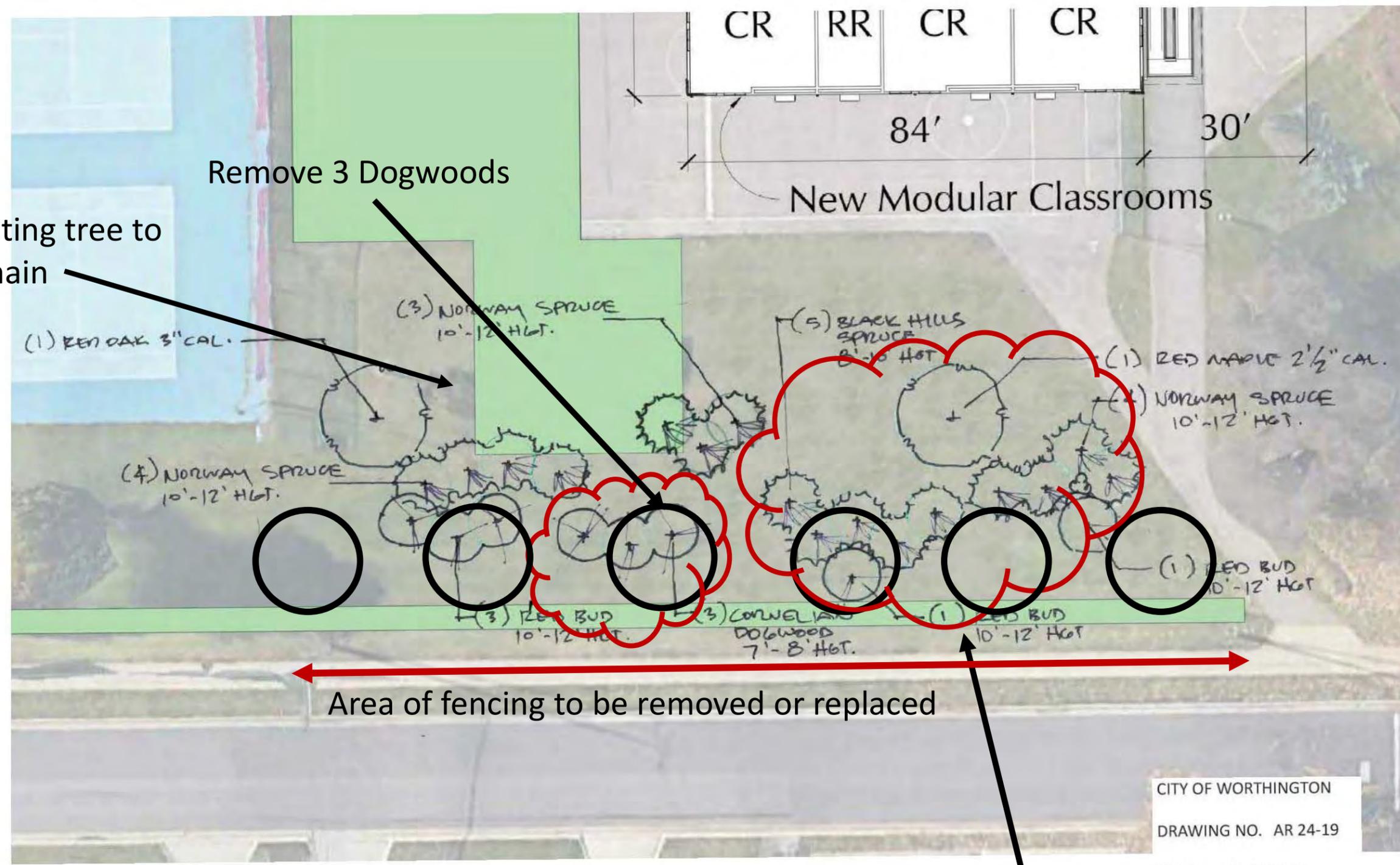


South Elevation

CITY OF WORTHINGTON

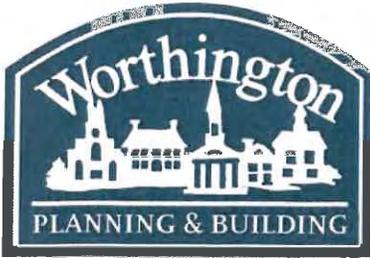
DRAWING NO. AR 81-19

DATE 07-17-2019



○ Street Trees = 6 Red Maples

- Move grouping of trees to the west to permit street tree placement
- Pines to be 10'-12' in height



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 79-19
Date Received	7-12-19
Fee	\$3.00
Meeting Date	7-25-19
Filing Deadline	7-17-19
Receipt #	107294

1. Property Location 905 N. High St Worthington, OH 43085

2. Present/Proposed Use Jersey Mike's Subs

3. Zoning District C-1

4. Applicant Tyler Washington / JM Sunbury LLC

Address 905 N. High St ^{Worthington} ~~Sunbury~~, OH 43085

Phone Number(s) 614-581-4979

Email _____

5. Property Owner Worthington Center LLC / Ed Mershad

Address 893 N. High St, Suite D, Worthington, OH

Phone Number(s) 614-571-1178

Email _____

6. Project Description Changing of the overhead street facing sign to say "Jersey Mike's Subs"

7. Project Details:

a) Design flat rectangle board illuminated by existing gooseneck lighting

b) Color Marsen backing with slight off white lettering

c) Size Approx 2ft x 6ft (will be uniform with all other center signage)

d) Approximate Cost \$2500 Expected Completion Date 8/15/19

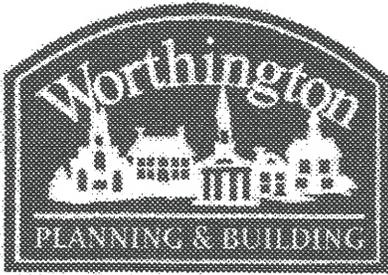
PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Tyler Washington
 Applicant (Signature)

7/12/19
 Date

 Property Owner (Signature)

 Date



City of Worthington

CONDITIONAL USE PERMIT APPLICATION

Case #	CU 0619
Date Received	7-12-19
Fee	\$25.00
Meeting Date	7-25-19
Filing Deadline	7-12-19
	# 67293

- Property Location 905 High St., Worthington, On 43085
- Zoning District C-1
- Applicant Tyler Washington / JM Sunbury LLC
 Address 905 N High St Worthington, On 43085
 Home Phone N/A Work Phone 614-581-4979
 Email tylerwashington20@yahoo.com
- Property Owner Worthington Center LLC / Ed Mershad
 Address 893 High St. Suite D
 Home Phone 614-571-1128 Work Phone 614-889-0049
 Email edward.mershad@gmail.com
- Business Name Jersey Mike's Subs
- Type of Business/ Conditional Use Ancillary on premise waiting and dining

PLEASE READ THE FOLLOWING STATEMENT AND SIGN:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Tyler Washington
Applicant (Signature)

7/14/19
Date

Ed Mershad
Property Owner (Signature)

7/10/19
Date

Abutting Property Owners List for
905 N. High St.

Marathon	911 High St.	Worthington, Ohio 43085
Poaga LLC	67 Spring Creek Dr.	Westerville, Ohio 43081
Poaga LLC	891 High St.	Worthington, Ohio 43085
The Salt Box	891 High St.	Worthington, Ohio 43085
CVS	918 High St.	Worthington, Ohio 43085
Pet People	910 High St.	Worthington, Ohio 43085
Porch Growler	890 High St.	Worthington, Ohio 43085
John & Barbara McConagha	876 Oxford St.	Worthington, Ohio 43085
Kevin & Emily Masterson	31 W. North St.	Worthington, Ohio 43085
Todd & Patricia Hitt	880 Oxford St.	Worthington, Ohio 43085
Michael and Joy Scholl	41 W. North St.	Worthington, Ohio 43085
Kevin and Mollie Turner TR	51 W. North St.	Worthington, Ohio 43085
Donald Drabant	872 Oxford St.	Worthington, Ohio 43085

905 N. High St.



July 12th 2019

Tyler Washington
JM Sunbury LLC, d.b.a Jersey Mike's Subs

To whom it may concern,

I am seeking a conditional use permit in zoning district c-1 at 905 N High St, Worthington Ohio in an effort to maintain the same use and convert the space that was previously occupied by Subway and transition the space into a Jersey Mike's Subs. As Subway departs, the vacated space should provide a smooth transition into a like concept, where our objective is to maintain the fundamentals of the space as the vast majority of the plumbing, electrical, and structural components of the space are in place as desired for conversion from one sub shop to another.

1. A. Effects on traffic patterns shall be minimal if not nonexistent as Jersey Mike's hours of operation are 10a-9p, only slightly different than the 7a-8:30p of Subway. As we do not offer a morning breakfast option, congestion through the area may be slightly subdued from 7a-10p as patrons who normally frequent the area for a breakfast option unfortunately will no longer have that option available until we open for lunch service at 10a. From the hours of 10a-9p we expect similar foot traffic as the previous tenant so no significant increase in traffic to the area is expected.
- B. No effect on public facilities is anticipated
- C. Effects on sewerage and drainage facilities are anticipated to remain consistent with previous tenant. With like use of the space and the anticipation for similar foot traffic, contributions to both areas are anticipated to remain consistent
- D. Utilities required are the same as the previous tenant and those that already remain on site, electric, gas, water.
- E. Safety and health considerations: As with the previous tenant, Jersey Mike's Sub will register and be licensed through the local governing health dept and will be subject the traditional health dept rules, guidelines, and inspection protocol. In addition, on site will be individuals licensed in food safety and handling practices, with these licenses being administered by the State of Ohio as well as Franklin County.
- F. As is already in place to aid in the filtration and safe disposal of any harmful/hazardous material a grease interceptor is installed and on site as existing to

prevent grease and any other harmful food particles from causing a hazard. This grease interceptor is regularly scheduled for emptying, cleaning, and inspecting by professionals to ensure the equipment is functioning properly.

G. Hours of Operation: 10am-9pm Monday – Sunday

H. Exterior of building will not be changing in any facet except the changing of the lettering on the overhead signage.

- I. Appearance of the building will not be altered except for the overhead signage. The overhead sign will be replaced to match the color scheme and theme of the rest of the building and the other tenant's signage. The exterior of the building will remain compatible with the general neighborhood
2. Site plan is attached, depicting the dimensions of the current space. No additions, subtractions or alterations to the dimensions of the space will occur.
3. Elevations: a sign application is being submitted concurrently, depicting the dimensions of signage. Signage will be uniform with the rest of the center's signage.
4. No alterations or additions to any exterior lighting will be made.

Thank you for your consideration,

Tyler Washington

Jersey Mike's Subs

614-581-4979



SUBWAY

905

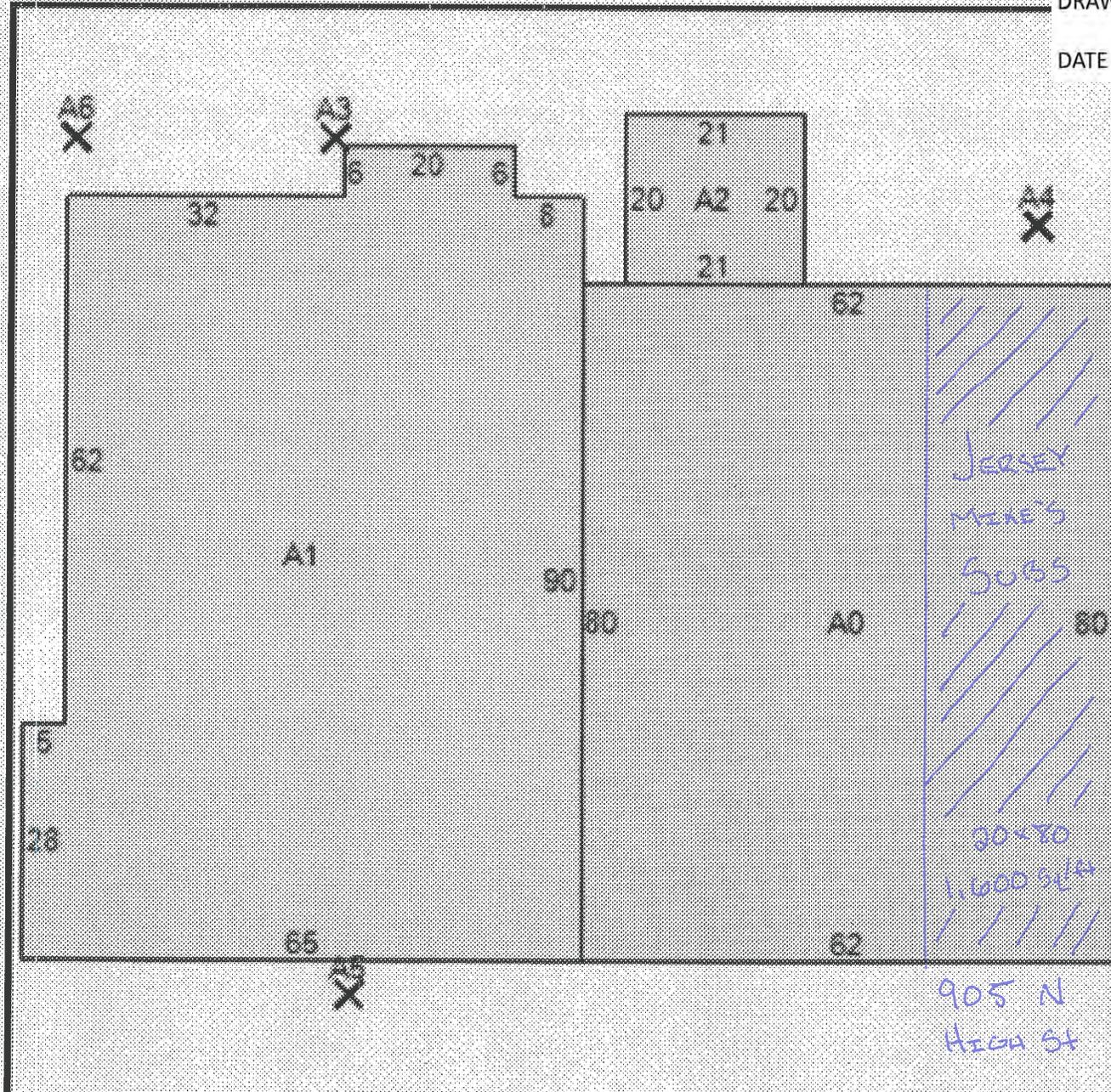
CATER
TO ALL
TASTES.

CITY OF WORTHINGTON
DRAWING NO. AR 79-19
DATE 07-12-2019

CITY OF WORTHINGTON

DRAWING NO. CU 06-19

DATE 07-12-2019





CITY OF WORTHINGTON

DRAWING NO. CU 06-19

DATE 07-12-2019



#S1-36820: S/F ROUTED HDU WALL SIGN 1" = 1'-0"

- HDU SIGN: 2" THICK ROUTED HDU WITH RAISED BORDER AND COPY - ALL PAINTED SW 2833.
ALL RECESSED BACKGROUNDS - PAINTED SW 7585 SUN DRIED TOMATO.

CITY OF WORTHINGTON

DRAWING NO. CU 06-19

DATE 07-12-2019

CITY OF WORTHINGTON

DRAWING NO. AR 79-19

DATE 07-12-2019



PROPOSED CONCEPTUAL: RIGHT (2) TENANTS SCALE: 3/32" = 1'-0"



Proudly Serving Central Ohio Since 1954

1640 Harmon Ave Columbus, Ohio, 43223
(614) 444-3333 (FAX) 444-3026
www.danitesign.com

UL LISTED via STANDARD UL48
FILE NO: E60042 DaNITE SIGN CO.

For electrical illuminated signs. For non-illuminated signs, UL does not apply.

COLORS

- SW 2833
- SW 7585 SUN DRIED TOMATO

APPROVED-CUSTOMER _____ DATE _____



JOB NAME JERSEY MIKES - WORTHINGTON #S1-36820
STREET 905 NORTH HIGH STREET
CITY, STATE WORTHINGTON, OH
SIGN TYPE WALL SIGN

DATE 7/16/19 REV. DATE:
FILE NAME JERSEY MIKES - WORTHINGTON.CDR
DIRECTORY ANYA > 2019 > J

SCALE AS NOTED SALE SC DESIGNER AG

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#S2-36820: REPLACEMENT FACES FOR D/F ILLUMINATED SIGN 1/2" = 1'-0"

- FACE REPLACEMENTS: WHITE POLYCARBONATE WITH 3630-005 IVORY VINYL COPY WITH OPAQUE 3630-49 BURGUNDY VINYL BACKGROUNDS.

NEW FACES
7/16/19

CITY OF WORTHINGTON
DRAWING NO. CU 06-19
DATE 07-12-2019

CITY OF WORTHINGTON
DRAWING NO. AR 79-19
DATE 07-12-2019



Proudly Serving Central Ohio Since 1954

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UL LISTED via STANDARD UL48
FILE NO.:E60042 DaNITE SIGN CO.

For electrical illuminated signs. For non-illuminated signs, UL does not apply.

COLORS

- 3630-49 BURGUNDY VINYL (OPAQUE)
- 3630-005 IVORY VINYL

APPROVED-CUSTOMER _____ DATE _____



JOB NAME	JERSEY MIKES - WORTHINGTON	#S2-36820
STREET	905 NORTH HIGH STREET	
CITY, STATE	WORTHINGTON, OH	
SIGN TYPE	REP FACES	
DATE	7/16/19	REV. DATE:
FILE NAME	JERSEY MIKES - WORTHINGTON.CDR	
DIRECTORY	ANYA > 2019 > J	

SCALE AS NOTED SALE SC DESIGNER AG

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