



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-
Thursday, April 11, 2019 at 7:00 P.M.**

Louis J. R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
*6550 North High Street
Worthington, Ohio 43085*

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the March 28, 2019 meeting
4. Affirmation/swearing in of witnesses

B. Architecture Review Board

1. Rear Garage Door & Front Entry – **688 Hartford St.** (Marcus Hitt) **AR 28-19**
(Amendment to AR 63-18)
2. Shed – **881 Oxford St.** (Steve Strohl & Kathleen Gwynne) **AR 29-19**
3. Garage, Siding, & Roof – **1 Kenyon Brook Dr.** (Robb Best) **AR 30-19** (Amendment to AR 104-18)
4. Fence, Window, & Finishes Modifications – **158 Medick Dr.** (Nicholson Builders Inc./Gasser) **AR 31-19** (Amendment to AR 91-18)

C. Municipal Planning Commission

1. Subdivision

- a. Preliminary Plat – Nine Lot Subdivision – **6560, 6580 & 6586 Worthington-Galena Rd.** (Brad Gibson) **SUB 03-19**

D. Other

E. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: April 5, 2019

SUBJECT: Staff Memo for the Meeting of April 11, 2019

B. Architecture Review Board

1. Rear Garage Door & Front Entry – **688 Hartford St.** (Marcus Hitt) **AR 28-19** (Amendment to AR 63-18)

Findings of Fact & Conclusions

Background & Request:

This house is a Cape Cod that was built in 1938 and is a contributing building in the Worthington Historic District. This property is 43' wide and extends roughly 252' to the east. The owners are in the process of constructing a rear addition; replacing the siding and windows; renovating the garage; constructing a shed; replacing existing fencing; and replacing the front porch and drive.

This request is for approval of a different rear garage door and changes to the front entry.

Project Details:

1. The previously approved new doors on the rear of the garage were to be sliding barn doors. Now the owner would like to install French doors with simulated divided light to match the doors on the rear of the house.
2. Bricks were proposed as a cap to the front porch which was deteriorating. The owner now needs to replace the entire stoop and would like to leave it as plain concrete.
3. In the previous approval, the bricks for the walkway and sides of the drive approach were to match the red brick color of chimney. The owner now plans to leave the walkway as it is with lighter colored brick pavers, and add bricks to match next to the drive approach.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

For repair work on older outbuildings, use new materials that match the old as closely as possible. Avoid modern materials that are incompatible with the original designs of these structures. When

in doubt, use materials that match those on the house, as was often done historically. Compatibility of design and materials and exterior detail and relationships are standards of review in the Architectural District ordinance.

Recommendation:

Staff is recommending approval of this application, as the changes are appropriate for this property.

Motion:

THAT THE REQUEST BY MARCUS W. HITT TO AMEND CERTIFICATE OF APPROPRIATENESS #63-18 BY MODIFYING THE REAR GARAGE DOOR & FRONT ENTRY AT 688 HARTFORD ST., AS PER CASE NO. AR 28-19, DRAWINGS NO. AR 28-19, DATED MARCH 29, 2019 BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Shed – 881 Oxford St. (Steve Strohl & Kathleen Gwynne) AR 29-19

Findings of fact & Conclusions

Background & Request:

The house on this 79.5’ wide x 153’ deep property is a 1950’s Cape Cod which is a contributing building in the Worthington Historic District. The structure includes a garage that is attached on the north side, and a deck to the rear that was approved in 2012.

The owners would like to construct a shed at the northwest corner of the property.

Project Details:

1. The footprint of the proposed shed would be 12’ x 16’, with the actual structure being 12’ x 12’. Location would be angled toward the yard from the corner, 8’ from the side property line and 10’ from the rear property line.
2. A shed style roof is proposed for the structure. The extra 4’ of proposed flooring would be covered by a higher ~11’11” part of the roof and function as a deck. The rear of the roof would be ~8’8”.
3. Wood composite siding is proposed for the walls that would be painted Sherwin Williams Porpoise (7047) to match the house. Asphalt shingle roofing to match the house is also proposed. Two doors are shown on the southeast side.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Recommendation:

A shed of this size, placement and material is appropriate for the property. A structure with a gabled roof may be more complimentary to the house and district.

Motion:

THAT THE REQUEST BY STEVE STROHL & KATHLEEN GWYNNE FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A SHED AT 881 OXFORD ST., AS PER CASE NO. AR 29-19, DRAWINGS NO. AR 29-19, DATED MARCH 29, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Garage, Siding, & Roof – **1 Kenyon Brook Dr.** (Robb Best) **AR 30-19** (Amendment to AR 104-18)

Findings of Fact & Conclusions

Background & Request:

This property is roughly 0.6 acres in area on the north side of Kenyon Brook Dr. and adjacent to N. High St. The 1 ½ story house was constructed in 1923 and was one of 3 original houses that were later part of the Kenyon Brook Dr. subdivision. The owners were approved to construct a freestanding 24' wide x 28' deep two-car garage to the east of the house at the ARB's November 8, 2018 meeting.

This application is a request to modify certain details of the previous approval for the garage, and to allow the owner to replace the siding and roofing on the house.

Project Details:

1. Alterations to the garage include:
 - The window style was changed to match house windows which have a 3 over 1 pattern. The windows would be installed without muntins, and the homeowner would construct and install them at a later date.
 - Each garage door would now have 12 panels with 4 vertical sections each and 4 sets of 2 vertical windows above.
 - A heat pump is proposed on the west side.
2. House modifications:
 - The existing cedar siding on the house is rotting in places, brittle and will reportedly not hold paint. Replacement with LP SmartSide lap siding in the same width is proposed. The color would be Dover Gray as was approved for the garage.
 - Pewter Landmark asphalt shingles are proposed for the house roof and would also match the new garage. Currently the roof edges are curved over the side, but would not be replaced that way. No contractors have proposed matching that design for the homeowner.
 - One light fixture is proposed above each garage door, and a light would likely be needed by the man door.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

Wood Siding:

- A. Existing historic wood siding should be retained and repaired as required. Such siding gives historic buildings a texture and appearance important to their character. Most siding is painted to weatherproof it, and keeping the paint in good shape is very important.
- B. If paint consistently blisters or peels off wood siding, look for moisture coming from leaking gutters or down-spouts; leaking supply or drain pipes on the interior; wall insulation that has collected moisture; or ground moisture rising into the siding. Correct these conditions and dry out the siding before painting again.
- C. Repairs to damaged siding should be done with new wood that exactly matches the appearance of the existing. Historic wood siding should not be covered over or removed if it is repairable.
- D. Wood siding is the preferred exterior material for new buildings, additions to existing buildings, or new garages and outbuildings. The siding should be used in one of its traditional forms: shingle, board-and-batten, shiplap or beveled siding.
- E. If replacement siding is installed over or in place of wood siding, it should be located only where the original siding was used. Avoid removal of or damage to window and door surrounds, ornamental elements such as eave brackets, and decorative panels or shingled areas. The new siding should match the thickness and width of the old as closely as possible. Consider removal of existing replacement siding, including cement-asbestos, but only if the underlying original siding is in good condition or can be repaired.

Roofs:

- A. Watch for roof problems such as bulges or dips in the roof (older roofs often have some simply from age, but such areas can cause open joints in metal roofing or lifted shingles); and interior stains around chimneys, dormers and skylights (these usually are symptoms of a flashing problem).
- B. Repair and retain existing traditional roofs such as wood shingle or slate. Roof materials often were intended to add to a building's character (especially slate) and should be retained for that reason.
- C. When installing a new roof on a building that currently has asphalt shingles, avoid the uneven, "staggered-butt" design or other shingle patterns that try to create an older look; a medium gray color generally is appropriate on an older building if it originally had a slate roof. Green, red or black shingles may also be appropriate, depending on the building's predominant colors. Avoid very light-colored shingles.

Recommendations:

Staff is recommending *approval* of this application based on the following considerations:

- The changes to the garage would make it more complimentary to the house.
- Although replacement of historic siding is not recommended, the condition of the siding is likely valid. Use of the same width and thickness of siding is important to retain the overall look.

- The roof on this house has always been curved on the edges and is part of the character. It is unfortunate the homeowner cannot find an asphalt shingle manufacturer or installer that is capable of that type of installation. It is most important, however, that the roof be able to keep water out of the house and away from the walls.

Motion:

THAT THE REQUEST BY ROBB BEST TO AMEND CERTIFICATE OF APPROPRIATENESS #104-18 WITH CHANGES TO THE PROPOSED GARAGE AND HOUSE AT 1 KENYON BROOK DR., AS PER CASE NO. AR 30-19, DRAWINGS NO. AR 30-19, DATED MARCH 29, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Fence, Window, & Finishes Modifications – **158 Medick Dr.** (Nicholson Builders Inc./Gasser) **AR 31-19** (Amendment to AR 91-18)

Findings of Fact & Conclusions

Background & Request:

The Medick Estates Subdivision was approved in 1950, creating Medick Way and Tucker Dr. This lot is at the northwest corner of Medick Way and Evening St., being one of three Medick Estates lots that are part of the Architectural Review District due to their adjacency to Evening St. The original house on this lot was constructed in 1951 and demolished down to the foundation last year. A new house is nearing completion, and approval is sought for minor modifications to proposed fencing, windows and finishes.

Project Details:

1. When this project began there was fencing around the area east of the house that was approved by the ARB & BZA in 2008. The plans approved for the new house only showed fencing at the southeast corner of the house and between garage structures along Evening St. with an electric gate. The 36” metal fencing was proposed with decorative finials. Now, fencing is proposed to enclose the east side yard next to the house as before and run from the gate area to the rear of the garage. A variance would be needed for the northern section of fencing. The proposed style is still black aluminum picket, but finials are no longer part of the design. Instead there would be two horizontal rails at the top and bottom of the fence.
2. First floor windows are shown on the new drawings as 10” taller than originally proposed.
3. On the west elevation, board and batten siding is shown above stone veneer, as is proposed on the front and east elevations. Previously, the stone was shown on the entire wall.
4. A door previously proposed on the east elevation has been moved to the south wall of the garage. A light fixture would accompany the door.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

When using multiple-paned windows, avoid designs with horizontally-proportioned panes. This type of window had panes with vertical proportions -- taller than they are wide --and using panes

that are wider than they are tall throws off the proportions of the entire window. Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of window panes and muntins; and trim around the windows. Generally, ornate doors are not appropriate for simple house forms. Design and materials should be traditional, and compatible with the existing structure.

Many traditional fence types are appropriate for use in Worthington. Earlier examples, typical of early- to mid-19th century homes, include rail fences, vertical board fences, and low masonry walls. From the mid-19th century into the early 20th century, cast and wrought iron fences were very popular, especially in side yards. Select fencing appropriate for the house period and style. Side yard fences should be open in style (avoid solid, opaque fences that block all views) and three to four feet in height.

Recommendation:

Staff is recommending approval of this application. The proposed changes, especially to the windows and west wall, are an improvement and appropriate for this project.

Motion:

THAT THE REQUEST BY NICHOLSON BUILDERS INC. ON BEHALF OF JANICE GASSER TO MODIFY CERTIFICATE OF APPROPRIATENESS NO. AR 82-17 WITH FENCE, WINDOW, DOOR AND FINISH CHANGES AT 158 MEDICK WAY AS PER CASE NO. AR 31-19, DRAWINGS NO. AR 31-19, DATED MARCH 29, 2019, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

C. Municipal Planning Commission

1. Subdivision

- a. Preliminary Plat – Nine Lot Subdivision – **6560, 6580 & 6586 Worthington-Galena Rd.**
(Brad Gibson) **SUB 03-19**

Findings of Fact & Conclusions

Background & Request:

This application involves a 4.01-acre property on the south side of Worthington-Galena Rd. made up of Lots 2 & 3 and part of Lot 4 of the Worthington Acres Subdivision. Worthington Acres was created in 1941 and covers a large area along Worthington-Galena Rd. and Schrock Rd. to Proprietors Rd. on the east side. Each of these lots currently contains a single-family home toward the back with access by way of a long driveway from Worthington-Galena Rd. The houses were constructed in the 1950's and 1960's, with the westernmost house (6560) being recently renovated, and the easternmost house (6586) identified with "Heller's Haven" on entry wall signs.

All three parcels are in the R-10 Zoning District as are the properties along Worthington-Galena Rd. to the northeast and southwest. Adjacent to the southwest is a house owned and used by what used to be the Worthington Baptist Church. The property to the south is Worthington Condominiums in the AR 4.5 Zoning District. Across the street in the C-3 Zoning District are the Worthington Police Department and an office complex.

This is a request to subdivide the 3 adjacent parcels to create 9 single-family lots fronting on a new public street with a cul-de-sac.

Project Details:

1. The subdivision is being proposed by the owner and resident of 6560 Worthington Galena Rd., Brad Gibson, whose house would be incorporated into the subdivision. The other 2 houses at 6580 & 6586 are proposed for demolition. A real estate agent, engineer and landscape architect are part of the project team.
2. Eight new homes in the \$750,000 to \$1,000,000 range are proposed for the new lots.
3. Exhibit A-1 shows existing conditions, including the structures, topography which slopes down dramatically to the south, trees and existing utilities.
4. Exhibit A-2 is the layout of the proposed subdivision:
 - The new road would extend 311.65' from the centerline of Worthington-Galena Rd. to the center of the cul-de-sac, or about 270' from the front property line. A 50' right-of-way is proposed with a road that is 26' from face of curb to face of curb. The cul-de-sac would have a 38' street radius and a 50' right-of-way radius.
 - Lot sizes range from 0.24 acres in area to 0.73 acres for the lot at the southeast corner. All of the lots would be at least 80' wide, including those at the cul-de-sac which would be measured at the setback line.
 - Setback lines are depicted showing 30' from required front and rear yards and 10' for required side yards. The only exception would be a request to allow for the existing house at about 8' from the rear, as the location was based on that line being a side property line.
 - Curb and gutter would run around the entire street, ending at Worthington-Galena Rd. which does not have gutters.
 - 5' wide sidewalk is proposed about 5' behind the curb along the new street, and an 8' multi-use path would be in the right-of-way at the front of the site.
5. Grading and utilities are shown on Exhibit A-3:
 - Sanitary sewer is proposed to connect to an existing 8" line on the northeast side of the police property. The sewer would extend across Worthington-Galena Rd. and run adjacent to the frontage of the property to allow connection by the owner at 6590 Worthington-Galena Rd. and the church to the southwest. The new line for the subdivision would extend along the east side of the new street.
 - An 8" water line in Worthington-Galena Rd. would be tapped and extend along the west side of the new right-of-way to provide service to the subdivision.
 - Storm water is proposed to be handled by draining water to the west through pipes and across some surfaces to a 5' deep pond which would then connect to an existing 15" pipe in the right-of-way. Screening, mounding and lifesaving equipment are proposed with the pond, and a guard rail may be required.

6. Trees are addressed on Exhibits B-1 through B-3:
 - Existing trees are shown on B-2, with the species, size, condition, total inches preserved and total inches removed on B-3. The information is based on trees 6” or greater at breast height as is required by the Code. Out of 1979” on the site, 674” of tree trunk (47 trees) are proposed for removal and 1305” (95 trees) would be preserved. The preserved trees would mainly be around the perimeter of the site.
 - Sixteen 2” caliper Frontier Elm street trees are proposed along the new street.

Land Use Plans:

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan encourages redevelopment that creates a life-span community. This includes creating housing products that will attract young professionals and maturing adults so they can “live in place” in Worthington. Well-designed housing products catering to these groups should be sought and supported. Any new housing development should be well integrated and connected with the community. The City should encourage and facilitate the maintenance and vitality of the existing single-family neighborhoods. Most of the housing stock is at least 30 years old an age when long-term maintenance is critical. Standard expectations for house space arrangements have changed since Worthington's homes were built so renovation may be necessary to remain competitive in the Central Ohio market.

Interconnection is critical to creating a community and bringing people together. Neighborhoods are created because they are connected and woven together. Worthington was established to be a strong community. To achieve this, it is imperative that all of the City’s neighborhoods, parks, schools, and activity centers are interconnected with sidewalks and linked into the bike path system. This means that every public road should have at least a sidewalk or pathway on one side, and major roads should include a bikeway. Developments should have multiple public road connections – cul-de-sacs and single access points should be a last resort. New single-family, detached homes should only be built to infill vacant lots in existing neighborhoods, replace existing ones, or as a small buffer for a larger mixed-use development project. The Worthington Galena Road parcels west of the Worthington Christian School would make a good site for infill residential development. Improved sidewalks and bike path along this road would strengthen these connections.

Worthington Code

Chapter 1101 - Subdivision Platting Regulations

Staff Analysis:

1. The proposed subdivision meets the dimensional requirements of the Code.
2. Pedestrian and bicycle facilities along the new street and Worthington-Galena Rd. would be appropriate based on the City’s goal for interconnection. Timing of the multi-use path placement must be determined.
3. Although this proposal is not part of a larger multi-use project, the location would provide new high-end houses adjacent to commercial and multi-family residential uses.
4. Dedication of right-of-way at the west corner of the site is requested to allow room for the multi-use path.

5. The following information is missing from the Preliminary Plat:
- Proposed name of the Subdivision and Street
 - Location within the City.
 - Names and addresses of owners, developers and the land surveyor registered by the State of Ohio who made the Plat - This information is provided but should be on the plat.
 - Boundary lines of the proposed Subdivision indicated by solid heavy lines and the total approximate acreage encompassed therein - Should be shown with existing conditions.
 - Width of existing streets
 - Existing zoning classifications and dimensional requirements.

Recommendation:

Staff is recommending tabling of this application until such a time that all necessary information is received and evaluated.



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case #	AR 63-18
Date Received	7-12-2018
Fee	\$13,000 pd
Meeting Date	7-26-18
Filing Deadline	
Receipt #	65561

1. **Property Location** 688 Hartford Street

2. **Present/Proposed Use** Residential

3. **Zoning District** R-10

4. **Applicant** Marcus W. Hitt

Address 688 Hartford Street, Worthington, OH 43085

Phone Number(s) 937.541.5428

5. **Property Owner** Marcus Hitt; Rebecca Hitt

Address 688 Hartford Street, Worthington, OH 43085

Phone Number(s) 937.541.5428

6. **Project Description** Rear patio, fence, new bricks for front walkway
garage maintenance and upgrades; storage shed; fence replacement; and masonry finishes

7. **Project Details:**

a) **Design** paver patio, cedar fence, clay bricks

b) **Color** (see supporting documents)

c) **Size** Patio is 650 square feet, including rear walkway

d) **Approximate Cost** \$13,000 **Expected Completion Date** September 2018

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.


Applicant (Signature)

7/12/18
Date


Property Owner (Signature)

7/12/18
Date

ABUTTING PROPERTY OWNERS
FOR
688 Hartford St.

Robert & Lynne Browning
Daniel & Colby Srsic
Jeffrey & Elizabeth McClellan
Glenn Laine & Garneta Aber
Donald Mutti
Daniel & Rachel Gibson

686 Hartford St
694 Hartford St.
695 Hartford St.
707 Morning St.
689 Hartford St.
701 Morning St.

Worthington, OH 43085
Worthington, OH 43085

STATEMENT OF SUPPORT

We have amended our original property renovation plans approved December 2017, specific to two items:

- 1) **Rear garage doors** – Our original plans approved in Dec. 2017 included two barn doors we intended to add to the rear of our existing garage. Upon the completion of our patio, we've decided to install a more traditional set of French doors to match the aesthetic of the home and neighborhood.
- 2) **Front stoop** – In December 2017, we proposed to cap the existing stoop with clay bricks. Given the condition of the existing materials, we propose to remove and replace the concrete stoop with a similar style and materials.
- 3) **Bricks for driveway apron** – TBD

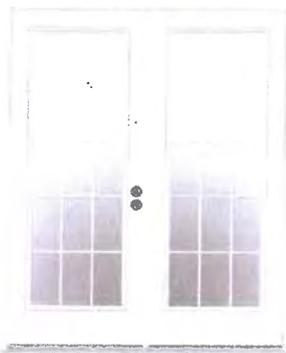
1. Rear garage door

Proposing to replace planned barn doors with higher quality, more traditional French doors.

Below are key details

- **Style:** French doors with simulated divided light grill
- **Material:** Steel exterior – to be painted white
- **Pickets:**
 - Height: 80 inches
 - Width: 72 inches

Picture of new door:



Location of new door:



CITY OF WORTHINGTON

DRAWING NO. AR 28-19

DATE 03-29-2019

688 Hartford St.



100-000587 04/25/2017

2. Front Stoop

Remove and replace the concrete stoop with a similar style and concrete materials. Project includes:

- Front stoop (see picture)
 - Porch Dimensions
 - Pad: 4' x 6'
 - Stairs: 2'-2" x 5'-5.5"
 - Materials
 - Style / color: Concrete



3) Bricks for driveway apron

Add bricks to driveway apron with matching bricks for walkway.

Driveway apron (see pictures on next page)

- Replace mulch beds on side of driveway with bricks; will not raise the elevation
- Bricked space will be 1'-3.75" wide and 12'-2" long (length of driveway apron)
- Materials
 - Style: Concrete
 - Color: Grey
 - Brick Size: 4.875" x 7.875" x 2.25"

DRIVEWAY APRON

Replace mulch on both sides of driveway with red clay bricks. Will not disturb / will work around tree roots as needed.

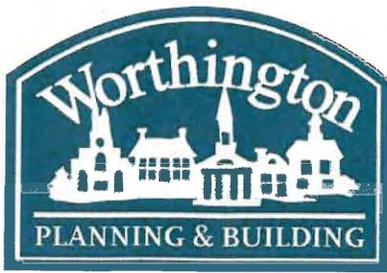


CITY OF WORTHINGTON

DRAWING NO. AR 28-19

DATE 03-29-2019

Hitt – ARB Application, March 2019



City of Worthington

ARCHITECTURAL REVIEW BOARD

Certificate of Appropriateness Application

Case #	AR 29-19
Date Received	3-29-19
Fee	\$2.00 pd
Meeting Date	4-11-19
Filing Deadline	3-29-19
Receipt #	06731

- 1. Property Location 881 Oxford Street, Worthington
- 2. Present/Proposed Use outbuilding (shed) for storage
- 3. Zoning District R-10 Residential
- 4. Applicant Steve Strohl and Kathleen Gwynne

Address 881 Oxford Street, Worthington 43085
 Phone Number(s) 614-446-8136 / 614-738-5161

Email _____

- 5. Property Owner Steve Strohl and Kathleen Gwynne

Address (same as above)

Phone Number(s) (same)

Email (same)

- 6. Project Description propose to build a shed on the NW corner of the property

7. Project Details:

- a) Design wood, 2-door, sloped roof
- b) Color Sherwin Williams - Poppoise (same as main house)
- c) Size 12 ft x 12 ft
- d) Approximate Cost \$2,000 Expected Completion Date June 30, 2019

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
 Applicant (Signature)

3/28/19
 Date

[Signature]
 Property Owner (Signature)

3/28/19
 Date

ABUTTING PROPERTY OWNERS
FOR
881 Oxford St.

David and Anne Schmidt
Robert and Jeanne Ashworth
Charles and Anne Hyland
Barry Wolinetz
Todd and Patricia Hitt
John and Barbara McConagha

907 Oxford St.
875 Oxford St.
104 W. Clearview Ave.
97 W. North St.
880 Oxford St.
876 Oxford St.

Worthington, OH 43085
Worthington, OH 43085

City of Worthington

Architectural Review Board

Application due date: 3/29/19

Hearing date: 4/11/19

Steve Strohl and Kathleen Gwynne

881 Oxford Street

Worthington, Ohio 43085

614-496-8136 and 614-738-5161

Teawan@hotmail.com and KGwynne@hotmail.com

**PROPOSAL TO CONSTRUCT SMALL OUTBUILDING
AT 881 OXFORD STREET, WORTHINGTON, OHIO**

We are proposing to build a small outbuilding at the northwest corner of our property at 881 Oxford Street. The building will be used as a private shed, storage space, and workshop.

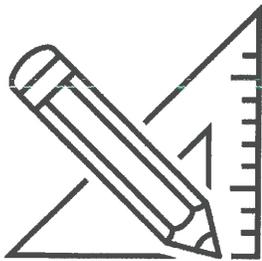
Details are as follows:

- The footprint will be 12' x 16', but the building itself will be 12' x 12'. Because the building is only 144 square feet, no footers will be used, and the building will sit on a 2 inch gravel foundation.
- The extra flooring, not used to support the building, will be used as a deck in front of the shed, at ground level.
- The building will be angled in the northwest corner of the yard, with the doors facing the middle of the backyard.
- The shed will be constructed from the ground up, as opposed to a pre-fabricated building.
- Color choices for the walls, trim, deck, and window have been selected to match the existing colors of the primary residence. Wall color and Smart Board material are enclosed with this package for review.
- The building will have a sloped roof with a slight overhang, and charcoal color tab shingles to match the main residence.
- Only one window will be included on the northeast corner of the building.
- Two doors will be constructed from the Smart Board T1-11, and trimmed in white 2" x 4" boards.

We would appreciate your review and approval of the shed plans. All images of the building, main house, and yard dimensions have been included on attached drawings. Thank you for your time and consideration,

Steve Strohl and Kate Gwynne

BUILDING MATERIALS



- ✓ FOUNDATION: 2" thick Porous packing gravel
- ✓ FLOOR RUNNERS: 4" x 4" pressure treated boards
- ✓ FLOOR STUDS: 2" x 4" lumber
- ✓ FLOOR SHEATHING: OSB (oriented strand board)
- ✓ DECK SUPPORTS: 2" x 4" lumber
- ✓ WALL STUDS: 2" x 4" lumber
- ✓ DECK BOARD: 1" x 2" lumber
- ✓ DECK STAIN: Cedar red to match existing deck attached to main house (see sample)
- ✓ WALLS and DOORS: 4' x 8' Smart siding board T1-11, 3/4" thick (see sample)
- ✓ WINDOW: 35 1/2 w x 23 1/2 h side open
- ✓ ROOF STUDS: 2" x 4" lumber
- ✓ ROOF SHEATHING: OSB
- ✓ ROOF COVER: standard charcoal tab roof shingles to match main house
- ✓ SHED SIDING PAINT - Sherwin Williams 7047 to match main house (see sample)
- ✓ SHED TRIM PAINT - white to match main house trim

CITY OF WORTHINGTON

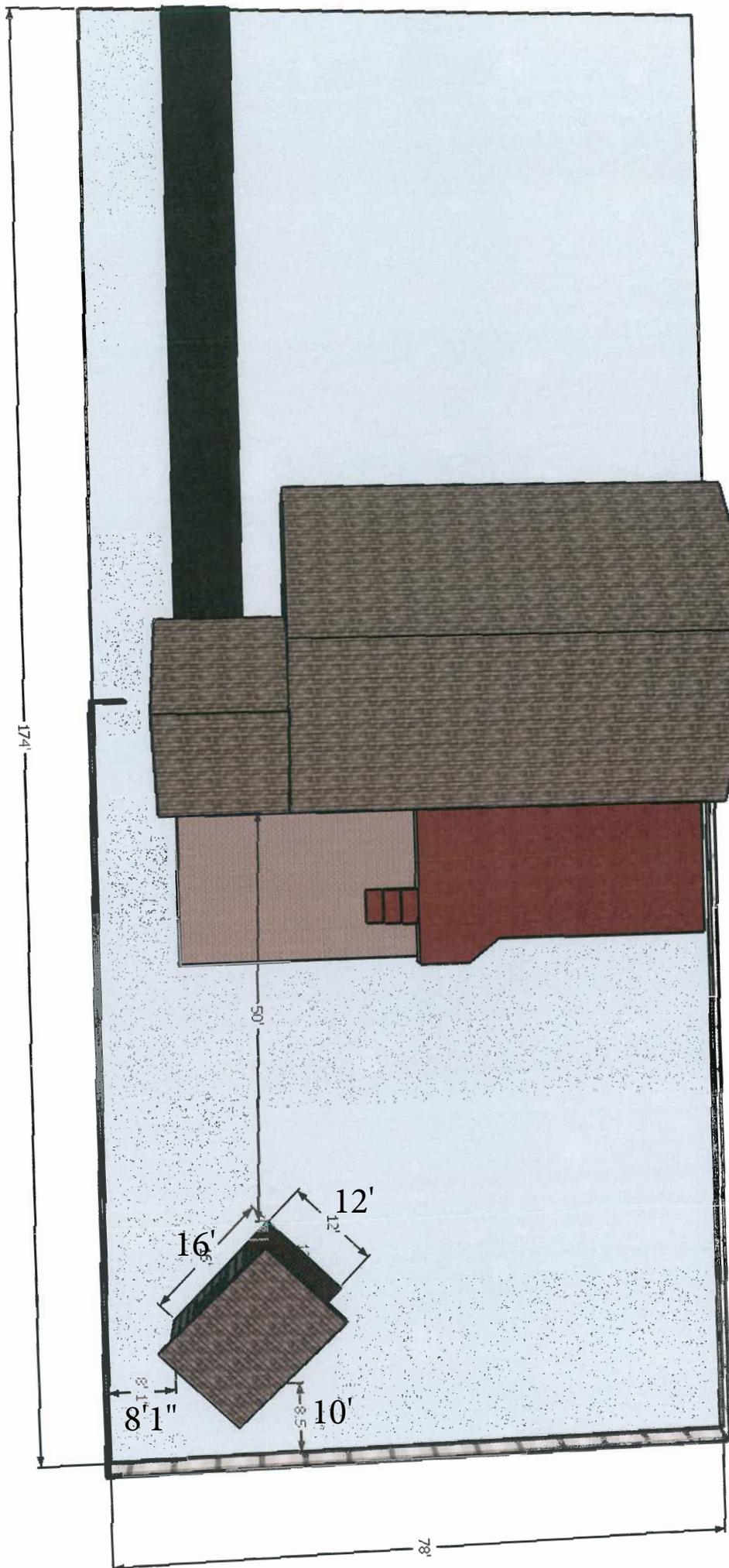
DRAWING NO. AR 29-19

DATE 03-29-2019

881 Oxford St.



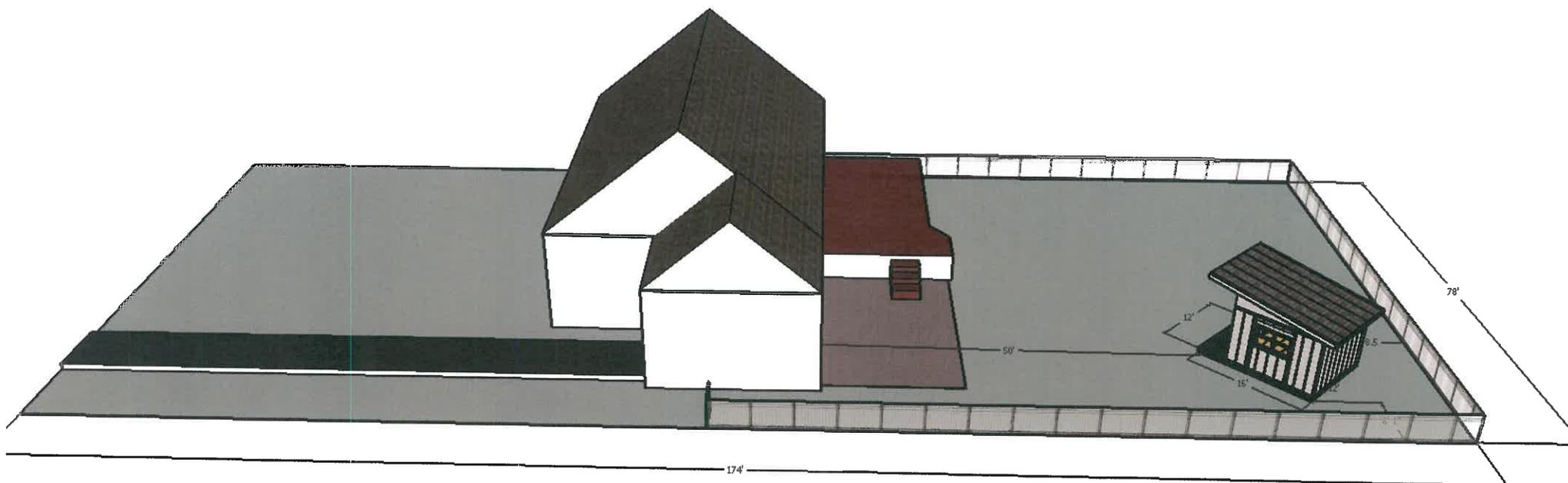
TOP
VIEW



CITY OF WORTHINGTON
DRAWING NO. AR 29-19
DATE 03-29-2019

Right

Side View

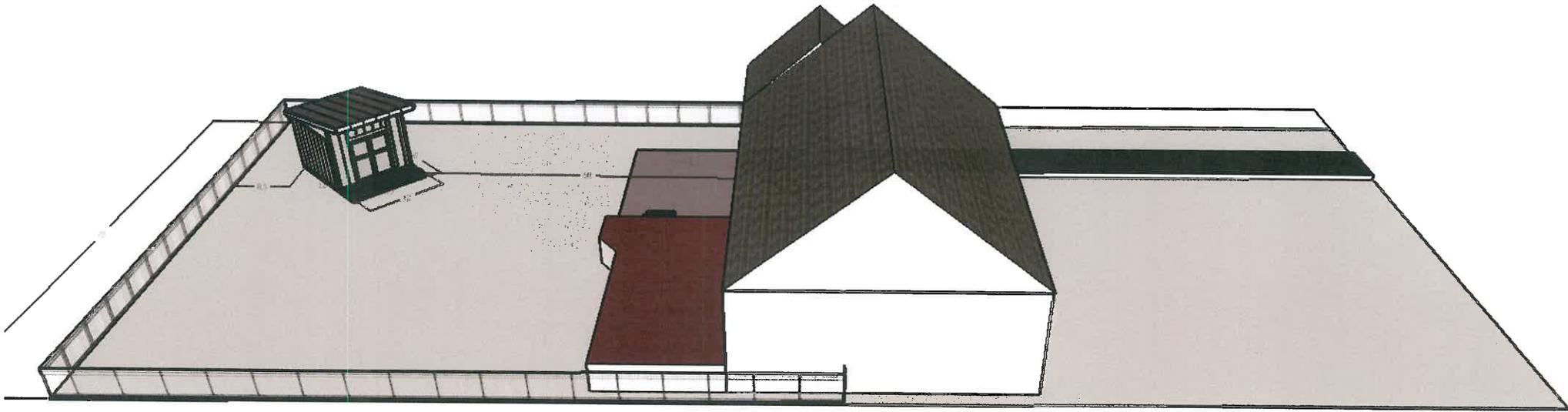


CITY OF WORTHINGTON

DRAWING NO. AR 29-19

DATE 03-29-2019

Left Side View

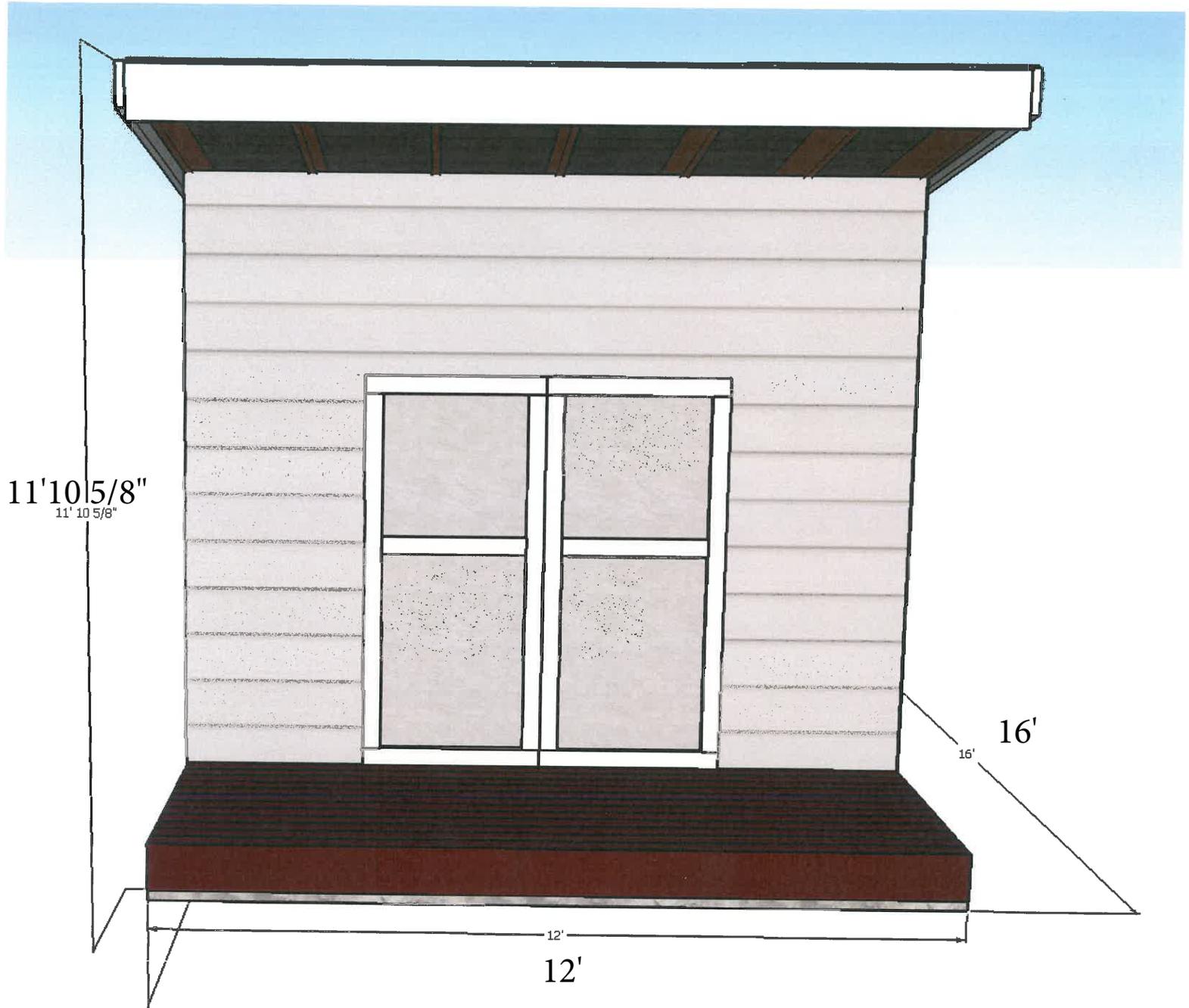


CITY OF WORTHINGTON

DRAWING NO. AR 29-19

DATE 03-29-2019

Front View

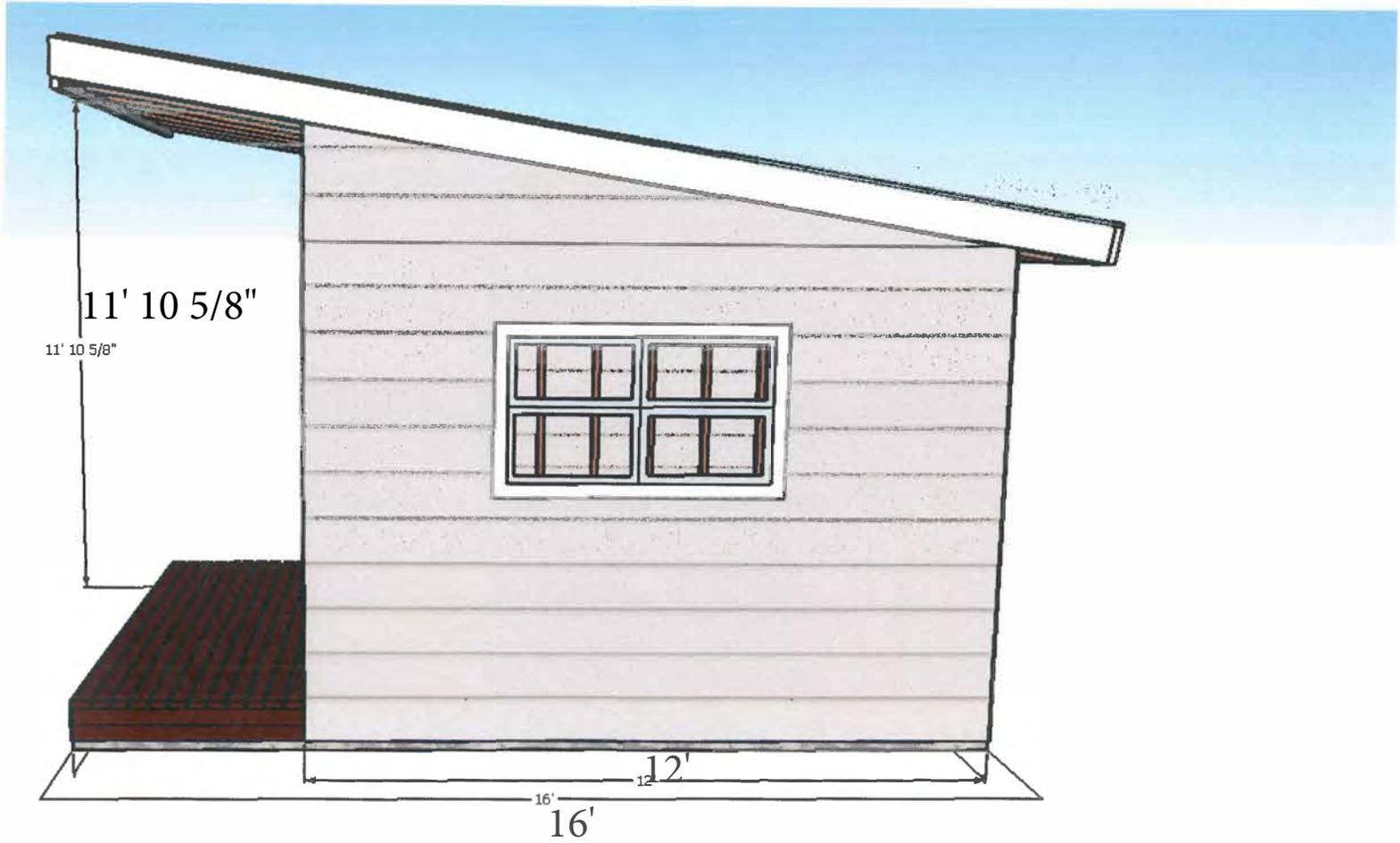


CITY OF WORTHINGTON

DRAWING NO. AR 29-19

DATE 03-29-2019

Right Side View

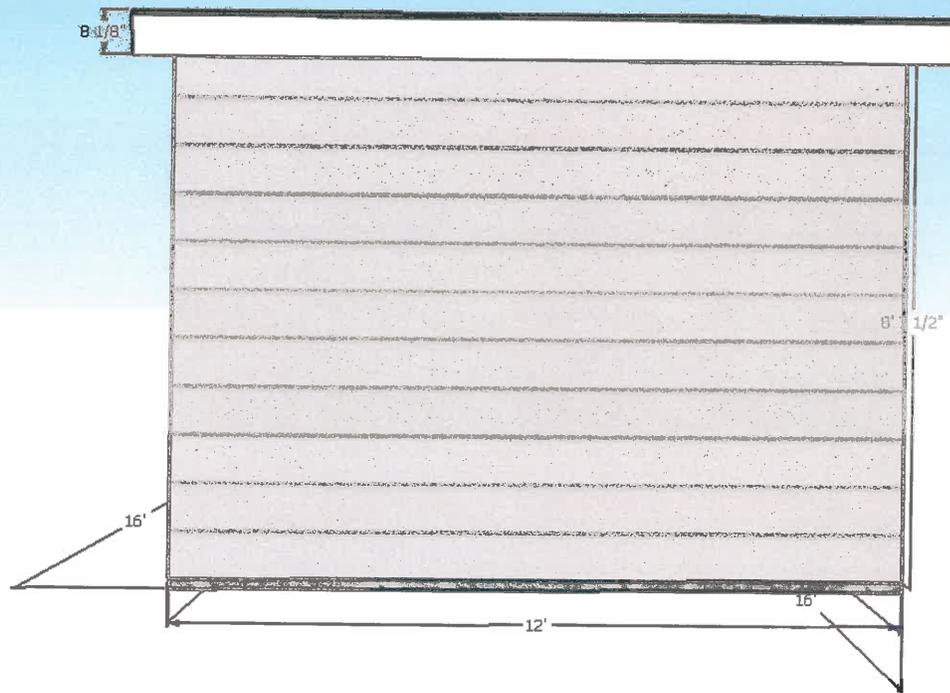


CITY OF WORTHINGTON

DRAWING NO. AR 29-19

DATE 03-29-2019

Back View

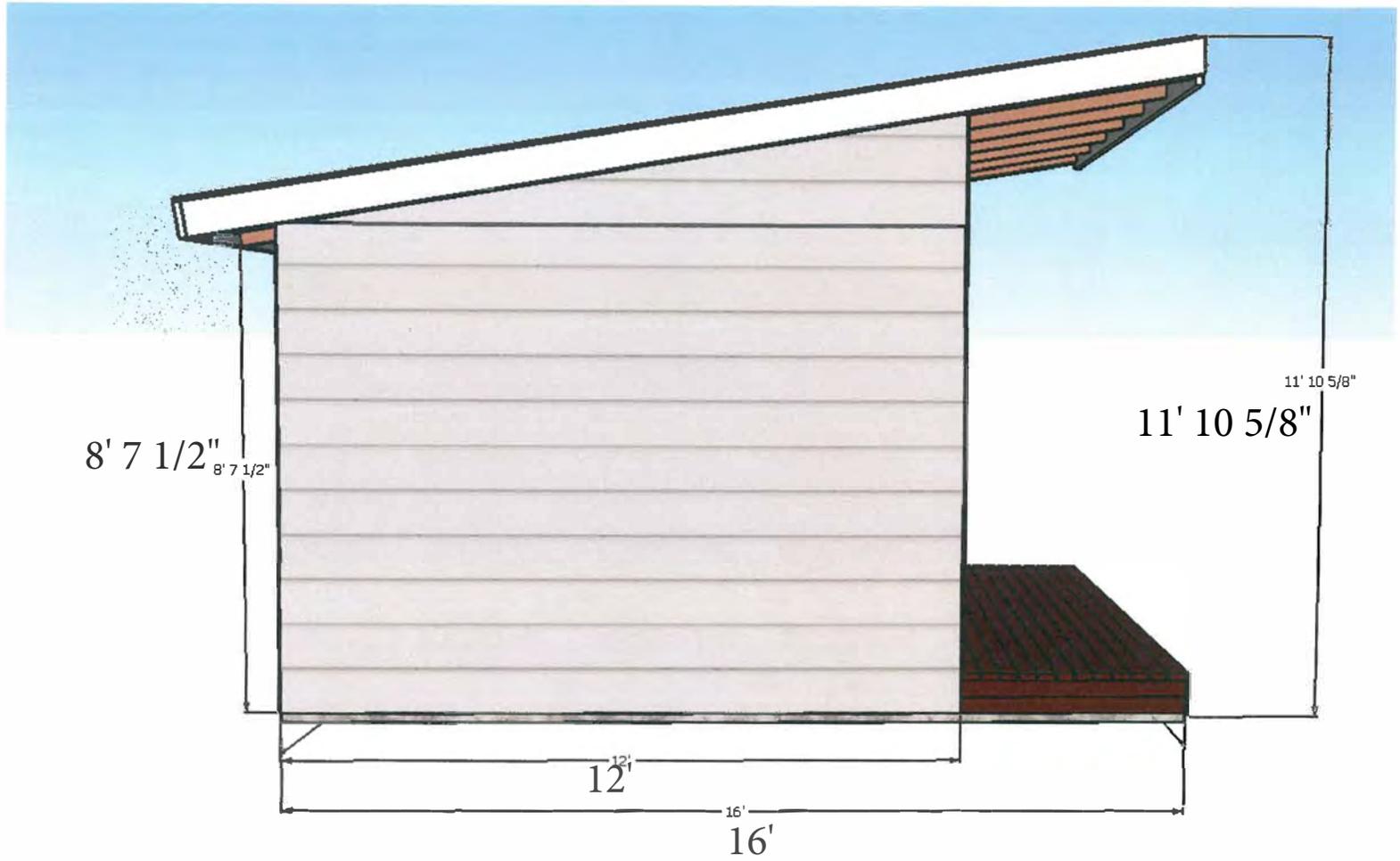


CITY OF WORTHINGTON

DRAWING NO. AR 29-19

DATE 03-29-2019

Left Side View

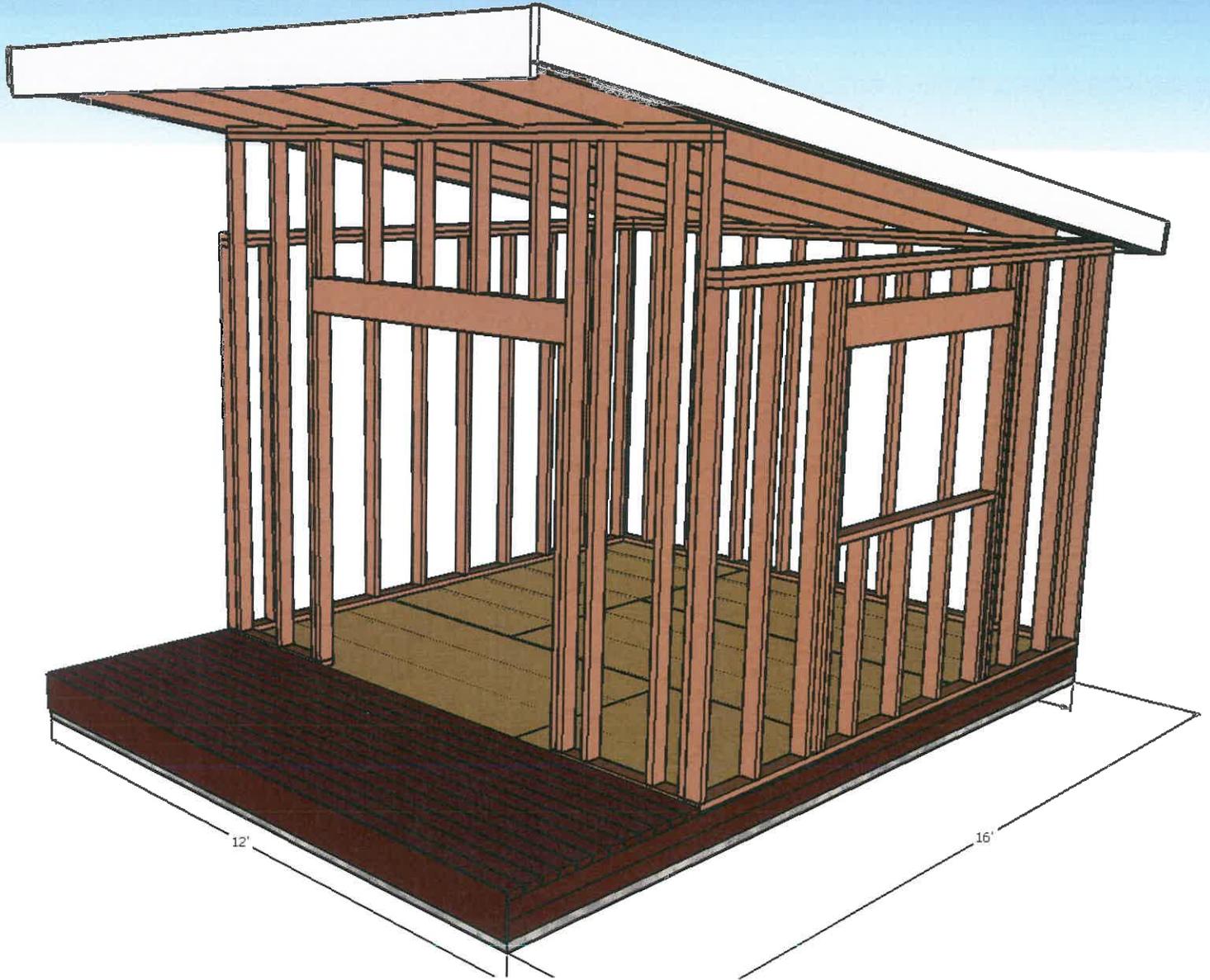


CITY OF WORTHINGTON

DRAWING NO. AR 29-19

DATE 03-29-2019

Walls & Ceiling Studs

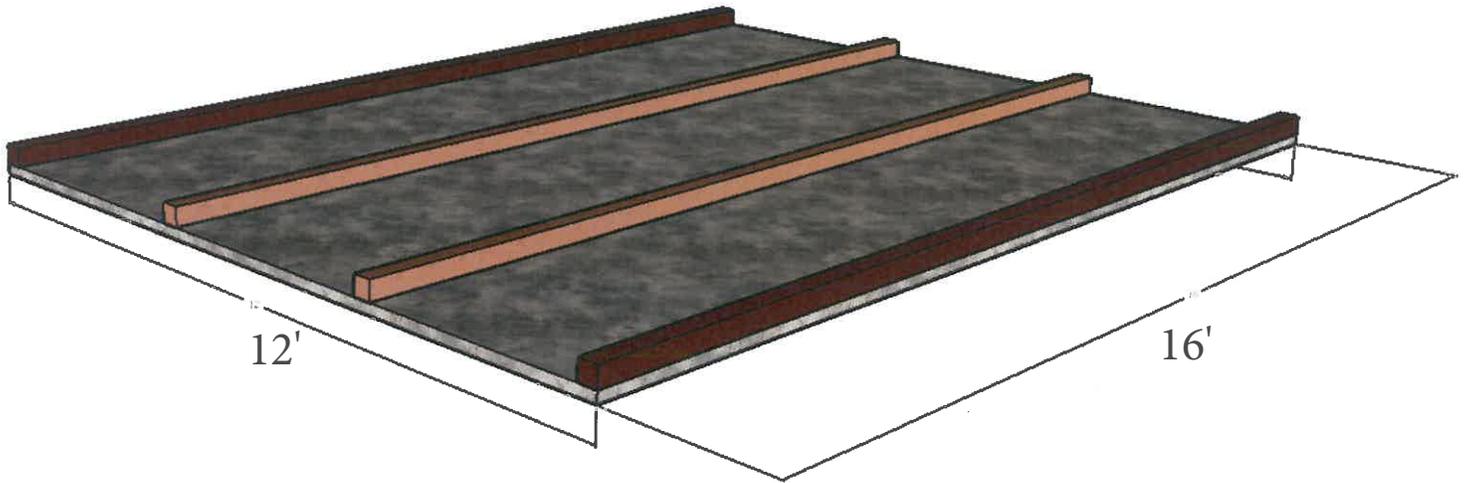


CITY OF WORTHINGTON

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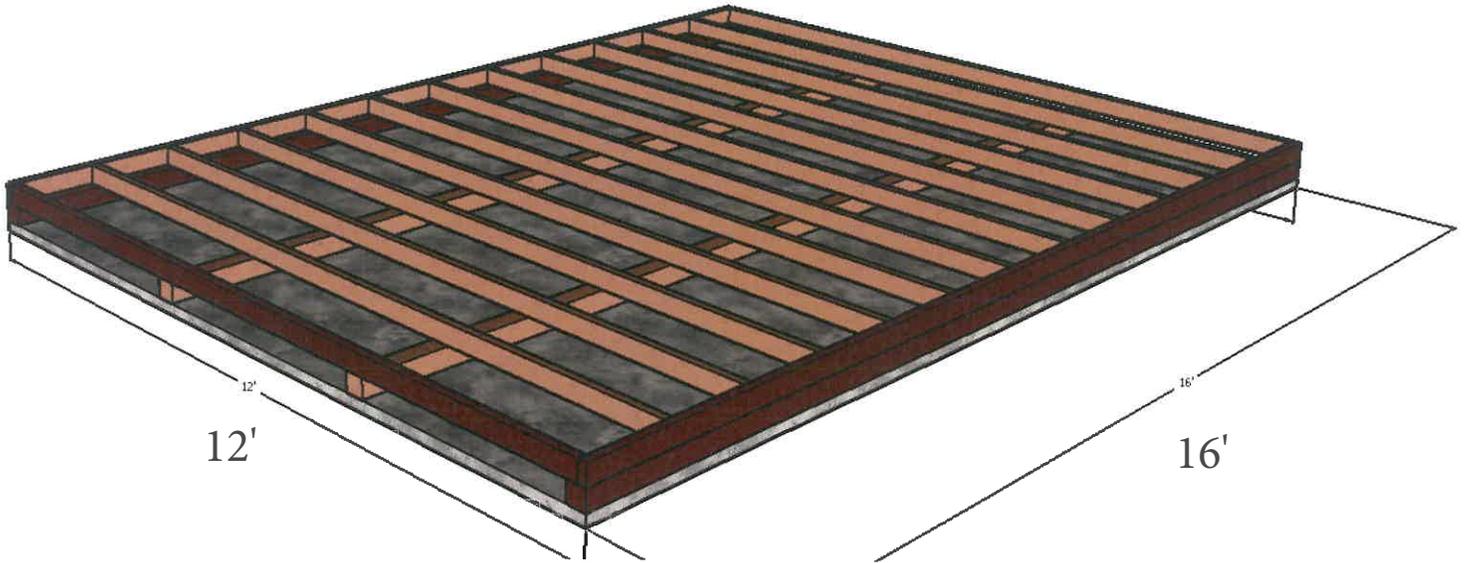
DATE 03-29-2019

Stone Pad & Runners



CITY OF WORTHINGTON
DRAWING NO. AR 29-19
DATE 03-29-2019

Floor Studs

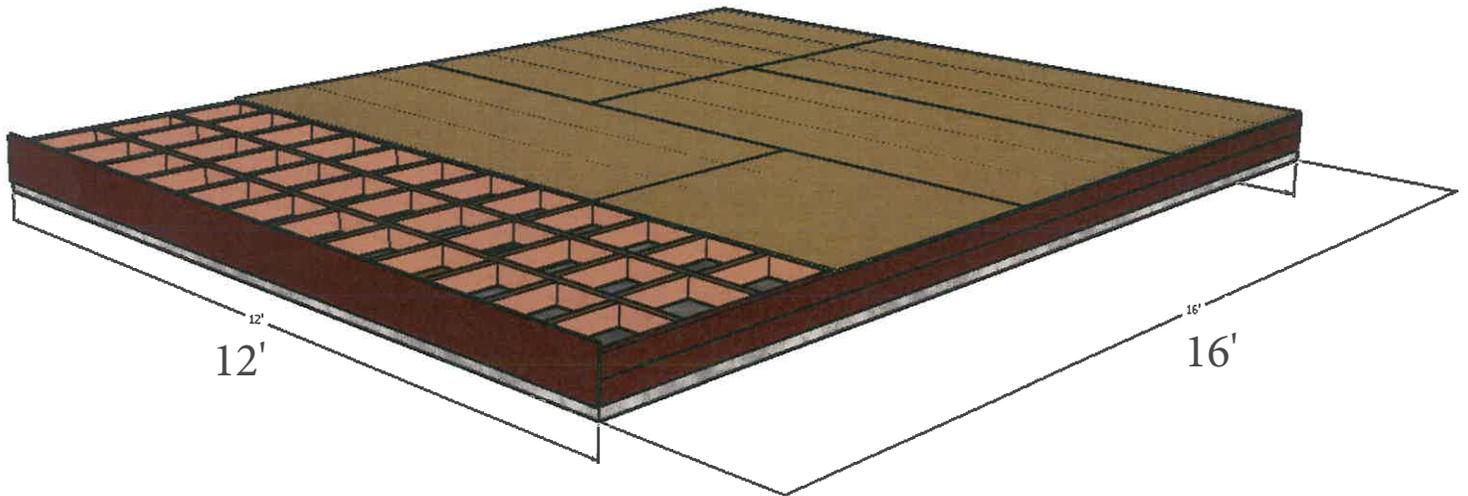


CITY OF WORTHINGTON

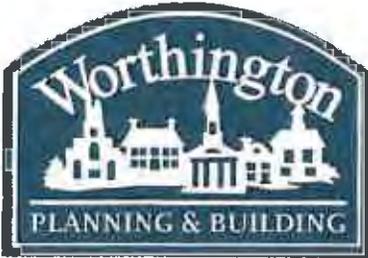
DRAWING NO. AR 29-19

DATE 03-29-2019

Floor Sheathing & Deck Supports



CITY OF WORTHINGTON
DRAWING NO. AR 29-19
DATE 03-29-2019



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 30-19
Date Received	03-29-19
Fee	\$7.00 pd
Meeting Date	04-11-19
Filing Deadline	03-29-19
Receipt #	100735

1. Property Location 1 Kenyon Brook Drive Worthington

2. Present/Proposed Use _____

3. Zoning District R10

4. Applicant Robert Best

Address 1 Kenyon Brook Drive Worthington

Phone Number(s) 630 991 6771

Email Robert Glenn Best @ Gmail com

5. Property Owner Robert Best

Address 1 Kenyon Brook Drive

Phone Number(s) 630 991 6771

Email Robert Glenn Best @ Gmail com

6. Project Description Carrivage House Design

7. Project Details:

a) Design _____

b) Color Gray

c) Size 24' x 28'

d) Approximate Cost \$165,000 Expected Completion Date June 1

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
 Applicant (Signature)

March 30 2019
 Date

[Signature]
 Property Owner (Signature)

March 30 2019
 Date

ABUTTING PROPERTY OWNERS
FOR
1 Kenyon Brook Dr.

Joesph and Leigh Foust	30 Kenyon Brook Dr.	Worthington, OH 43085
Joesph Fiala & Mary Fristad	25 Kenyon Brook Dr.	Worthington, OH 43085
John and Joyce Knape	35 Kenyon Brook Dr.	Worthington, OH 43085
Ann Pratt	15 Kenyon Brook Dr.	Worthington, OH 43085
Scott Norris	469 Tibet Rd.	Columbus, OH 43202
Tenant	5756 N. High St.	Worthington, OH 43085
Rahman Bahrami	4342 N. High St.	Columbus, OH 43214
Ohio Family & Sports Chiropractic	5721 N. High St.	Worthington, OH 43085
Rebecca Garabed	5713 Bromley Ave.	Worthington, OH 43085

Clarification document of the visual reference for the Carriage House being built at 1 Kenyon Brook Drive, Worthington Ohio, 43085

Robert Glenn Best
1 Kenyon Brook Drive
Worthington Ohio
43085
Robb.best@elkay.com
630-991-6771

Enclosed are two sets of prints that should replace the existing visual exterior depictions on file. These new prints are in keeping with the visual renditions and materials as approved by the ARB case AR 104-18 receipt # 66155 on 10/25/18.

(Note current renderings on file were a generic depiction by Timber Frame cad system and not meant to be a final representation of the finished structure.) For the record, it was not our intention to vary from the design approved by the ARB on 10/25/18.

To clarify_

All doors and windows will be trimmed in white to coincide with the existing Kenyon Brook structure as well as all windows will be white JELD-WEN as depicted in the ARB approvals and will feature divided lights as shown.

The entrance door will be pre-hung 36 x 80 as depicted in the ARB information. Siding to be light grey cement board and roofing to be architectural grey shingles as noted. Garage doors will be white traditional steel panel with elegant short panel with a R value of 6.5 with square panel lights at the top, ~~as shown in the specification section of ARB 104-18.~~

(Carriage House garage lights to be Lamp Plus Urban Barn out-door Collection 13" high in black. Roof gable vents have been reintroduced to match ARB drawings.

Our goal is to visually dovetail this new Carriage House with the existing structure at 1 Kenyon Brook drive and to that end, it is our intention to replace the current structures roof material as well as the siding to match the new Carriage House in design and color as noted above.

We understand that the original color of the existing structure at 1 Kenyon Brook Drive was grey (more in keeping with the new Carriage House,) the current siding is rotting in places. The current roof configuration does not meet code with the rounded shingle installation plus said installation is no longer available.

We have urgency in this matter as the current roof is leaking.

For any questions or concerns please call me at your convenience.

Robb Best
630-991-6771

CITY OF WORTHINGTON

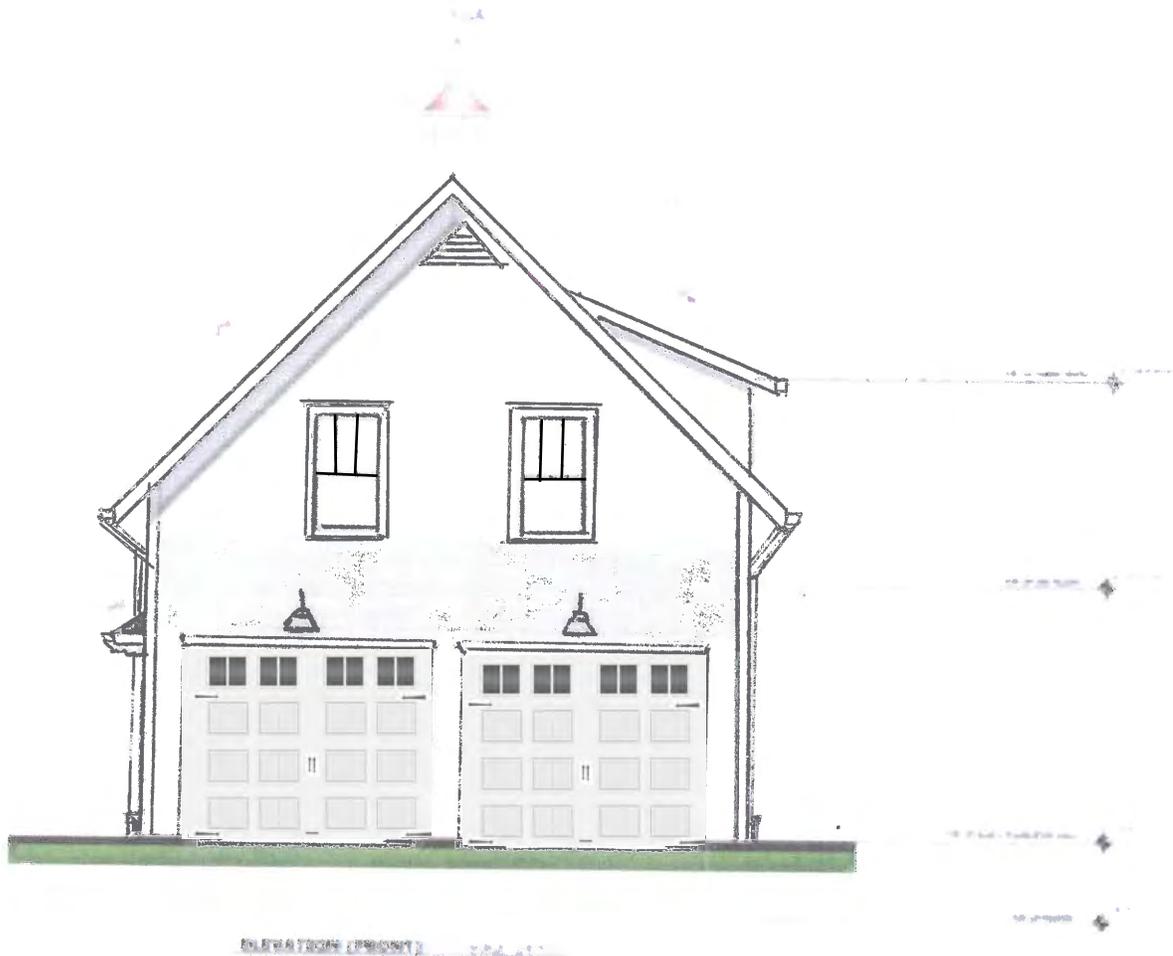
DRAWING NO. AR 30-19

DATE 03-29-2019

1 Kenyon Brook Dr.

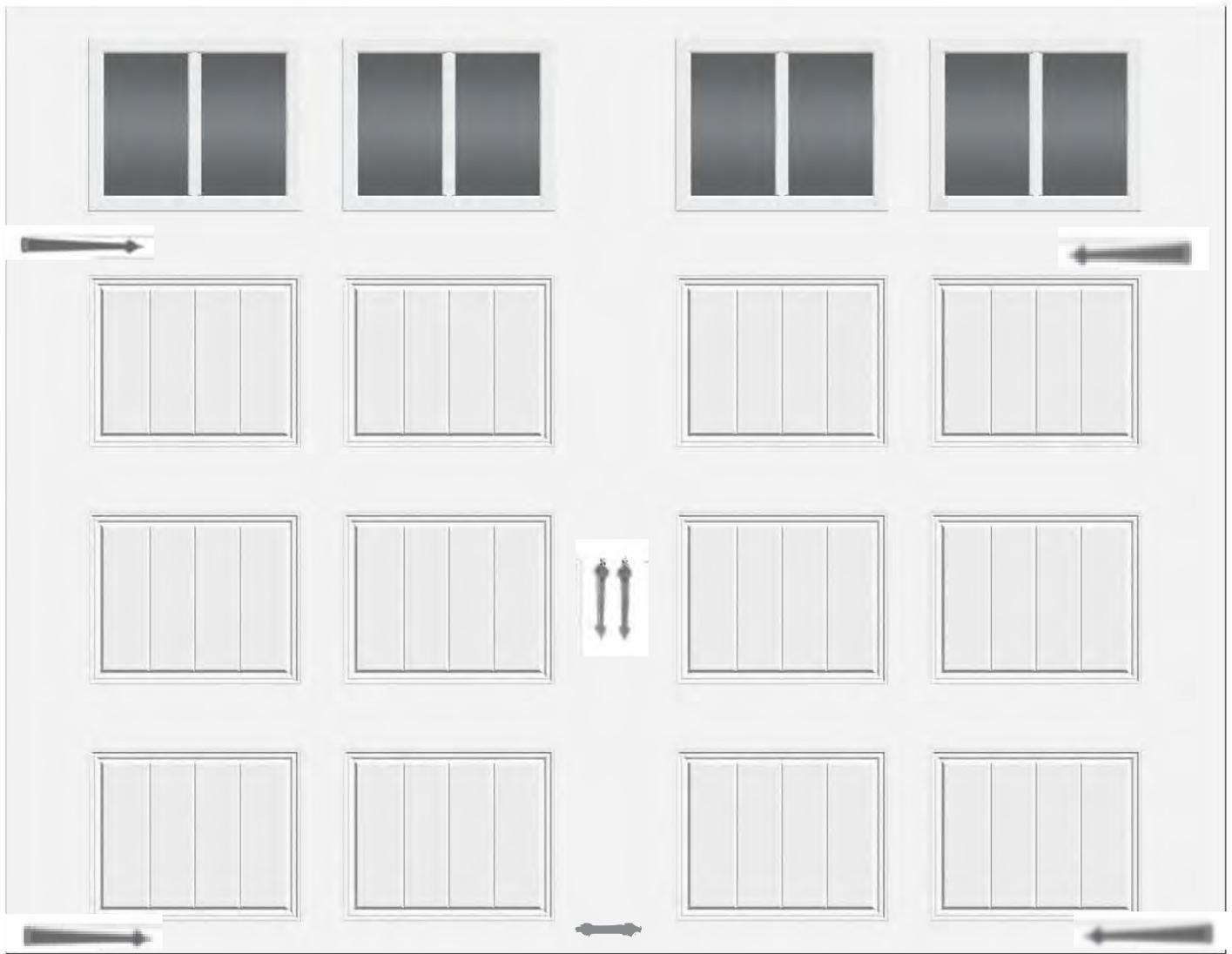


100-001856 04/25/2017



JELD-WEN
FRONT WINDOWS 34" x 60"
GARAGE DOOR 108" x 84"

ALL CASING TO BE
WHITE AND APPROXIMATE
TRIM DETAIL ON HOUSE



Designer Steel Panel garage doors feature versatile grooved panel designs and window options to give your home a stylish look. This Better construction garage door includes 1-3/8" thick polystyrene (R-Value 6.5) sandwiched between two steel skins that provides a durable insulating core. The three-layer construction provides strength, dent resistance, insulation and security, as well as quiet operation and a beautiful appearance inside and out.

Installation Instructions

To read PDF files, you need the Adobe Acrobat Reader 6.0 or higher.
[Click here](#) to download it for free from Adobe's site.

Dimensions: 9 ft. wide x 7 ft. high

Brand Name: Ideal Door



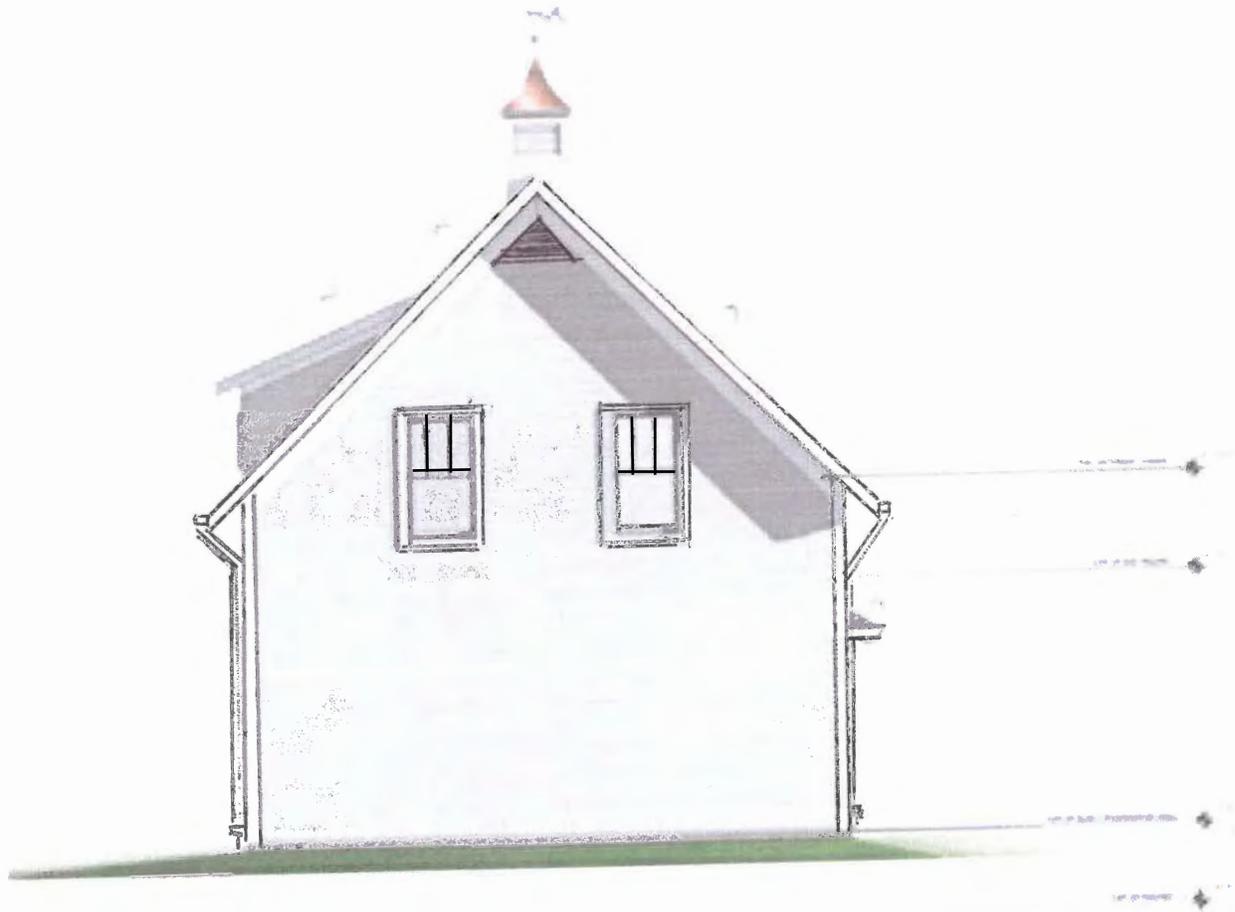
Features

- Designer steel panel door with Grooved Short Panel Design
- Includes SQ24 windows with Clear, Non-Insulated Glass
- Better construction with 1-3/8" insulation, R-Value 6.5
- 3-Layer construction (Steel + insulation + Steel) with Finished interior Steel Back Surface
- EZ-SET® Torsion Spring System included for faster, safer and easier Do-it-Yourself installation
- Opener Ready with included Strut and Opener Reinforcement bracket
- Nylon rollers provide quiet, smooth and long-lasting performance
- 2" Bracket Mount Track with Standard 12" Radius Requiring 12" of Headroom
- Includes (1) 2-1/4" support strut
- Includes Bottom weatherseal and Spade Decorative hardware (installation optional)
- Rear track hanger kit, lock and opener purchased separately

CITY OF WORTHINGTON

DRAWING NO. AR 30-19

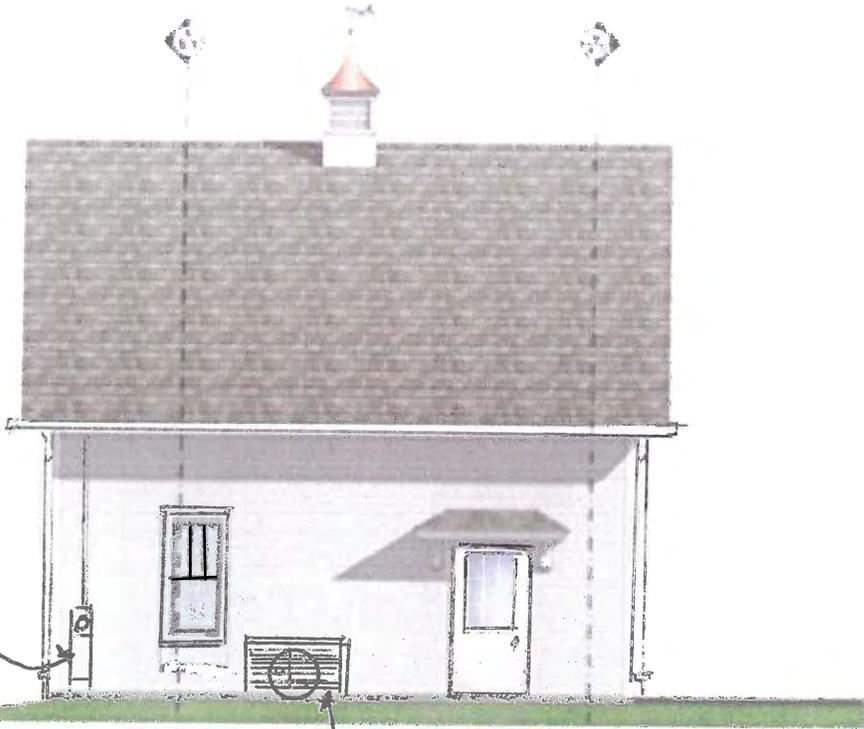
DATE 03-29-2019



ELEVATION (BACK) PAGE 4 OF 11

JELD-WEN
WINDOWS 34" x 60"

Faint, illegible text or notes at the bottom right of the page.



ELECTRIC SERVICE

ELEVATION (LEFT)

JELD-OWEN
WINDOW 30" x 66"
DOOR 3' x 84"

24000
BTU
MULTIPHASE
HEAT PUMP



JELD-WEN
DORMER WINDOWS 18" x 30"
WINDOWS 30" x 66"



**MACHINE APPLIED
COATINGS**



Prefinished Engineered Wood Siding



- Lap Siding
- Panel Siding
- Shake Siding
- Color Matched Trim

Finish Warranty: PPG 1-coat 15-year
PPG 2-coat 30-year resistant to excessive fading
PPG Duracolor™ warranty

Substrate Warranty: 50-year LP substrate

Available in 13 Colors: Shown - Knotty Pine



10 Year
Streak-Resistant
Algae Resistance
Warranty

130 MPH
Wind Warranty

Seal-Block®
Energy Star
rated

LANDMARK®

Designer Shingles

CITY OF WORTHINGTON
DRAWING NO. AR 30-19
DATE 03-29-2019

Shown in Weathered Wood



Atlantic Blue
Heather Blend

Burnt Sienna
Hunter Green

Cobblestone Gray
Moire Black

Colonial Slate
Pewter

Cottage Red
Resawn Shake

Driftwood
Silver Birch®

Georgetown Gray
Weathered Wood



Featured Color:
PEWTER

WinterGuard®
A 30-year (20-year limited) warranty
is provided to prevent leakage due
to water backup from ice dams or
snow buildup.

**DiamondDeck
RoofRunner™**

For more information, visit
www.landmarkshingles.com
or call 1-800-368-3688.

Featured Color:
PEWTER

WinterGuard®

Waterproofing shingle underlayment designed to prevent leakage due to water backup from ice dams or wind-driven rain.

DiamondDeck®



Scan Barcode at Order Pickup Entrance

CLBS30127964



PAGE 1 of 6

STORE # 3273 COLUMBUS
1805 MORSE ROAD
COLUMBUS, OH 43229

PHONE: 614-262-7354
FAX: 614-262-7544

**SPECIAL ORDER CONTRACT
GUEST COPY**

GUEST NAME - ADDRESS - PHONE	
Robb Best 1 Kenyon Brook Dr Columbus, OH 43085-3629 Phone: 6309916771 Email: RobertGlennBest@gmail.com	
Additional Information: Design #: 327358509678	

IMPORTANT
<ol style="list-style-type: none"> 1. Verify quoted product and quantity 2. Product will be ordered upon payment 3. Track order on Menards.com 4. Pick up order within 14 days of arrival at store 5. Retain receipt

SOLD BY	ORDER DATE
1792907	3/31/2019
Estimated arrival:	4/19/2019

Email Notifications: RobertGlennBest@gmail.com
SMS Notifications: 6309916771

QTY ORDERED	DESCRIPTION	SKU	UNIT PRICE	EXTENDED PRICE
4	Online Window Store JeldwenVinyl JELD-WEN Builders 29.5 W x 66.5 H Double Hung RO Width=30 RO Height=67 Frame Width=29.5 Frame Height=66.5 Item 1: ProductName: Double Hung ChooseyourProjectType=WithNailingFlange, CountryWhereWindowWillBeInstalled=USA, PerformanceGradeRating=PG20,DP+20/-20(Standard), Installation&FrameType=WithNailingFlange, ExteriorFinish=White, InteriorFinish=White, MeasurementType=RoughOpening, StandardRoughOpeningWidth=30", StandardRoughOpeningHeight=CustomHeight, CustomRoughOpeningHeight=67, ActualSize=291/2-inX661/2-in, SashSplit=EvenDivide, GlassEnergyEfficiency=Otherglassoptions, GlassGlazing=DoublePane, Low-ECoatingChoice=Low-E, GlassColor/Texture=Clear,	4001351	\$264.64	\$1,058.56

Typical

CITY OF WORTHINGTON
DRAWING NO. AR 30-19
DATE 03-29-2019

Product must be paid for before it will be ordered from our vendor. Prices shown are valid today only.

READ THIS CONTRACT CAREFULLY. The terms and conditions set forth in this document are a complete and final expression of the parties. The contract cannot be altered except by written instrument explicitly signed and executed by the General Manager. Any and all claims under this contract must be brought within one year of purchase. "Custom made" special order merchandise purchased from Menards is **NON-REFUNDABLE**. Purchaser is responsible for providing to Menards all measurements, sizes, and colors stated above. Purchaser's exclusive remedy, if any product is defective or fails to conform to the terms of the contract, is replacement of the product. All defects and non-conformities must be reported to Menards within 3 days of receiving the product. Purchaser understands that all product is sold "AS IS," and the manufacturer's warranty, if any, is controlling. **MENARDS MAKES NO WARRANTIES, EXPRESS OR IMPLIED AS TO THE MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OF THE PRODUCT.** There are no representations that the products listed herein meet local, state, or federal code requirements. Menards liability shall not exceed the purchase price of the products sold. **MENARDS SHALL NOT BE LIABLE FOR ANY SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES.** Menards agrees to email Purchaser when the product is available for pick-up. If Purchaser fails to provide an email address, it is Purchaser's responsibility to check the status of the order by visiting Menards.com. If Purchaser refuses or fails to pick up the product within 14 days from the date of its availability, Menards may liquidate the product and shall be entitled to a **25% restocking fee**. Menards may withhold any payment received as partial satisfaction. Purchaser agrees that Menards is not liable if the vendor, which supplies the product on this contract, fails to perform. Purchaser agrees that any and all controversies or claims arising out of or relating to this contract, or the breach thereof, shall be settled by binding arbitration administered by the American Arbitration Association under its applicable Consumer or Commercial Arbitration Rules. Purchaser agrees that all arbitrators selected shall be attorneys. This provision shall supersede any contrary rule or provision of the forum state. **YOUR PURCHASE OF THE PRODUCT ON THIS CONTRACT CONSTITUTES YOUR AGREEMENT TO ALL TERMS AND CONDITIONS STATED ABOVE.**

(CONTINUED ON NEXT PAGE)

For the most accurate and up-to-date status of your order, please visit:

www.menards.com

If this is a partial pickup, please verify all quantities/items being signed for. Menards is not responsible for shortages after leaving the yard.





Scan Barcode at Order Pickup Entrance

CLBS30127965



PAGE 4 of 4

STORE # 3273 COLUMBUS
1805 MORSE ROAD
COLUMBUS, OH 43229

PHONE: 614-262-7354
FAX: 614-262-7544

**SPECIAL ORDER CONTRACT
GUEST COPY**

GUEST NAME - ADDRESS - PHONE
Robb Best 1 Kenyon Brook Dr Columbus, OH 43085-3629 Phone: 6309916771 Email: RobertGlennBest@gmail.com
Additional Information: Design #: 327358509678

IMPORTANT
1. Verify quoted product and quantity 2. Product will be ordered upon payment 3. Track order on Menards.com 4. Pick up order within 14 days of arrival at store 5. Retain receipt

SOLD BY	ORDER DATE
1792907	3/31/2019
Estimated arrival:	4/19/2019
Email Notifications: RobertGlennBest@gmail.com SMS Notifications: 6309916771	

QTY ORDERED	DESCRIPTION	SKU	UNIT PRICE	EXTENDED PRICE
	Sub Unit Type=Glass, Sub Unit Name=Lower Glass, Glass Number=1, Sub Unit Type=Glass, Sub Unit Name=Upper Glass, Glass Number=2, ***End Custom Composite Unit			

CITY OF WORTHINGTON
DRAWING NO. AR 30-19
DATE 03-29-2019

Product must be paid for before it will be ordered from our vendor. Prices shown are valid today only.

READ THIS CONTRACT CAREFULLY. The terms and conditions set forth in this document are a complete and final expression of the parties. The contract cannot be altered except by written instrument explicitly signed and executed by the General Manager. Any and all claims under this contract must be brought within one year of purchase. "Custom made" special order merchandise purchased from Menards is **NON-REFUNDABLE**. Purchaser is responsible for providing to Menards all measurements, sizes, and colors stated above. Purchaser's exclusive remedy, if any product is defective or fails to conform to the terms of the contract, is replacement of the product. All defects and non-conformities must be reported to Menards within 3 days of receiving the product. Purchaser understands that all product is sold "AS IS," and the manufacturer's warranty, if any, is controlling. **MENARDS MAKES NO WARRANTIES, EXPRESS OR IMPLIED AS TO THE MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OF THE PRODUCT.** There are no representations that the products listed herein meet local, state, or federal code requirements. Menards liability shall not exceed the purchase price of the products sold. **MENARDS SHALL NOT BE LIABLE FOR ANY SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES.** Menards agrees to email Purchaser when the product is available for pick-up. If Purchaser fails to provide an email address, it is Purchaser's responsibility to check the status of the order by visiting Menards.com. If Purchaser refuses or fails to pick up the product within 14 days from the date of its availability, Menards may liquidate the product and shall be entitled to a **25% restocking fee.** Menards may withhold any payment received as partial satisfaction. Purchaser agrees that Menards is not liable if the vendor, which supplies the product on this contract, fails to perform. Purchaser agrees that any and all controversies or claims arising out of or relating to this contract, or the breach thereof, shall be settled by binding arbitration administered by the American Arbitration Association under its applicable Consumer or Commercial Arbitration Rules. Purchaser agrees that all arbitrators selected shall be attorneys. This provision shall supersede any contrary rule or provision of the forum state. **YOUR PURCHASE OF THE PRODUCT ON THIS CONTRACT CONSTITUTES YOUR AGREEMENT TO ALL TERMS AND CONDITIONS STATED ABOVE.**

SUB-TOTAL:	\$988.56
SHIPPING:	\$0.00
PRE-TAX TOTAL:	\$988.56
VENDOR: Jeldwen Vinyl	
For the most accurate and up-to-date status of your order, please visit: www.menards.com	
If this is a partial pickup, please verify all quantities/items being signed for. Menards is not responsible for shortages after leaving the yard.	



From the Urban Barn collection by John Timberland, this indoor-outdoor wall light will add rustic charm to your living space. This fixture features a long, thin curving gooseneck with a wide downlight shade attached to the end. An elegant black finish makes it a classic color accent that enhances a contemporary or transitional setting. Inspired by industrial workplace and barn lighting designs.

- 13" high x 10" wide. Extends 13" from the wall. Weighs 1.89 lbs.
- Backplate is 6 1/2" wide. Shade is 10 1/4" wide x 5" high. Height from center of the mounting plate to top of fixture is 9 3/4".
- Uses one maximum 100 watt or equivalent bulb (incandescent, LED, or CFL). Bulb not included.
- Indoor-outdoor gooseneck arm wall light from the Urban Barn collection by John Timberland. Wet location outdoor rated.
- Black finish over steel construction.

CITY OF WORTHINGTON

DRAWING NO. AR 30-19

DATE 03-29-2019



Custom Air Conditioning and Heating Co
935 Claycraft Rd
Gahanna, OH 43230
614-552-4822 office
614-552-2837 fax
Oh Lic. 21960
tgates@customairco.com

Customer Name: Robb Best

From: Ty Gates

Date: 2/6/2019

Job Address: 1 Kenyon Brook Dr. Worthington, Ohio 43085

We propose to furnish and install heating and air conditioning equipment for your project located at the job address above in accordance with the conditions and specifications set forth in this proposal.

Daikin Multi Zone Heat Pump with High Wall Indoor Units Proposal and Agreement

Scope of work:

Installation of a new 2 ton (24,000 BTU's) Daikin, Enhanced Capacity, Multi Split Heat Pump system with two high wall indoor units; one 18,000 BTU Unit for 2nd floor finished area and one 15,000 BTU for garage area. Both indoor units will be located on the north wall with the outdoor unit on the exterior of the north wall of the garage

Includes:

- Furnish and install one (1) Daikin 24,000BTU, 17.9 SEER, Variable/Enhanced Capacity, Multi Split Outdoor Heat Pump Unit that can provide full heating capacity down to 5F and continued heating to -13F. Model number 3MXL24R
- Furnish and install one (1) Daikin 18,000BTU, High Wall Indoor Unit, mounted north wall of the second floor above the stairs, near the peak of the roof line. Model # CTXG18
- Furnish and install one (1) Daikin 15,000BTU, High Wall Indoor Unit mounted on north wall of garage. Model # FTXS15VJU
- Furnish and install two (2) Daikin matching Refrigerant Line Sets, one to each indoor unit
- Furnish and install two (2) Daikin Handheld Remote Controls (one for each indoor unit)
- Furnish and install two (2) Drain Lines, one for each High Wall Indoor Unit
- Furnish and install Vinyl Line Hide material to conceal the vertical refrigerant lines, electrical wiring and drain on exterior of the home or in garage area as needed
- Furnish and install one (1) Daikin outdoor equipment pad and lintels to raise outdoor unit above expected snow levels
- Municipality HVAC Permit and following inspection
- Tamper proof Refrigerant Caps and Carbon Monoxide Detector
- All misc. materials and labor to complete the above installation

Warranty: 12 year Daikin PARTS AND LABOR Transferrable Extended Warranty, 1 year on misc. materials other than Daikin components

Proposal Amount: \$9,000.00

AEP Rebate: - \$ 300.00

Final Amount: \$8,700.00

Note: High voltage electrical circuit breaker and electrical circuit from breaker panel to new outdoor unit, not included in this proposal and would be the responsibility of the homeowner

Terms: Due upon completion

Acceptance (Customer)

Seller (Custom Air)

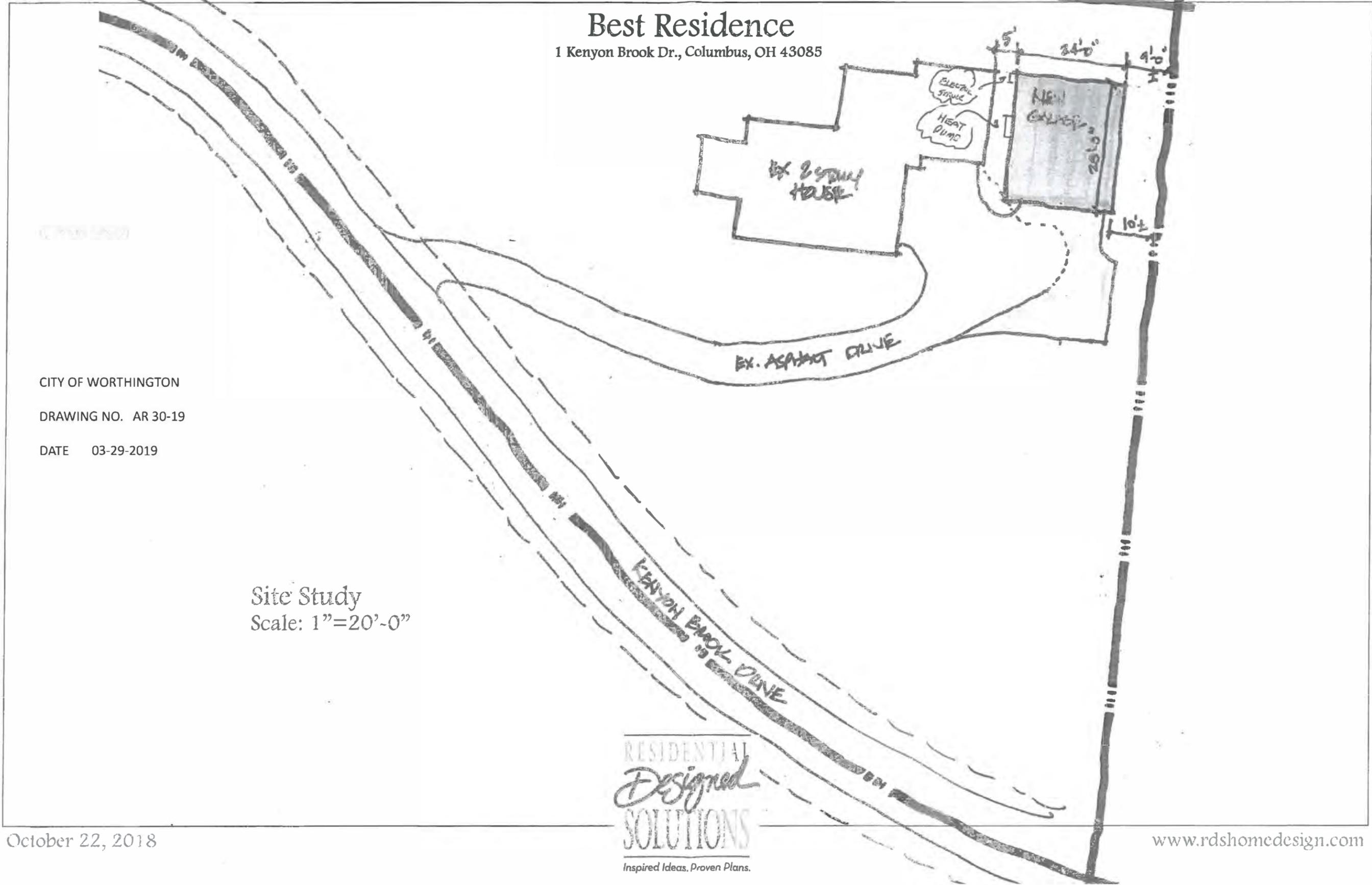
By _____ Date _____ By _____ Date _____

Prices and terms subject to approval within 30 days of proposal date.

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Best Residence

1 Kenyon Brook Dr., Columbus, OH 43085



CITY OF WORTHINGTON
DRAWING NO. AR 30-19
DATE 03-29-2019

Site Study
Scale: 1"=20'-0"



October 22, 2018

www.rdshomedesign.com



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Table with application details: Case # AR 31-19, Date Received 03-29-2019, Fee, Meeting Date 04-11-2019, Filing Deadline 03-29-2019, Receipt #

1. Property Location 158 Medick Way

2. Present/Proposed Use Single Family

3. Zoning District R-16 Y

4. Applicant Nicholson Builders Inc. Britain Meyers

Address 6525 Busch Blvd. Columbus, OH 43229

Phone Number(s) 614.846.7388 office 614.315.5523 Britain cell

5. Property Owner Jan Gasser

Address 158 Medick Way

Phone Number(s) 614.306.7295

6. Project Description Amendment to existing plan including: fence, windows, finish details

7. Project Details:

a) Design See attached drawings

b) Color Unchanged from previous

c) Size Unchanged from previous

d) Approximate Cost N/A Expected Completion Date 4/30/19

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Signature of Britain Meyers, Applicant (Signature)

Date 3/27/19

Signature of Janice K Gasser, Property Owner (Signature)

Date 3/27/19

Abutting Property Owners List for
791 Morning St.

Justin Bickle	Anne Walker	920 Evening St.	Worthington, OH 43085
Margaret Real		920 Evening St.	Worthington, OH 43085
Robert and Joyce Lewis		909 Evening St.	Worthington, OH 43085
Alice Conklin	Noel Parker	171 Medick Way.	Worthington, OH 43085
Daniel Martin	Margaret Doughe	170 Medick Way.	Worthington, OH 43085
Gordon and Roberta Powell		157 Medick Way.	Worthington, OH 43085

Gasser Residence
158 Medick Way
Worthington, Ohio 43085
03-27-19

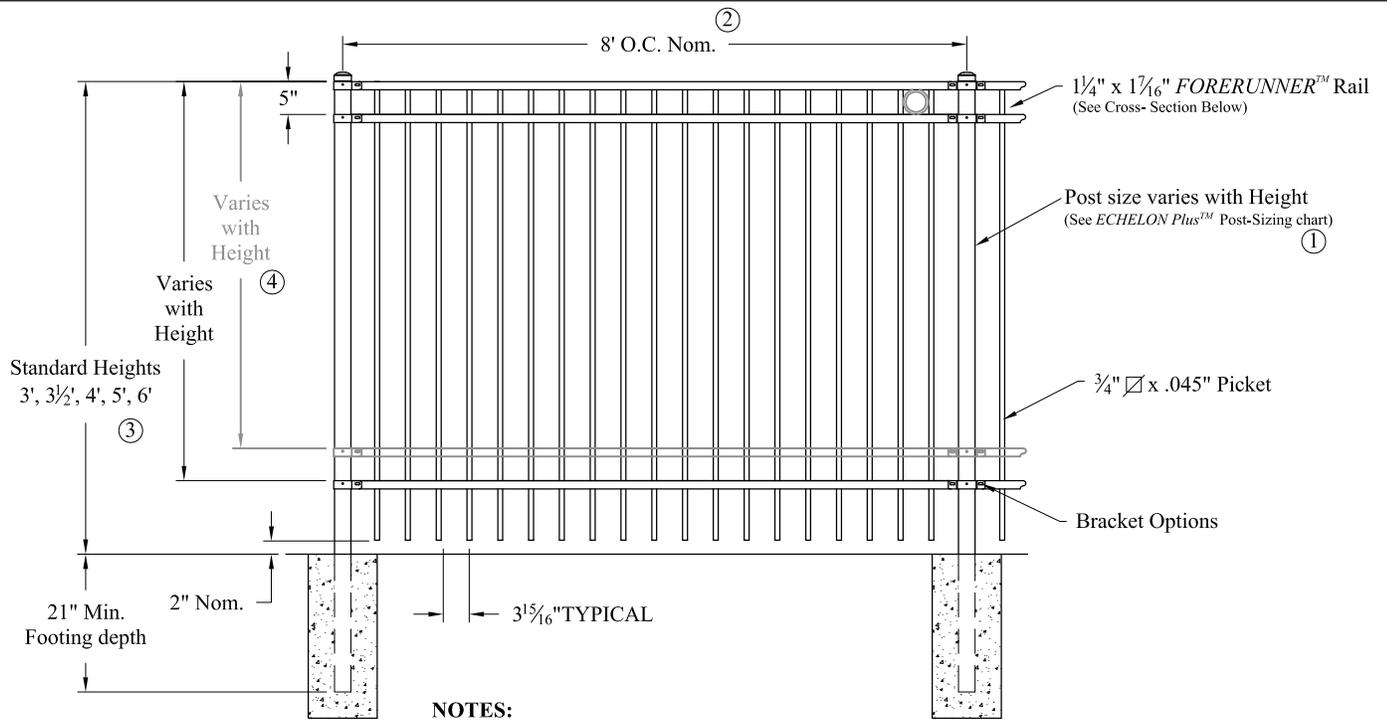
Supporting Statement:

This submission addresses final material and planning decisions for the ongoing renovation/ new construction at the address above. Nicholson Builders proposes fencing as per the revised drawings with the intent to create a more complete appearance and create connection to the pre-existing fence and hedge (Note that the pre-existing fence was allowed by the ARB on 9/11/08, Case #AR55-08). Fence at front (south) facade will be held back approximately 16" behind the corner and will include a gate for access. Further, we note the following minor alterations to the approved drawings: most windows on the lower level have been adjusted to be approximately 10" taller than those proposed at the submission; board and batten siding replaces stone on primary west elevation, hardi-shakes replace panels between dormer windows on the north facing elevation; Service door originally located in east facing elevation (access outdoors from mudroom- now access outdoors form garage) is now in the south facing garage wall protuberance. Minor clip was added to the general foot print at north-west corner of the detached garage due to proximity to existing tree and recommendation of arborist. Front drive (previously approved) has been confirmed at 30' width and 27' depth conforming to City Engineer's requirements.

158 Medick Way.



100-000211 04/11/2014



NOTES:

- 1.) Post size depends on fence height and wind loads. See ECHELON Plus™ post sizing chart.
- 2.) Panels also available for 6' on center post spacing
- 3.) Additional heights available on request
- 4.) Fourth rail optional.

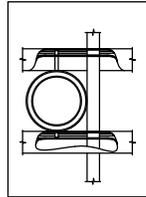
CITY OF WORTHINGTON

DRAWING NO. AR 31-19

DATE 03-29-2019

RING OPTION

Held in place with upper and lower internal retaining rods to eliminate unsightly external fasteners.

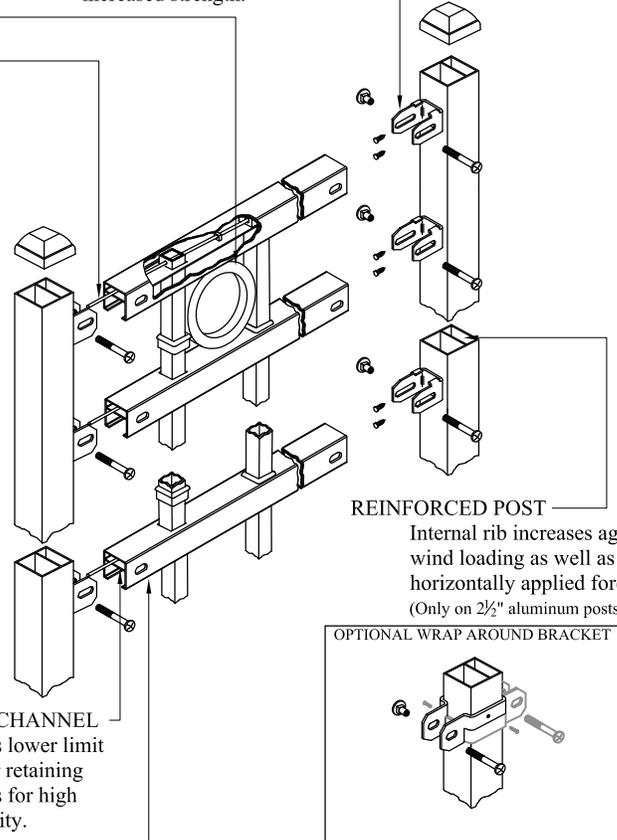
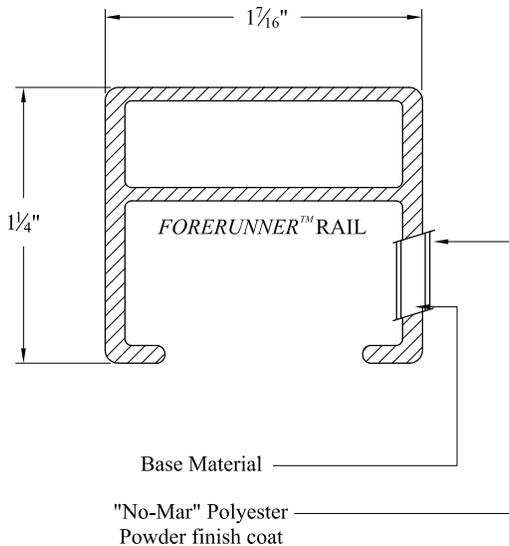


PANEL BRACKET

Specially designed two-point connection ensures fixity of rail ends for increased strength.

INTERNAL RETAINING ROD

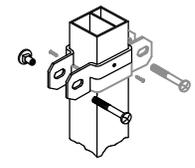
Variable pitch connection system for ease of installation, high angle bias ability and elimination of unsightly external fasteners.



REINFORCED POST

Internal rib increases against wind loading as well as other horizontally applied forces (Only on 2 1/2" aluminum posts).

OPTIONAL WRAP AROUND BRACKET



INTERIOR GUIDE CHANNEL
Channel forms lower limit of raceway for retaining rod and allows for high angle bias ability.

FORERUNNER™ RAIL
"U"-Channel specially formed high strength architectural shape.

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

COMMERCIAL STRENGTH ALUMINUM

Title: **ECHELON PLUS MAJESTIC 3/4-RAIL W/RING OPTION**

DR: CI	SH . 1 of 1	SCALE: DO NOT SCALE
CK: BS	Date 11-8-11	REV: d

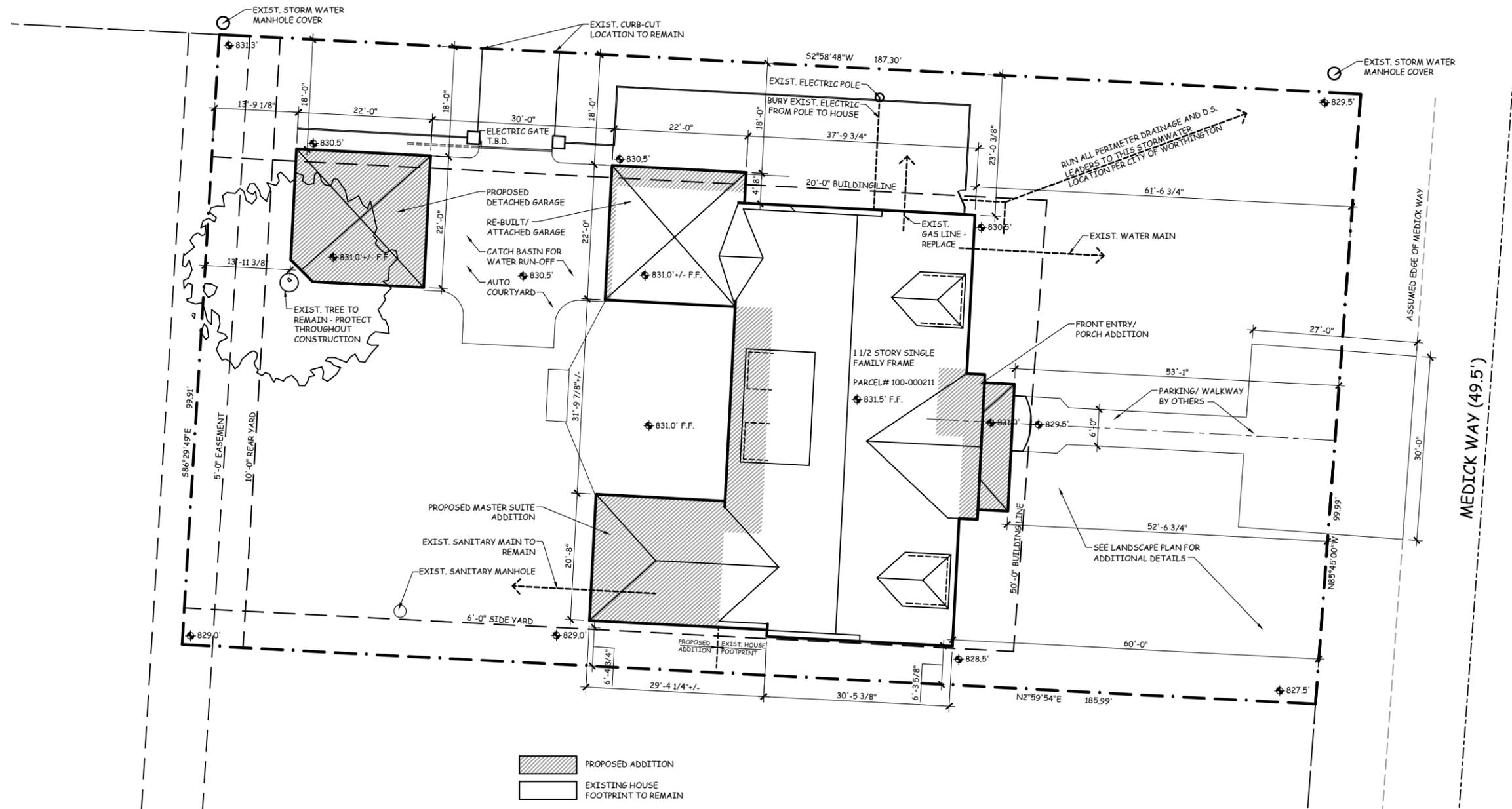


AMERISTAR®

1555 N. Mingo
Tulsa, OK 74116
1-888-333-3422
www.ameristarfence.com

AMISO

EVENING STREET (49.5')



 PROPOSED ADDITION
 EXISTING HOUSE FOOTPRINT TO REMAIN

CITY OF WORTHINGTON

DRAWING NO. AR 31-19

DATE 03-29-2019

SITE PLAN
N.T.S.

GASSER RESIDENCE

158 MEDICK WAY
WORTHINGTON OH 43085
DATE: 03-28-19



SOUTH ELEVATION
SCALE - 3/16" = 1'-0"

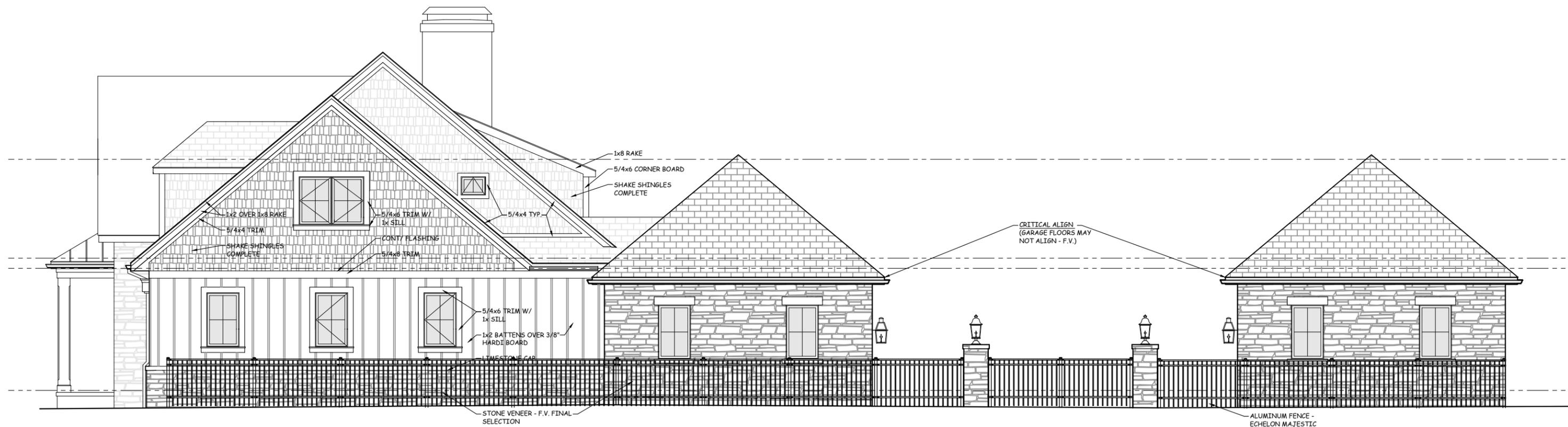
CITY OF WORTHINGTON

DRAWING NO. AR 31-19

DATE 03-29-2019

GASSER RESIDENCE

158 MEDICK WAY
WORTHINGTON OH 43085
DATE: 03-28-19



CITY OF WORTHINGTON

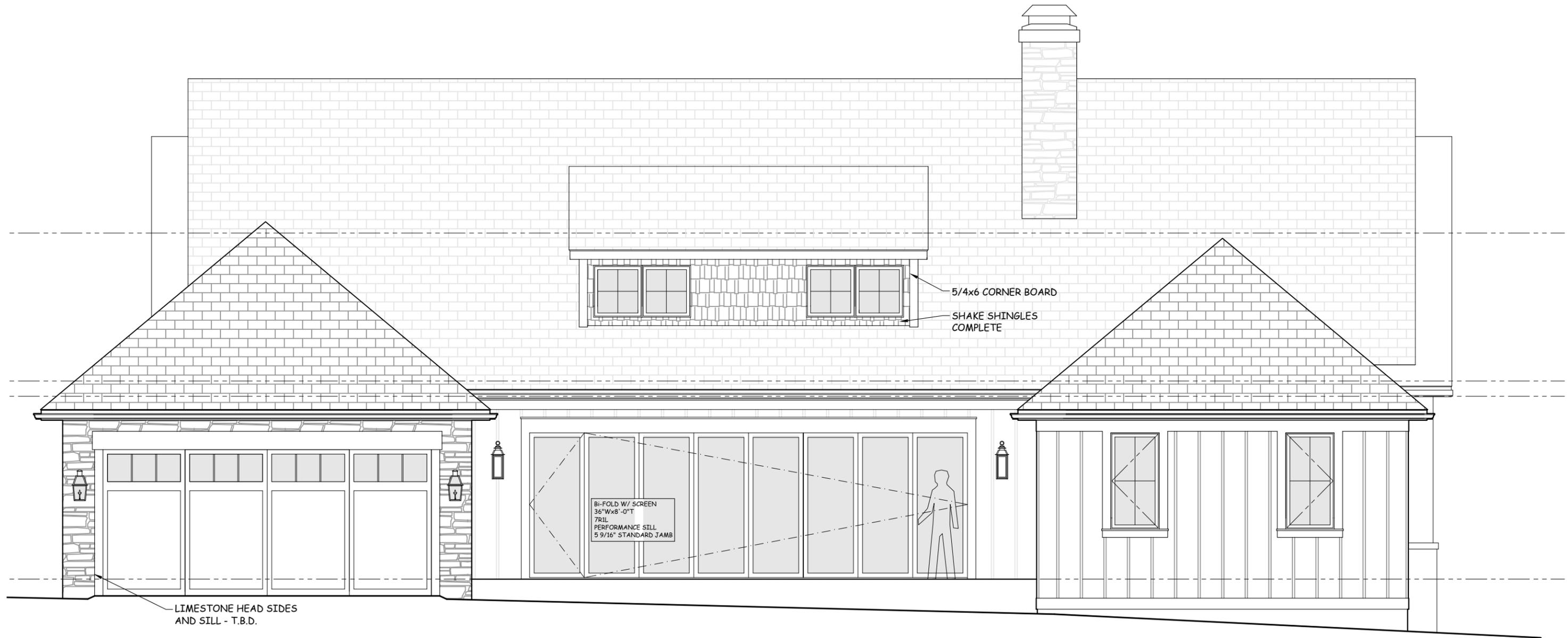
DRAWING NO. AR 31-19

DATE 03-29-2019

EAST ELEVATION
SCALE - 1/8" = 1'-0"

GASSER RESIDENCE

158 MEDICK WAY
WORTHINGTON OH 43085
DATE: 03-28-19



CITY OF WORTHINGTON

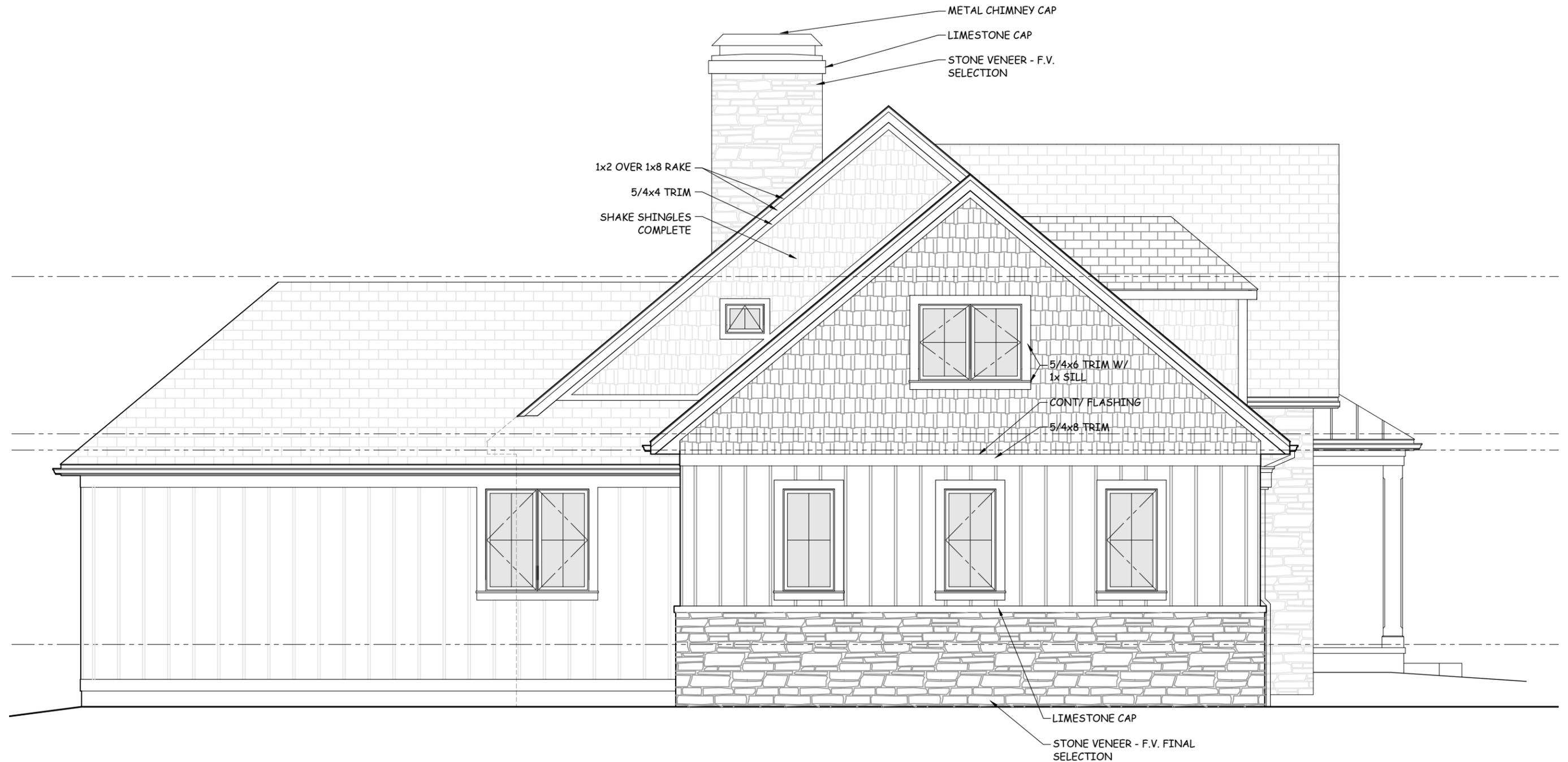
DRAWING NO. AR 31-19

DATE 03-29-2019

NORTH ELEVATION
SCALE - 3/16" = 1'-0"

GASSER RESIDENCE

158 MEDICK WAY
WORTHINGTON OH 43085
DATE: 03-28-19



CITY OF WORTHINGTON

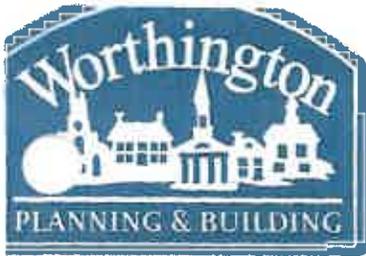
DRAWING NO. AR 31-19

DATE 03-29-2019

WEST ELEVATION
 SCALE - 3/16" = 1'-0"

GASSER RESIDENCE

158 MEDICK WAY
 WORTHINGTON OH 43085
 DATE: 03-28-19



City of Worthington

SUBDIVISION APPLICATION

Case # 3UB 03-19
Preliminary Plat
Fee \$150.00 #W6719
Date Received 03-28-19
Action/Date _____
Final Plat
Fee \$100.00
Date Received _____
Action/Date _____

A. General Information

- Property Location 6560, 6560, & 6586 Worthington Galena Road
- Zoning and Use R-10 Low Density Residential
- Applicant Brad Gibson
Address 6560 Worthington Galena Road, Worthington, OH 43085
Home Phone 614-571-7752 Work Phone _____
- Property Owner Brad Gibson
Address 6560 Worthington Galena Road, Worthington, OH 43085
Home Phone 614-571-7752 Work Phone _____
- Surveyor or Engineer Ben Siembida, Kimley-Horn
Address 2400 Corporate Exchange Drive, Suite 120, Columbus, OH 43231
Phone 614-472-8553

B. Existing

- Number of lots 3
- Area 4.01 AC

C. Proposed

- Number of lots 9
- Area See Plan
- Dimensions See Plan
- Frontage See Plan
- Utilities available? Yes

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

Date

3/28/19

Property Owner (Signature)

Date

3/28/19

PRELIMINARY PLAT APPLICATION
6560-6586 WORTHINGTON GALENA ROAD
WORTHINGTON, OHIO
3.29.19

DESCRIPTION OF DEVELOPMENT

Brad Gibson (applicant), resident and homeowner of 6560 Worthington Galena Road (PID #100-002609-00), has purchased the additional property to the east of his residence, 6580 Worthington Galena Road (PID # 100-002610-00), and is in contract to purchase 6586 Worthington Galena Road (PID # 100-002611-00).

To the east of the proposed development is an existing home on a large lot, 6590 Worthington Galena Road, zoned R-10, to the west is the Worthington Baptist Church, zoned R-10, to the north across Worthington Galena are existing offices and City Hall, zoned C-3, and to the south, across the ravine, are existing condos, zoned AR-4.5.

The subject properties are zoned R-10, Low Density Residential. The zoning designation will not change, but a new plat is proposed that will provide for the creation of 9 residential lots, with a retention basin.

The new lots will conform to R-10 standards apart from one setback. The existing home on 6560 will remain and be a part of this development. A reduction in the rear yard setback will be required for the new lot 7 to accommodate the existing home, which encroaches into the 30' required rear yard setback. The 2 other existing homes will be removed from the site. The home located at 6580 was evaluated for incorporation into the new development, but due to the fact it is constructed entirely of concrete, renovations and upgrades cannot be made without significant cost and remodeling. The home at 6586 has had maintenance and upgrades deferred for so long that it is not viable for rehabilitation.

There will be a new public street constructed from Worthington Galena Road to service the newly created lots. Required sidewalks and street trees will be provided, along with necessary utility services. A proposed future multi use path and landscaping per the City of Worthington is planned along Worthington Galena Road and is associated with the future widening of Worthington Galena Road. The applicant proposes paying fees in lieu of for the pathway and landscaping to the city instead of installing this pathway, due to the fact that the improvements or timing for Worthington Galena are not known, and the multi-use path and landscaping, if installed with this project, will ultimately need to be removed and reconstructed with the future build out of Worthington Galena Road.

New homes will be built on 8 of the new lots, and a custom homebuilder or

CITY OF WORTHINGTON

DRAWING NO. AR 30-19

DATE 03-29-2019

homebuilders will be selected to construct the new homes. It is anticipated that the new homes will be priced in the \$750,000 to \$1,000,000 range. An HOA will be formed which shall oversee maintenance of the proposed retention pond.

To provide sanitary service to the proposed subdivision, the homebuilder intends to extend the public sanitary main from the adjacent police station property. The homebuilder will extend the sewer to Ms. Giallombro's property to the north and the Jersey Baptist property to the south, providing the opportunity for each to connect to public service and abandon their respective private septic systems. Extending the sewer from the police station property avoids sanitary connections to an existing sewer line located in the ravine between the subject site and the Worthington community. The homebuilder will pursue easement agreements as necessary to perform the sanitary sewer installations. Other conventional overhead utilities, such as power, telephone, and cable, are intended to be installed underground given the utility providers' consent.

A wet pond of 5' depth is proposed in the southwest corner of the subject site. Earthen mounding is proposed west of the pond to serve as an added level of care between the pond and motorists. The installation of lifesaving equipment associated with the pond will comply with city requirements.

There are several existing trees on site, with a majority being located along the southern property line adjacent the ravine area, and along the project periphery. The intent is to maintain these trees along the peripheries, particularly adjacent the ravine. A tree survey has been performed, and final engineering will address tree preservation and removal in greater detail. Preliminary Plat plans show a total of 142 trees (1,979 caliper inches) are located on the site. These existing trees were surveyed at 6 caliper inches (diameter) or greater at breast height per section 1101.09.d.1 of the codified ordinances of Worthington, Ohio. While preserving as many trees as possible, the only trees scheduled to be removed are due to being directly in the line of development, such as roads or new homes. A total of 95 trees (1,305 caliper inches) will be preserved and 47 trees (674 caliper inches) will be removed. This equates to 67% of the trees on site are being preserved.

In addition to the proposed development, the applicant confirms that they will make the Public Area payments of \$3,000 based on \$500 for each of the 6 new lots.

The supporting documentation as required by the application is submitted with the application.

CITY OF WORTHINGTON

DRAWING NO. AR 30-19

DATE 03-29-2019

PROJECT TEAM

Property Owner and Applicant:

Brad Gibson
6560 Worthington Galena Road
Worthington, OH 43085
614-571-7752

Real Estate Agent:

Benton Benalcazar
4741 Tussic Street Road
Westerville, OH 43082
614-206-5861

Engineer:

Ben Siembida
Kimley-Horn
2400 Corporate Exchange Drive, Suite 120
Columbus, OH 43231
614-472-8553

Landscape Architect:

Todd Faris
Faris Planning and Design
243 N 5th Street, Suite 401
Columbus, OH 43215
614-487-1964

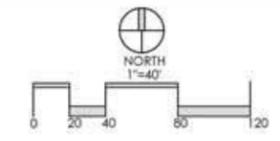


CITY OF WORTHINGTON
 DRAWING NO. SUB 03-19
 DATE 03-28-2019

ILLUSTRATIVE PLAN

6560-6586 WORTHINGTON-GALENA ROAD

PREPARED FOR BRAD GIBSON
 DATE: 3/29/19



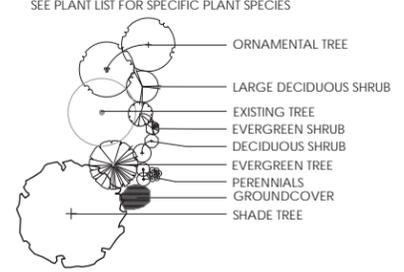
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 243 N. 5th Street Suite 401 Columbus, OH 43215
 p (614) 457-1944 www.farisplanninganddesign.com



CONSTRUCTION NOTES:

- ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ② LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

PLANT KEY TYPICALS



PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

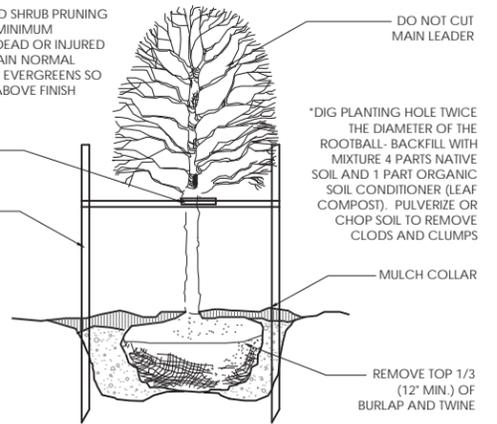
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
TREES						
16	ULM	ULMUS (CARPINIFOLIA X PARVIFOLIA) 'FRONTIER'	FRONTIER ELM	2" CAL.	B&B	

*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.

CITY OF WORTHINGTON
 DRAWING NO. SUB 03-19
 DATE 03-28-2019

NOTE:
 THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2"-3" ABOVE FINISH GRADE

FLEXIBLE TREE WEBBING
 MATERIAL 3/8" WIDE-
 GREEN COLOR
 2" X 2" X 8' WOOD
 STAKE, 2 PER TREE



① DECIDUOUS TREE
 N.T.S.

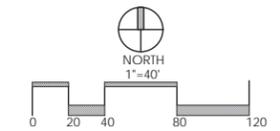
01-1001

OVERALL LANDSCAPE PLAN

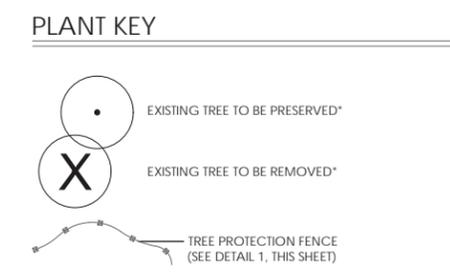
6560-6586 WORTHINGTON-GALENA ROAD

PREPARED FOR BRAD GIBSON
 DATE: 3/29/19

EXHIBIT B-1

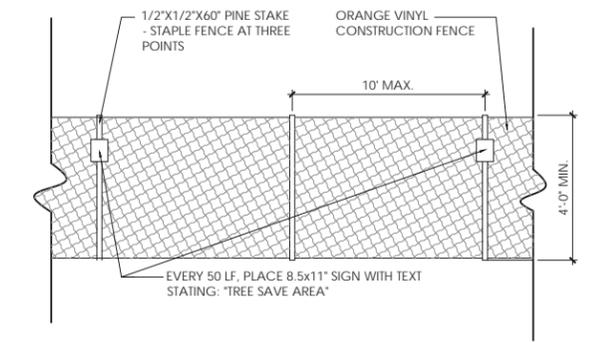


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*CROSS-REFERENCE TREE NUMBER ON PLAN WITH INDEX ON EXHIBIT B-3 FOR MORE INFORMATION REGARDING SPECIFIC TREES.
 *EXISTING TREES SURVEYED WERE 6 CALIPER INCHES (DIAMETER) OR GREATER AT BREAST HEIGHT PER SECTION 1101.09.D.1 OF THE CODIFIED ORDINANCES OF WORTHINGTON, OHIO.

CITY OF WORTHINGTON
 DRAWING NO. SUB 03-19
 DATE 03-28-2019



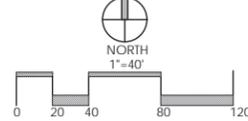
1 TREE PROTECTION FENCE
 N.T.S. 05-2809

TREE PRESERVATION PLAN

6560-6586 WORTHINGTON-GALENA ROAD

PREPARED FOR BRAD GIBSON
 DATE: 3/29/19

EXHIBIT B-2



NORTH
1"=40'

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EXISTING TREES				
BENALCAZAR - WORTHINGTON GALENA ROAD				
TREE NUMBER	SIZE	SPECIES	CONDITION	STATUS
1	40	LOCUST	GOOD	PRESERVE
2	20	HACKBERRY	GOOD	PRESERVE
3	10	ASH	GOOD	PRESERVE
4	9	SPRUCE	GOOD	PRESERVE
5	12	SPRUCE	GOOD	PRESERVE
6	7	ELM	POOR	PRESERVE
7	18	HICKORY	GOOD	PRESERVE
8	13	HICKORY	GOOD	PRESERVE
9	12	HICKORY	GOOD	PRESERVE
10	15	HICKORY	GOOD	PRESERVE
11	18	HICKORY	GOOD	PRESERVE
12	9	HACKBERRY	GOOD	PRESERVE
13	25	WALNUT	GOOD	PRESERVE
14	6	HACKBERRY	GOOD	PRESERVE
15	18	HICKORY	GOOD	PRESERVE
16	7	HACKBERRY	GOOD	PRESERVE
17	6	HACKBERRY	GOOD	REMOVE
18	19	HICKORY	GOOD	REMOVE
19	16	HICKORY	GOOD	PRESERVE
20	8	HACKBERRY	GOOD	PRESERVE
21	8	HACKBERRY	GOOD	PRESERVE
22	7	HACKBERRY	GOOD	PRESERVE
23	10	MAPLE	GOOD	PRESERVE
24	11	HACKBERRY	GOOD	PRESERVE
25	6	HACKBERRY	GOOD	PRESERVE
26	31	ASH	DEAD	PRESERVE
27	13	MAPLE	GOOD	PRESERVE
28	6	APPLE	FAIR	REMOVE
29	15	MAPLE	GOOD	PRESERVE
30	12	CHERRY	GOOD	PRESERVE
31	6	BEECH	GOOD	PRESERVE
32	6	MAPLE	GOOD	PRESERVE
33	11	MAPLE	GOOD	PRESERVE
34	10	CHERRY	GOOD	PRESERVE
35	12	HACKBERRY	GOOD	PRESERVE
36	12	MAPLE	GOOD	PRESERVE
37	10	MAPLE	GOOD	PRESERVE
38	16	HICKORY	GOOD	PRESERVE
39	10	HICKORY	GOOD	PRESERVE
40	9	HICKORY	GOOD	PRESERVE
41	9	HICKORY	GOOD	PRESERVE
42	12	HICKORY	GOOD	PRESERVE
43	7	HICKORY	GOOD	PRESERVE
44	14	ELM	FAIR	PRESERVE
45	19	HICKORY	GOOD	PRESERVE
46	14	HICKORY	GOOD	PRESERVE
47	6	HICKORY	GOOD	PRESERVE
48	12	HICKORY	GOOD	PRESERVE
49	15	HICKORY	GOOD	PRESERVE
50	6	HICKORY	GOOD	PRESERVE
51	13	HICKORY	GOOD	PRESERVE
52	7	HICKORY	GOOD	PRESERVE

53	14	MAPLE	GOOD	REMOVE
54	12	MAPLE	GOOD	REMOVE
55	11	CHERRY	FAIR	PRESERVE
56	14	CHERRY	FAIR	PRESERVE
57	13	CHERRY	GOOD	PRESERVE
58	6	CHERRY	GOOD	PRESERVE
59	8	BIRCH	GOOD	REMOVE
60	6	SPRUCE	GOOD	PRESERVE
61	48	LOCUST	GOOD	PRESERVE
62	21	WALNUT	GOOD	REMOVE
63	7	PINE	GOOD	REMOVE
64	28	MAPLE	GOOD	REMOVE
65	27	MAPLE	GOOD	REMOVE
66	13	PINE	GOOD	REMOVE
67	14	PINE	FAIR	REMOVE
68	48	WILLOW	GOOD	REMOVE
69	12	TREE	GOOD	REMOVE
70	18	MAPLE	GOOD	REMOVE
71	7	PINE	GOOD	REMOVE
72	14	PINE	GOOD	REMOVE
73	6	SYCAMORE	POOR	REMOVE
74	8	PINE	GOOD	REMOVE
75	12	PINE	GOOD	REMOVE
76	20	MAPLE	GOOD	REMOVE
77	8	SPRUCE	GOOD	REMOVE
78	20	PINE	GOOD	REMOVE
79	19	CHERRY	GOOD	REMOVE
80	42	MAPLE	GOOD	REMOVE
81	12	PINE	GOOD	REMOVE
82	9	SPRUCE	GOOD	REMOVE
83	6	CHERRY	FAIR	REMOVE
84	24	SPRUCE	FAIR	REMOVE
85	13	CATALPA	GOOD	REMOVE
86	11	CHERRY	GOOD	REMOVE
87	17	CHERRY	GOOD	PRESERVE
88	14	CHERRY	GOOD	PRESERVE
89	16	ASH	DEAD	PRESERVE
90	18	HICKORY	FAIR	PRESERVE
91	17	HICKORY	GOOD	PRESERVE
92	9	MAPLE	GOOD	PRESERVE
93	11	HICKORY	GOOD	PRESERVE
94	14	PINE	GOOD	PRESERVE
95	9	ELM	GOOD	PRESERVE
96	8	ELM	GOOD	PRESERVE
97	11	HICKORY	GOOD	PRESERVE
98	11	HACKBERRY	GOOD	PRESERVE
99	28	HICKORY	GOOD	PRESERVE
100	18	CHERRY	POOR	PRESERVE
101	7	HICKORY	GOOD	PRESERVE
102	6	HICKORY	GOOD	PRESERVE
103	6	HICKORY	FAIR	PRESERVE
104	6	CHERRY	GOOD	PRESERVE
105	25	HICKORY	GOOD	PRESERVE
106	6	HACKBERRY	GOOD	PRESERVE
107	11	HICKORY	GOOD	PRESERVE

108	22	HICKORY	GOOD	REMOVE
109	11	OAK	GOOD	REMOVE
110	11	ELM	GOOD	REMOVE
111	6	MAPLE	FAIR	REMOVE
112	6	MAPLE	FAIR	REMOVE
113	22	MAGNOLIA	GOOD	REMOVE
114	14	APPLE	FAIR	REMOVE
115	8	MULBERRY	GOOD	REMOVE
116	11	MAPLE	GOOD	REMOVE
117	14	LOCUST	GOOD	REMOVE
118	10	LOCUST	GOOD	REMOVE
119	14	LOCUST	GOOD	REMOVE
120	10	LOCUST	FAIR	REMOVE
121	9	LOCUST	GOOD	REMOVE
122	9	MAGNOLIA	GOOD	PRESERVE
123	9	TREE	GOOD	PRESERVE
124	13	SPRUCE	GOOD	PRESERVE
125	48	MAPLE	POOR	PRESERVE
126	48	MAPLE	POOR	PRESERVE
127	11	MAPLE	GOOD	REMOVE
128	11	SWEETGUM	GOOD	REMOVE
129	20	PINE	GOOD	PRESERVE
130	26	PINE	GOOD	PRESERVE
131	8	MAPLE	GOOD	PRESERVE
132	15	REDBUD	GOOD	PRESERVE
133	10	MAPLE	FAIR	PRESERVE
134	12	HICKORY	GOOD	PRESERVE
135	34	OAK	GOOD	PRESERVE
136	13	HICKORY	GOOD	PRESERVE
137	6	ELM	GOOD	PRESERVE
138	12	HICKORY	FAIR	PRESERVE
139	11	CHERRY	GOOD	PRESERVE
140	6	ELM	FAIR	PRESERVE
141	21	HICKORY	FAIR	PRESERVE
142	6	SPRUCE	GOOD	PRESERVE
TREE TOTALS				
TREES ON SITE		TOTAL INCHES	TOTAL NUMBER OF TREES	
Major Trees >6"		1,979	142	
REMOVAL CALCULATIONS				
TREES REMOVED		INCHES REMOVED	NUMBER OF TREES REMOVED	
Major Trees >6"		674	47	
PRESERVED TREES CREDIT				
TREES PRESERVED		INCHES PRESERVED	NUMBER OF TREES PRESERVED	
Major Trees >6"		1,305	95	

*EXISTING TREES SURVEYED WERE 6 CALIPER INCHES (DIAMETER) OR GREATER AT BREAST HEIGHT PER SECTION 1101.09.D.1 OF THE CODIFIED ORDINANCES OF WORTHINGTON, OHIO.

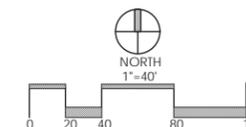
EXISTING TREE INDEX

EXHIBIT B-3

6560-6586 WORTHINGTON-GALENA ROAD

PREPARED FOR BRAD GIBSON

DATE: 3/29/19



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