



**ARCHITECTURAL REVIEW BOARD  
MUNICIPAL PLANNING COMMISSION  
-AGENDA-**

**Thursday, October 25, 2018 at 7:00 P.M.**

Louis J. R. Goorey Worthington Municipal Building  
The John P. Coleman Council Chamber  
*6550 North High Street  
Worthington, Ohio 43085*

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the September 27 & October 11, 2018 meetings
4. Affirmation/swearing in of witnesses

**B. Architectural Review Board**

1. Fence – **105 W. Clearview Ave.** (Grant & Elizabeth Baldwin) **AR 93-18**
2. Attached Garage, Door, Deck, Carriage House – **594 Hartford St.** (RAS Construction/Huffman) **AR 94-18** (Extension and Amendment to AR 03-15)
3. Garden Shed – **120 E. South St.** (Sean Crowley) **AR 95-18**
4. Demolition & New Dwelling – **155 W. Dublin-Granville Rd.** (Schumacher Homes/Tschofen) **AR 97-18**
5. Window and Door Replacement – **583 Hartford St.** (Catherine Watson) **AR 99-18**

6. ATMs, Façade changes, Signage & Lighting – **54 W. Wilson Bridge Rd.** (Bank of America, N.A.) **AR 96-18**

### **C. Municipal Planning Commission**

1. Conditional Use Permit
  - a. Drive-in Bank in C-2 – **54 W. Wilson Bridge Rd.** (Bank of America, N.A.)  
**CU 16-18**
2. Amendment to Development Plan
  - a. ATM Only Building – **54 W. Wilson Bridge Rd.** (Bank of America, N.A.)  
**ADP 08-18**

### **D. Other**

### **E. Adjournment**



## MEMORANDUM

TO: Members of the Architectural Review Board  
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: October 19, 2018

SUBJECT: Staff Memo for the Meeting of October 25, 2018

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### **B. Architectural Review Board**

1. Fence – **105 W. Clearview Ave.** (Grant & Elizabeth Baldwin) **AR 93-18**

#### **Findings of Fact & Conclusions**

##### **Background & Request:**

This property is 50' wide and 162' deep, containing a Colonial Revival Influence style house that was built in 1938. The house and detached garage are contributing buildings in the Worthington Historic District. A fence to enclose the rear property is requested.

##### **Project Details:**

1. The fence is proposed to start at the southeast corner of the garage and enclose the rear yard, finishing at the southwest corner of the house with a gate. The application indicates 2 gates are proposed, but the planned location of the second gate is unclear.
2. Proposed is a 4' high unpainted cedar fence with dog-eared pickets. The 4" pickets (3 ¾" wide) would be spaced 3 ¾" apart.

##### **Land Use Plans:**

###### **Worthington Design Guidelines and Architectural District Ordinance**

Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style. Design and materials should be compatible with the existing structure.

##### **Recommendation:**

Staff is recommending *approval* of this application. The proposed fence meets the guidelines for the Architectural Review District.

**Motion:**

**THAT THE REQUEST BY GRANT & ELIZABETH BALDWIN FOR A CERTIFICATE OF APPROPRIATENESS TO ADD FENCING AT 105 W. CLEARVIEW AVE. AS PER CASE NO. AR 93-18, DRAWINGS NO. AR 93-18, DATED OCTOBER 5, 2018 BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

2. Attached Garage, Door, Deck, Carriage House – **594 Hartford St.** (RAS Construction/Huffman) **AR 94-18** (Extension and Amendment to AR 03-15)

**Findings of Fact & Conclusions**

**Background & Request:**

The house and barn on this 100' wide x 253' deep property were constructed in the early 1900's. In 2007, aluminum siding was removed and the original clapboard siding was restored. Also, a front porch was added which was similar to the front porch originally constructed with the house and removed in the early 1970's. In 2012 the windows were replaced with simulated divided light vinyl clad wood windows.

An addition and garage were approved for this Dutch colonial house in 2014, as was the removal of the barn. There were 2 phases of construction planned: Phase 1 allowed construction of a 26' x 26' two-story addition to the rear of the home; Phase 2 involved construction of a two-story garage attached to the addition. Phase 1 is now complete, and the applicant would like to extend the approval for the attached garage and barn demolition. Also, the applicant is now proposing a rear patio door leading to a deck, and a new carriage house.

**Project Details:**

1. Extension of the Phase 2 approval would allow for demolition of the existing barn, and construction of a new roughly 26' x 26' garage with a room above attached to the south side of the Phase 1 addition. Two separate barn style garage doors would face south and allow for entry from an extension of the existing drive. A matching gambrel roof is proposed for the two story structure that would extend south with the peak being much lower than the roof of the house due to the downward slope of the property. In addition to the matching materials proposed for the house addition, this structure would have a cupola and a rear entry door. The proposed materials would continue to match the existing house including: clapboard siding, slate roof, clad wood simulated divided light windows, and split faced and parged block for the foundation. Carriage lights are proposed near the doors.
2. In the original approval, a small deck was approved at the southeast corner of the addition, with steps leading down to the driveway. In 2015, that approval was modified to not include the deck, but instead add stairs down from a south-facing exterior door. That door and stairs would be interior with the new garage, and an exterior lower level entrance is proposed on the rear elevation. New to this proposal is a deck spanning the rear of the house. The deck is proposed to be 7' deep and about 25' 7" wide, with a Timbertech railing and supported by wood posts wrapped in fiber cement material. Stairs would be on the

north side, and heading down to the east. An exterior door is now proposed in place of a window on the main house level. Patio doors would continue to be included for lower level access to the back yard.

3. A 16' x 20' carriage house is now proposed 9' from the south property line, and about 14' east of the house. The freestanding structure would have a gambrel standing seam metal roof and siding to match the house. The applicant would like a choice of roof colors, either Burnished Slate or Light Gray. A single barn style garage door is proposed on the west side and a six panel man door is proposed on the north side. Carriage lights are proposed near the doors.

### **Land Use Plans:**

#### Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.

Older outbuildings, sheds, and garages should be retained and repaired. They add variety and visual interest to the streetscape and are part of Worthington's character. New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

### **Recommendation:**

Staff is recommending approval of this application. The garage addition is to the rear and at enough of a lower elevation to appear subordinate to the house. The proposed deck is of a design and material that are appropriate to the rear of the addition. Although it is unfortunate the existing barn cannot be saved, the proposed carriage house is appropriate.

### **Motion:**

**THAT THE REQUEST BY SEAN KOCHERAN OF RAS CONSTRUCTION TO EXTEND CERTIFICATE OF APPROPRIATENESS NO. AR 44-15 BY ALLOWING CONSTRUCTION OF AN ATTACHED GARAGE AND DEMOLITION OF A BARN, AND FOR APPROVAL TO CONSTRUCT A DECK AND CARRIAGE HOUSE AT 594 HARTFORD ST., AS PER CASE NO. AR 94-18, DRAWINGS NO. AR 94-18, DATED OCTOBER 10, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

3. Garden Shed – 120 E. South St. (Sean Crowley) AR 95-18

**Findings of fact & Conclusions**

**Background & Request:**

This 80' wide x 140' deep property has a two-story house that was built in 1972. The applicant would like to install a shed in the rear yard.

**Project Details:**

1. An 8' x 14' shed is proposed at the northeast corner of the property. The shed would be 5' from the east property line and 15' from the north property line.
2. The proposed shed would have a gable roof and be constructed with wood. The color would be a custom tan to match the house, and Weathered Wood asphalt shingles are proposed to also match the house.
3. Double doors and two windows are proposed on the west side of the building, and a window with a transom above is proposed on the north side.

**Land Use Plans:**

Worthington Design Guidelines and Architectural District Ordinance

New outbuildings should use design cues from older nearby structures, including form, massing, roof shape, roof pitch and height, materials, window and door types and detailing. Try to create a new building compatible in appearance with the house it accompanies.

**Recommendation:**

Staff is recommending *approval* of this application, as the proposed shed is compatible with the house and appropriate for the District.

**Motion:**

**THAT THE REQUEST BY SEAN CROWLEY FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A SHED AT 120 E. SOUTH ST., AS PER CASE NO. AR 95-18, DRAWINGS NO. AR 95-18, DATED OCTOBER 11, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

4. Demolition & New Dwelling – 155 W. Dublin-Granville Rd. (Schumacher Homes/Tschofen) AR 97-18

**Findings of fact & Conclusions**

**Background & Request:**

This parcel was established in 1957 as part of the Kilbourne Village subdivision. The existing 1740 square foot split-level house was constructed in 1960. Last year there was a request to demolish the existing house and construct a new 2400 square foot single-story residence. In May of 2018, the homeowner gained approval to renovate and add onto the existing house. Now, the

owner would like to go back to the original plan of demolition and building new, except with some design modifications.

**Project Details:**

1. Site Plan:

- The proposed house would be constructed in approximately the same location as the existing house, but extend further to the rear. The existing house is situated 51’ from the front property line; 7’ from the west property line; 10.7’ from the east property line; and ~93’ from the rear. The proposed house would be the same distance from the front property line; ~8.3’ from each side property line; and ~70’ from the rear. The garage would extend in front of the house by 4’.
- A landscape plan is included with the application, showing retention of existing trees in the front and rear yards, and proposed bushes, shrubs and perennials.

2. Building:

- Proposed is a one-story structure with a gable roof running east and west. Gables are proposed above the garage and front entrance, and a shed roof dormer is proposed on the front of the roof between the two gables.
- Double 4” traditional lap white vinyl siding is proposed around the entire house except white vinyl shakes are proposed in the front gables. Originally Dutch lap siding was proposed, but the property owner has agreed to use a traditional lap siding instead. A photograph of the textured siding in Dutch lap is in the packet, but a picture and sample of traditional lap will be available at the meeting. Pewter colored dimensional asphalt shingles are proposed for the roof.
- Vinyl clad wood Andersen windows are proposed for the house. The main openings would consist of paired double hung windows with muntins between the glass in a 4 over 1 pattern. Pairs of smaller windows with 4 lights are proposed for the dormer and in the gable above the garage. The rear windows are proposed without muntins, and include picture and double-hung windows. On the west side a double hung window is proposed toward the front, and a small fixed transom window would be toward the rear. Three small transom windows are proposed on the east side.
- A fiberglass door with the look of vertically oriented planks is proposed. The door is shown in the elevation with sidelights and a transom.
- A white steel garage door with 32 square raised panels is proposed.

**Land Use Plans:**

Worthington Design Guidelines and Architectural District Ordinance

A decision on whether a particular demolition is appropriate must be made in light of several factors, including whether the demolition is full or partial; the age of the structure; the level of integrity of the structure being demolished (has it been extensively altered?); the impact of the demolition on Worthington’s character; and plans for the site following demolition (is the proposed replacement appropriate for Worthington? Does it follow the design guidelines for new structures?)

Infill sites should be developed in a way that is complementary to their neighborhoods and that integrates well with surrounding building designs and land uses. Compatibility with the neighborhood should be the primary consideration. New structures should complement the form,

massing and scale of existing nearby structures. Also, building placement and orientation are important design considerations. Most main entrances should face the street and garages should avoid facing the street.

Building placement and orientation are important design considerations. There are two primary considerations: 1) most main entrances should face the street; and 2) garages should avoid facing the street. The City of Worthington wants to avoid new development that turns main entrances inward or away from the street, and it wants to avoid dominance of the streetscape by garage doors.

Roof: Roof shapes for new buildings should be appropriate to the style or design of the building. If a new building does not follow a particular style but is instead a vernacular design, then roof shapes and heights similar to those in the neighborhood or nearby would be most appropriate.

Materials: Contemporary materials that simulate traditional ones are appropriate, but the preferred option is to use true traditional materials such as wood siding. Incompatible contemporary materials should be avoided. Brick has long been a traditional material in Worthington. Prepare a sample board for review by the Architectural Review Board.

Windows: For new buildings, multiple-paned windows generally are not appropriate. The exception is a building being built in a particular style -- such as Federal, Greek Revival or Colonial Revival -- that would have employed this window type. When in doubt, simple 1 over 1 double-hung sash windows are usually the simplest, least expensive and most appropriate choice. Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of window panes and muntins; and trim around the windows. Good quality wood windows are readily available and more affordable than in the past. True wood windows are always the first preference. Aluminum- or vinyl-clad windows can be appropriate, but primarily on secondary facades and less conspicuous locations. All-aluminum or vinyl windows are not prohibited but are not encouraged. Avoid blank walls.

Entries: For newly-built buildings, simpler designs usually look better than more ornate ones. Avoid heavy ornamentation on doors and entrances. Observe entry placement on existing buildings. Whether located symmetrically or asymmetrically, entries usually are aligned with a window on the second floor so that a regular rhythm of openings is maintained on both floors. Entries should be located so they are easily visible, and they should be oriented toward the street.

Ornamentation: Observe Worthington's excellent historic architecture for information on the kinds and amounts of ornamentation employed on various building styles and periods. Use ornamentation conservatively. It will be most successful if used in traditional locations: around windows and doors; along a building's cornice or at the corners; in gables; or on gates and fences. Most ornamentation historically was made of simple forms built up to a desired level of complexity. When in doubt, follow the old rule that "less is more." Sometimes just a little ornamentation, well placed, can have a major impact without the need for more extensive (and expensive, and hard-to-maintain) ornamentation. Use compatible materials in ornamental elements. Frame houses should have wood ornamentation, although in cases where the ornamental

elements are some distance from the viewer it may be possible to use substitute materials such as fiberglass.

**Color:** In general, avoid bright colors not typical in Worthington neighborhoods, such as various shades of purple or orange. For infill buildings being placed in an existing streetscape, select colors compatible with those already used along the streetscape. Many buildings follow a pattern of light colors for the building body and darker colors for the trim. Following this pattern is encouraged. In Worthington, the use of white or cream-colored trim also is common and would be appropriate for new construction. Avoid using too many colors. Usually one body color and one trim color are sufficient.

**Landscaping:** Worthington's mature shade trees are the primary landscaping feature throughout the community. They are a major contributor to its character and help define its neighborhoods as stable, desirable places to live. In general, lawns are generous but not overly large, which contributes to the sense of human scale that is one of Worthington's important attributes. Other landscaping elements tend to be properly scaled and well-tended, which also tends to enhance neighborhood character. Maintain and nurture mature trees to prolong their lives. Plant and maintain street trees in planting areas between the street and sidewalk. Paving can sometimes reduce water absorption of the soil so much that trees do not get the moisture they require.

The standards of review in the Architectural District ordinance are:

1. Height;
2. Building massing, which shall include the relationship of the building width to its height and depth, and its relationship to the viewer's and pedestrian's visual perspective;
3. Window treatment, which shall include the size, shape and materials of the individual window units and the overall harmonious relationship of window openings;
4. Exterior detail and relationships, which shall include all projecting and receding elements of the exterior, including but not limited to, porches and overhangs and the horizontal or vertical expression which is conveyed by these elements;
5. Roof shape, which shall include type, form and materials;
6. Materials, texture and color, which shall include a consideration of material compatibility among various elements of the structure;
7. Compatibility of design and materials, which shall include the appropriateness of the use of exterior design details;
8. Landscape design and plant materials, which shall include, in addition to requirements of this Zoning Code, lighting and the use of landscape details to highlight architectural features or screen or soften undesirable views;
9. Pedestrian environment, which shall include the provision of features which enhance pedestrian movement and environment and which relate to the pedestrian's visual perspective;
10. Signage, which shall include, in addition to requirements of Chapter 1170, the appropriateness of signage to the building;
11. Sustainable Features, which shall include environmentally friendly details and conservation practices.

**Staff Analysis:**

- The proposed house has a more traditional look than the previously proposed new house at this location due to the gabled roof, simpler application of siding, and fenestration. Many features are similar to other houses in Kilbourne Village.
- Although it is typical for garage doors to face the street in this area, having the garage closer to the street than the house is not preferred.
- The proposed single story house would be more accessible than the existing split-level.

**Recommendation:**

Staff is recommending *approval* of this application based on the analysis above.

**Motion:**

**THAT THE REQUEST BY SCHUMACHER HOMES ON BEHALF OF PETER TSCHOFEN FOR A CERTIFICATE OF APPROPRIATENESS TO DEMOLISH THE HOUSE AT 155 W. DUBLIN-GRANVILLE RD. AND CONSTRUCT A NEW HOUSE AS PER CASE NO. AR 76-17, DRAWINGS NO. AR 76-17, DATED SEPTEMBER 26, 2017, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**5. Window and Door Replacement – 583 Hartford St. (Catherine Watson) AR 99-18****Findings of Fact & Conclusions****Background & Request:**

This 1920's two-story house could be described as a foursquare with its boxy form and simple ornamentation, but also has influences from the Craftsman style of architecture, such as the windows. The owner reports some of the existing wood windows and a side door are in poor repair, and in need of replacement.

**Project Details:**

1. Seven windows are proposed for replacement: three on the front; three on the south side; and one in the rear. The existing windows are double-hung with 3 over 1 lights. Proposed are fiberglass clad wood windows in the same size, color and light pattern as the existing windows. The new Beechworth windows would be simulated divided light style, including spacer bars between the double panes of glass. Existing wood trim around the windows would remain.
2. Replacement of an existing wood side door with a fiberglass door is proposed. The existing white door has a glass window in the top third of the door, and three horizontal panels below. The proposed door would also be white, but would have a smaller window at the top and three vertical panels below.

**Land Use Plans:****Worthington Design Guidelines and Architectural District Ordinance**

Retention and repair of existing historic windows is always preferable to replacement. Because they usually comprise so much of a building's exterior surface, windows are a major part of its

character. Keeping them is one of the most important ways to protect that character. Even non-original windows may be of sufficient age and design quality to warrant their retention. If historic windows are too deteriorated to repair cost effectively and replacement is justified, the preferred option is an in-kind replacement in the same material and design. This usually means real wood windows with true through-the glass muntins (if appropriate) in dimensions and profiles that duplicate the originals. Window suppliers have become very good at doing such work at reasonable prices, but this still may take some persistence and hunting around. New windows made of substitute materials such as aluminum, vinyl, or clad wood can be an acceptable second choice if they provide a reasonably good match for the windows being replaced. Number of panes, real muntins, and correct profiles still are important.

Be sure that window and door designs are appropriate for the style or time period of the house. Design and materials should be traditional, and compatible with the existing structure.

**Recommendation:**

Staff is recommending *approval* of this application. The proposed replacement windows seem to offer a reasonably good match for the existing windows. Although the proposed door does not match the existing door style, the new door would be an appropriate style for use on the side of this house.

**Motion:**

**THAT THE REQUEST BY CATHERINE WATSON FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE WINDOWS AND A DOOR AT 583 HARTFORD ST., AS PER CASE NO. AR 99-18, DRAWINGS NO. AR 99-18, DATED OCTOBER 12, 2018 BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

6. ATMs, Façade changes, Signage & Lighting – **54 W. Wilson Bridge Rd.** (Bank of America, N.A.) **AR 96-18**

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**C. Municipal Planning Commission**

1. Drive-in Bank – **54 W. Wilson Bridge Rd.** (Bank of America, N.A.) **CU 16-18**

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2. Signage – **54 W. Wilson Bridge Rd.** (Bank of America, N.A.) **ADP 08-18**

**Findings of Fact & Conclusions**

**Background & Request:**

This outbuilding on the Shops at Worthington Place property has always functioned as a financial institution, most recently Telhio Credit Union. This request by Bank of America is the first time

the space is proposed to be used without employees, with the only bank functions being accomplished with Automated Teller Machines (ATMs).

### **Project Details:**

1. Two ATMs are proposed for the site, one for walk-up traffic and one for drive-thru traffic.
  - The walk-up ATM is proposed in place of the front door facing W. Wilson Bridge Rd. The proposal involves removing the existing vestibule, and installing an ATM machine with a red surround and Bank of America sign at the top.
  - The second ATM is proposed beneath the drive-thru canopy at the rear of the building. This machine is also proposed with a sign at the top, with the topper being framed in red. Roughly 4 ½' wide by 7 ¾" high directional signs are proposed on the edge of the canopy. Bollards are proposed to protect the machine, and would be gray with narrow red stripes.
2. A wall sign is proposed to be mounted in place of the existing sign box (24 sf in area), that consists of a 150" wide x 62" (~65 sf in area) panel to match the brick, with 15" white channel letters spelling "Bank of America" and a 22 ¾" high logo. The lettering and logo are proposed to be halo lit. The panel would likely cover the decorative brick work at the corners of that wall.
3. A new sign box is proposed to top the existing pole in front of the building. The existing sign box on the pole is 14 sf in area per side. The new box would be 6' 8 ¾" x 3' 10 ⅜" (26 sf in area per side), and tan in color. Concave sign faces would be slightly smaller than the box, with a white background, and blue lettering and a blue and red logo. The sign backgrounds are specified as opaque. The pole is proposed to be wrapped in 1'8" wide tan material.
4. Building trim is proposed to be repaired to match the existing. Retention of the windows is planned, although a film is proposed on the interior to obscure the view. A photograph of a storefront with similar treatment is included in the packet.
5. New lighting is proposed for the site and building.
  - Eight 15' high bronze poles with fixtures would be installed around the site. On the east side, the poles are proposed in the existing parallel parking spots, and would have concrete bollards for protection, as the concrete bases would not extend above grade. The 4000K LED fixtures would direct light downward, producing light levels up to 13.7 footcandles. The existing 25' pole in front of the building is proposed for replacement, and would also have bollards for protection.
  - New canopy light fixtures are proposed, also being 4000K LED, and producing up to 22 footcandles of light.
  - Eight bronze cylindrical wall sconces are proposed around the building in the same color temperature as the other proposed lights.

### **Land Use Plans:**

#### Architectural District and Development Plan Ordinances

The Board should review the exterior detail and relationship of the changes to existing sites and building. Primary building entrances should be on the street-facing principal facade.

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. While the regulations permit

a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

#### Chapter 1181 - Wilson Bridge Corridor Districts

##### 1181.05 Development Standards.

(b) Buildings. Building design should enhance the character of the WBC. A diversity of architectural styles is encouraged to provide visual interest and add to the overall appeal of the corridor.

(1) Design.

A. A principal building shall be oriented parallel to Wilson Bridge Road, or as parallel as the site permits, and should have an operational entry facing the street.

(d) Lighting. All exterior lighting shall be integrated with the building design and site and shall contribute to the night-time experience, including façade lighting, sign and display window illumination, landscape, parking lot, and streetscape lighting.

(1) The average illumination level shall not exceed 3 footcandles. The light level along a property line shall not exceed 0 footcandles.

(2) The height of parking lot lighting shall not exceed 15' above grade and shall direct light downward. Parking lot lighting shall be accomplished from poles within the lot, and not building-mounted lights.

(3) For pedestrian walkways, decorative low light level fixtures shall be used and the height of the fixture shall not exceed 12' above grade.

(4) Security lighting shall be full cut-off type fixtures, shielded and aimed so that illumination is directed to the designated areas with the lowest possible illumination level to effectively allow surveillance.

(e) Signs.

(1) General.

A. All new signs, including sign face replacement, shall be subject to the provisions herein.

B. The provisions in Chapter 1170 shall apply to all signs in the WBC unless otherwise stated in this section.

C. Exterior lighting fixtures are the preferred source of illumination.

(2) Freestanding Signs

A. There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.

B. Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10'. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.

D. Light sources shall be screened from motorist view.

(3) Wall-mounted Signs

A. Each business occupying 25% or more of a building may have one wall sign and one projection sign. Wall-mounted signs shall not exceed 40 square feet in area, and projection signs shall not exceed 12 square feet in area per side.

Worthington Code Basic Standards and Review Elements The following general elements are to be considered when hearing applications for Conditional Use Permits:

1. Effect on traffic pattern
2. Effect on public facilities
3. Effect on sewerage and drainage facilities
4. Utilities required
5. Safety and health considerations
6. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards
7. Hours of use
8. Shielding or screening considerations for neighbors
9. Appearance and compatibility with the general neighborhood

Worthington Conditional Use Permit Regulations

The following basic standards apply to conditional uses in any "C" or "I" District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission.

**Staff Analysis:**

1. Replacing a front entrance with an ATM machine is not appropriate. Either retaining the vestibule and placing the ATM inside, or locating the walk-up ATM on the side or rear of the building should be explored. Regardless of the walk-up ATM location, the wide red surround and topper sign should be eliminated.
2. The topper panel with a sign on the drive-thru ATM should not be permitted.
3. Although the style of the proposed wall sign is somewhat acceptable, the size should be reduced to be no larger than the previous wall sign, which was 24 square feet. The brick corner detailing should not be covered in any case.
4. The proposed freestanding sign is larger than the existing former sign, which is not preferred on a 12' high sign on a pole. Also, design similar to the proposed wall sign (halo lit) should be considered.
5. The improvements to the building are appropriate. The use of interior blinds rather than placing film on the windows may provide a more typical look for the District.
6. The new light poles and fixtures seem appropriate for the site, except proposed light levels are higher than typically seen. The Wilson Bridge corridor standard calls for lighting not to exceed an average of 3 footcandles. Other ARB approvals have limited the light level under the canopy to 15 footcandles, rather than the proposed 22 footcandles.
7. The effect based on Conditional Use Permit Standards and Review Elements should be minimal with an unmanned facility, however expected traffic numbers have not been reported.
8. The elimination of the need for variances by reducing sign size, and removing the ATM signs from the proposal would be appropriate.

**Recommendations:**

Staff is recommending *approval* of the drive-thru ATM without the topper; the directional signs for the drive-thru; and the building renovations. The ATM on the front of the building should be *denied*, with relocation being considered. Reduction in the size of the proposed wall and freestanding signs is needed, and redesign of the freestanding sign is desired. Reduction in the amount of light being produced on the site is warranted. The Conditional Use permit should be *approved*. The Amendment to Development Plan may not be necessary with the reduction in the size of the wall and freestanding signs, and elimination of the ATM signs.

**ARB Motion:**

**THAT THE REQUEST BY BANK OF AMERICA, N.A. FOR A CERTIFICATE OF APPROPRIATENESS TO RENOVATE THE BUILDING AND SITE FOR USE AS AN UNMANNED ATM FACILITY AT 54 W. WILSON BRIDGE RD., AS PER CASE NO. AR 96-18, DRAWINGS NO. AR 96-18, DATED OCTOBER 12, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**Conditional Use Permit Motion:**

**THAT THE REQUEST BY BANK OF AMERICA, N.A. FOR A CONDITIONAL USE PERMIT TO OPERATE THE BUILDING AND SITE FOR USE AS AN UNMANNED ATM FACILITY AT 54 W. WILSON BRIDGE RD., AS PER CASE NO. CU 16-18, DRAWINGS NO. CU 16-18, DATED OCTOBER 12, 2018, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**Amendment to Development Plan Motion:**

**THAT THE REQUEST BY BANK OF AMERICA, N.A. TO AMEND THE DEVELOPMENT PLAN TO RENOVATE THE BUILDING AND SITE FOR USE AS AN UNMANNED ATM FACILITY AT 54 W. WILSON BRIDGE RD., AS PER CASE NO. ADP 08-18, DRAWINGS NO. ADP 08-18, DATED OCTOBER 12, 2018, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Table with application details: Case # AR 93-18, Date Received 10-05-2018, Fee \$5.00, Meeting Date 10-25-2018, Filing Deadline, Receipt # 6048

- 1. Property Location 105 W. Clearview Ave
2. Present/Proposed Use
3. Zoning District R-10Y
4. Applicant Grant Baldwin / Elizabeth Baldwin (+ Lee's Fencing Company)
5. Property Owner Grant Baldwin / Elizabeth Baldwin
6. Project Description Fence to enclose backyard
7. Project Details: a) Design 4' dog eared picket, 4" pickets w/ 3 3/4" spaces, 2 gates; b) Color Cedar unpainted; c) Size; d) Approximate Cost ~\$4700

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME: The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

Date 10/5/18

Property Owner (Signature)

Date

Abutting Property Owners List for  
105 W. Clearview Ave.

Charles & Anne Hyland	104 W. Clearview Ave.	Worthington, OH 43085
Douglas & Amy Gilmore	103 W. Clearview Ave.	Worthington, OH 43085
Sue Kneubel	108 W. Stafford Ave.	Worthington, OH 43085
Ronald & Waltraut Butler	110 W. Stafford Ave.	Worthington, OH 43085
Traci and Michael Graziani	111 W. Clearview Ave.	Worthington, OH 43085
William & Michaelynn McGill	112 W. Clearview Ave.	Worthington, OH 43085

10/5/18

We would like to fence in our backyard at 105 W. Clearview Ave. for safety because we would like to get a dog. The proposal is for a fence that would enclose the backyard up to the back of our house, and include 2 gates, one on the driveway side and one on the other side by the back corner of our house.

(See included for details on materials to be used).

J. Bill

10/4/2018

Beth Baldwin  
105 W Clearview Ave  
Worthington, Oh 43085  
(512) 569-5.39  
[ehbaldwin@gmail.com](mailto:ehbaldwin@gmail.com)

**Scope of work:**

Enclose backyard with 48" picket fencing  
Approximately 181 linear feet including two walk gates.  
Four flanged posts on concrete between the house and garage.  
The wood framing would be bolted to the flanged metal posts.  
Tear out and haul existing wire fence in rear if necessary.

**Style of Fence:**

Traditional dog-ear picket 3 3/4"  
1x4 western red cedar boards, spaced 2" apart  
2x4 western red cedar stringers.  
4x4 treated posts set in concrete.

**Cost:** \$4500 using round 2 1/2" steel posts flanged to the concrete  
Option: use square heavy aluminum 4x4 posts flanged to the concrete \$4700  
**Price includes all material, labor, tax, and Worthington permit.**

**Notes:** Historic review area  
Lee's will submit Worthington permit.  
Lee's will notify utilities to mark any underground facilities.  
Lee's will schedule Worthington inspections.

Thanks,  
Pete Rogers  
Lee's Fencing  
(614) 846-8839  
[leesfencing@aol.com](mailto:leesfencing@aol.com)

CITY OF WORTHINGTON

DRAWING NO. AR 93-18

DATE 10/05/18

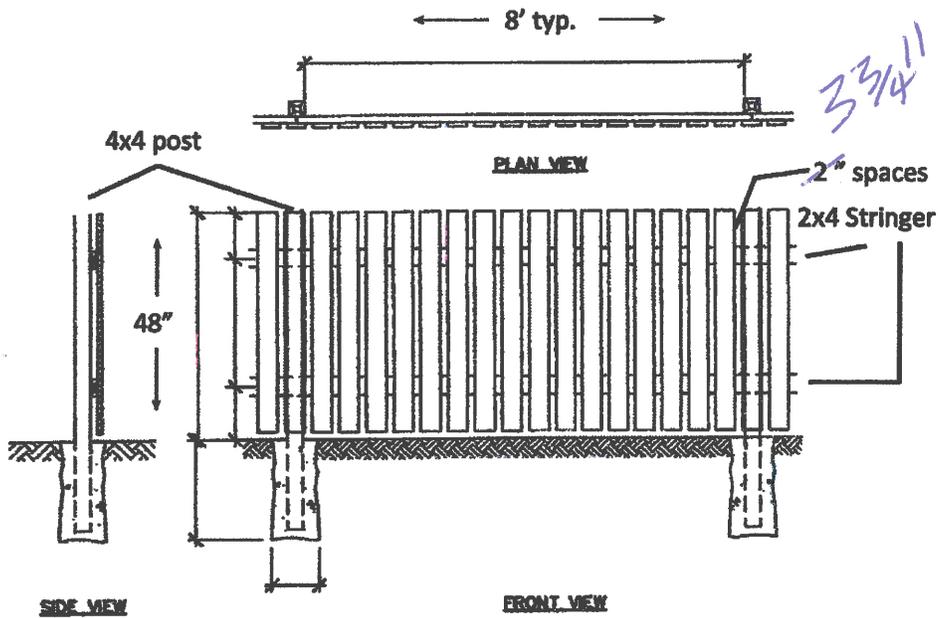
# 105 W. Clearview Ave.



100-000693 04/26/2017



Baldwin Residence  
 105 W Clearview Ave  
 Worthington, Oh 43085



**4' SPACED PICKET FENCE DETAIL**  
 STYLE : FACE NAIL (W-02)

NOTES:

SPECIFICATIONS		
COMPONENT	DIMENSIONS	MATERIAL
BACK RAILS	2 X 4 X 8	Western Red Cedar
POSTS	4 X 4 X	Pressure Treated
PICKETS	3/4" X 3 3/4" X 48"	Western Red Cedar
FOOTING	DIA X DEEP	Concrete
NAILS/SCREWS		Aluminum
TOP DESIGN	DOG EAR	

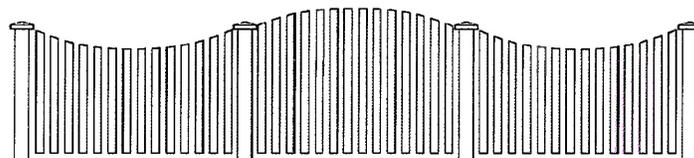
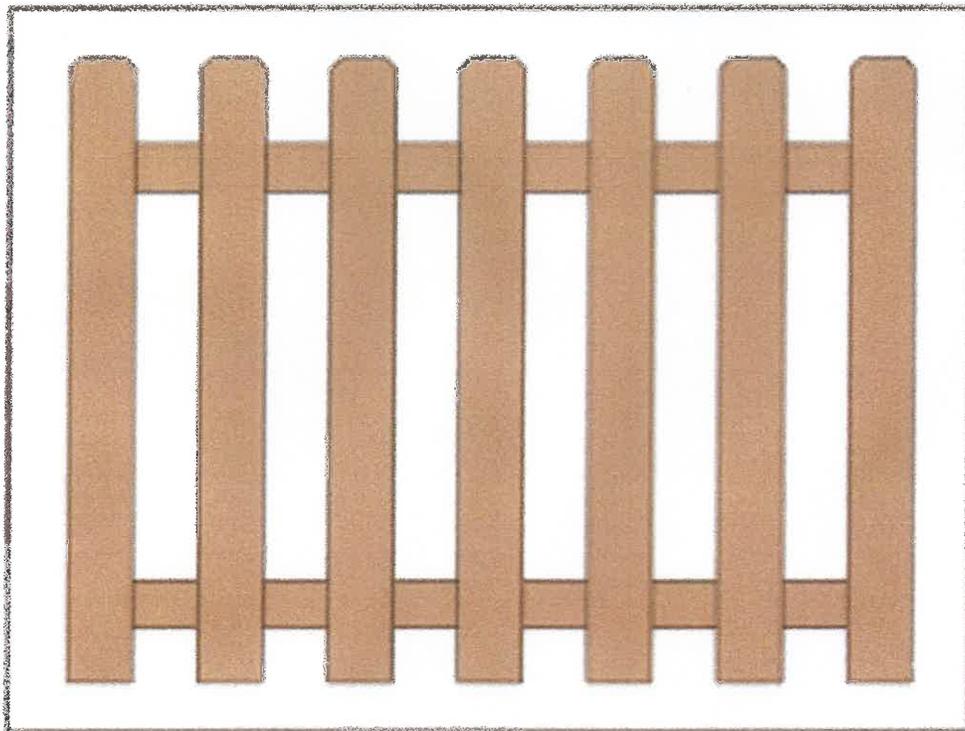
CITY OF WORTHINGTON

DRAWING NO. AR 93-18

DATE 10/05/18



# DOG EAR PICKET



**LEE'S FENCING COMPANY**

**complete commercial & residential service**

CITY OF WORTHINGTON

DRAWING NO. AR 93-18

DATE 10/05/18



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR94-18
Date Received	10-10-2018
Fee	\$200.00 pd
Meeting Date	10-25-2018
Filing Deadline	
Receipt #	66068
Extension & Amendment to AR 44-15	

1. **Property Location** 594 Hartford St.  
 2. **Present/Proposed Use** Residential

3. **Zoning District** \_\_\_\_\_

4. **Applicant** Sean Kocheran / RAS Construction  
**Address** 351 W. South St. Worthington  
**Phone Number(s)** 614-679-3863

5. **Property Owner** Robert & Tera Huffman  
**Address** 594 Hartford St.  
**Phone Number(s)** \_\_\_\_\_

6. **Project Description** Adding approx 26'x26' attached garage, a rear door, deck and 16' x 20' carriage house.

7. **Project Details:**  
 a) **Design** Dutch colonial  
 b) **Color** Match existing  
 c) **Size** 26'x26' attached garage, 16' x 20' carriage house and approx 180sf. elevated deck.  
 d) **Approximate Cost** 230,000. **Expected Completion Date** Spring 2019

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**  
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

10.9.18  
 Date

Property Owner (Signature)

10/08/18  
 Date

Abutting Property Owners List for  
594 Hartford St.

Gregory & Christiana Hopkins	608 Hartford St.	Worthington, OH 43085
Warren & Marlene Orloff	356 Loveman Ave.	Worthington, OH 43085
Resident	590 Hartford St.	Worthington, OH 43085
Paul Graham & Anne Scaperoth	611 Morning St.	Worthington, OH 43085
John Schaffner	601 Morning St.	Worthington, OH 43085
Timothy & Brenda Tilton	595 Morning St.	Worthington, OH 43085
Worthington Methodist Church	600 High St.	Worthington, OH 43085



# R.A.S. Construction

**Supporting Statement**  
**RAS Construction, Inc.**  
**351 W. South St., Worthington, OH 43085**  
**614-679-3863**

10/10/18

**Re: Worthington ARB Application for 594 Hartford St.**

To Whom It May Concern,

We are resubmitting a request for approval that was granted on November 13<sup>th</sup>, 2014 for a 26' x 26' attached garage and the removal of the dilapidated barn. All finishes for the attached garage remain the same as stated in the November 13<sup>th</sup>, 2014 ARB meeting which were approved. In addition to this request to be reapproved, we are also requesting approval for a new patio door to be installed which matches the style of the existing windows in the rear leading to a new deck and a 16' x 20' carriage house to be located in the general area where the barn is to be removed. The carriage house will share all the same exterior finishes as the attached garage but will have a standing seam metal roof and will share the same style as the existing architecture.

Thank you for your consideration.

Respectfully Submitted,  
Sean Kocheran

# 594 Hartford St.



100-000012 04/25/2017



CITY OF WORTHINGTON

DRAWING NO. AR 94-18

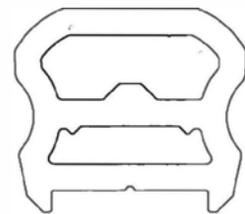
DATE 10/10/18

CLASSIC RAILING

# RadianceRail Express®

RadianceRail Express: Black

This classic profile reflects the same characteristics of RadianceRail® with pared down color options. This allows for a traditional, high-end look at a more modest price point.



TOP RAIL SIZE: 2.67" X 2.375"

### RadianceRail Express Options



Composite Balusters

CITY OF WORTHINGTON

DRAWING NO. AR 94-18

DATE 10/10/18



CITY OF WORTHINGTON

DRAWING NO. AR 94-18

DATE 10/10/18





# POST-FRAME BUILDINGS



Commercial Suburban Agricultural

## Carriage House Metal Roof Color Options

CITY OF WORTHINGTON  
DRAWING NO. AR 94-18  
DATE 10/10/18



BRITE WHITE

WHITE

PRAIRIE WHEAT

LIGHT STONE



PINEWOOD

BEIGE

TAN

CHOCOLATE



BRONZE

BURNISHED SLATE

BROWN

BLACK



ASH GRAY

LIGHT GRAY

CHARCOAL GRAY

MIDNIGHT GRAY



BRITE RED

RED

COLONIAL RED

BURGUNDY

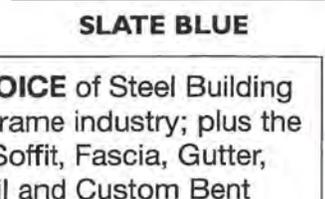


SAGE

EMERALD GREEN

SLATE BLUE

OCEAN BLUE



offers the **BEST CHOICE** of Steel Building Panels for the post frame industry; plus the largest selection of Soffit, Fascia, Gutter, Vents, Trim, Trim Coil and Custom Bent Trim.



**Note:** Color Chips show approximate tone. Color of actual product may vary. Final color approval should be made with actual material. Samples are available at [www.menards.com](http://www.menards.com)

**\*COPPER COLORED**  
\*Only Available in Premium Products



CITY OF WORTHINGTON

DRAWING NO. AR 94-18

DATE 10/10/18

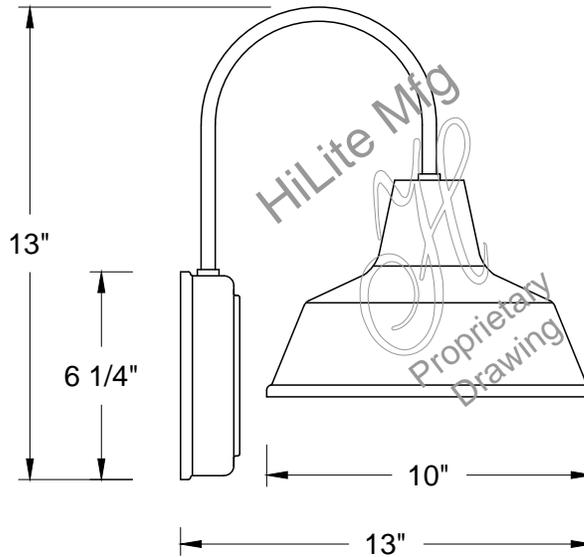


**HI-LITE MFG.  
CO., INC**

13450 Monte Vista Avenue  
Chino, California 91710  
Telephone: (909) 465-1999  
Toll Free: (800) 465-0211  
Fax: (909) 465-0907  
web: www.hilitemfg.com  
e-mail: sales@hilitemfg.com

**H-15110-B  
Warehouse Shade  
Collection**

Job Name: \_\_\_\_\_  
Type: \_\_\_\_\_  
Quantity: \_\_\_\_\_



**FINISH** -Multi-stage pretreatment procedure using materials of polyester/polished powder coat, baking enamel liquid, raw metals, and galvanized finishes.

Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).

Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 138, 139, 140, 01, 11, 22, 25, 33, 77, 89, 24, 44, 48, 49.

(Custom finishes available).

For interior finish of fixture refer to color chart on pages 344-348.

**REFLECTOR** - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

**SOCKETS/LAMPS** - Available in:  
Incandescent  
- rated 100 watt max/120 volt, medium base.

**MOUNTING** - Wall Mount.

**ACCESSORIES** - WGR(Wire Guard) available.

CITY OF WORTHINGTON

DRAWING NO. AR 94-18

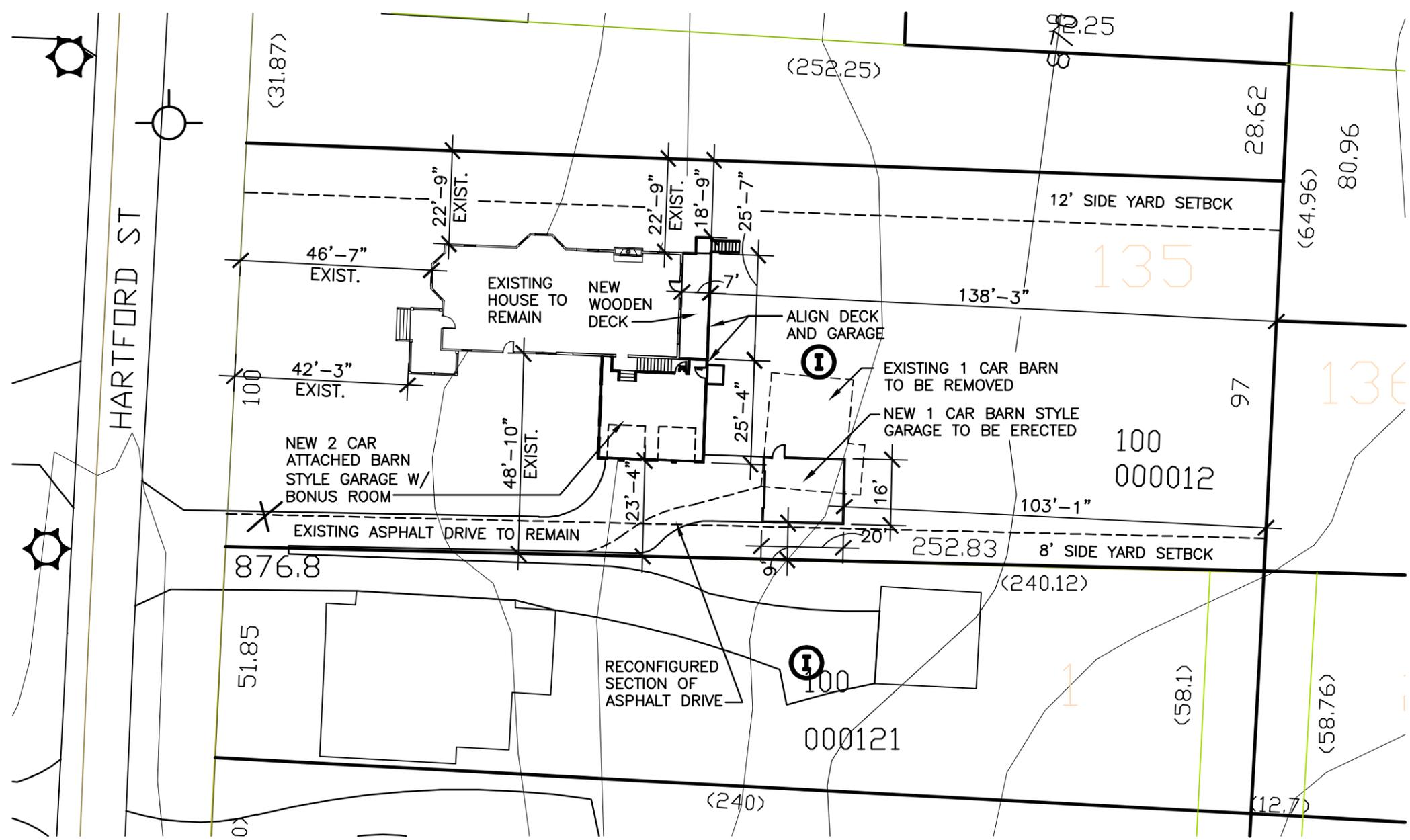
DATE 10/10/18



MADE IN THE U.S.A.

Suitable for wet location.

THESE DRAWINGS HAVE BEEN PREPARED BY JOHN YOUNG (YOUNGS' CAD SERVICE) 7952 TRELLEGE CT. POWELL, OHIO 43065 (614) 507-9678 FOR RAS CONSTRUCTION.



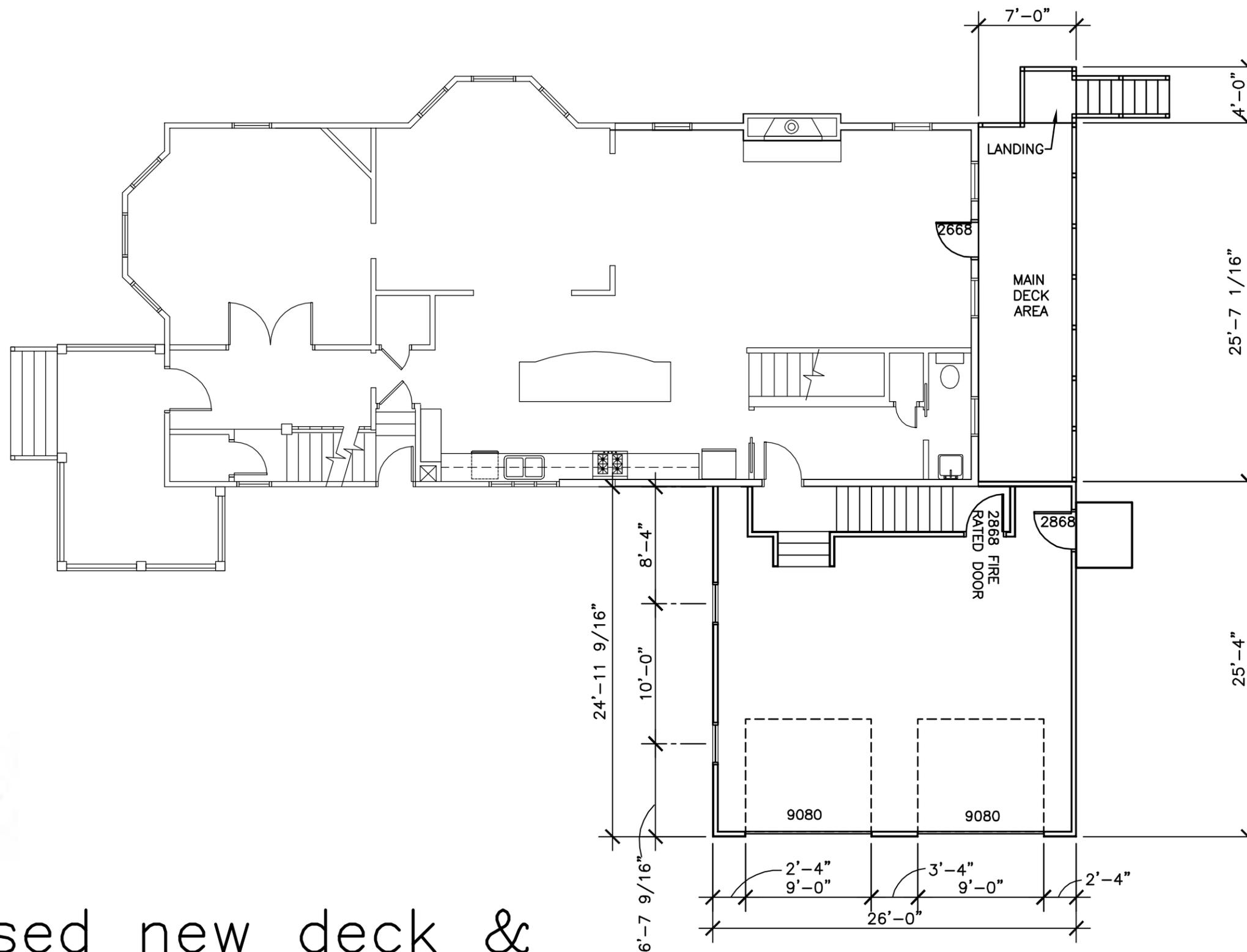
site plan  
 1" = 30'-0"  


PROPOSED DECK & 2 CAR ATTACHED & DETACHED GARAGE FOR THE RESIDENCE  
 594 HARTFORD STREET WORTHINGTON, OHIO 43085

CITY OF WORTHINGTON  
 DRAWING NO. AR 94-18  
 DATE 10/10/18

  
 DATE: 10/10/2018 SET:  
 ARCHITECTURAL REVIEW SET

THESE DRAWINGS HAVE BEEN PREPARED BY JOHN YOUNG (YOUNGS' CAD SERVICE) 7952 TRELLEGE CT. POWELL, OHIO 43065 (614) 507-9678 FOR RAS CONSTRUCTION.

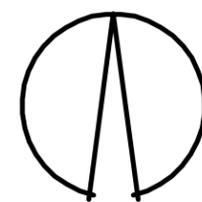


CITY OF WORTHINGTON

DRAWING NO. AR 94-18

DATE 10/10/18

proposed new deck & attached 2 car garage with bonus room above plan



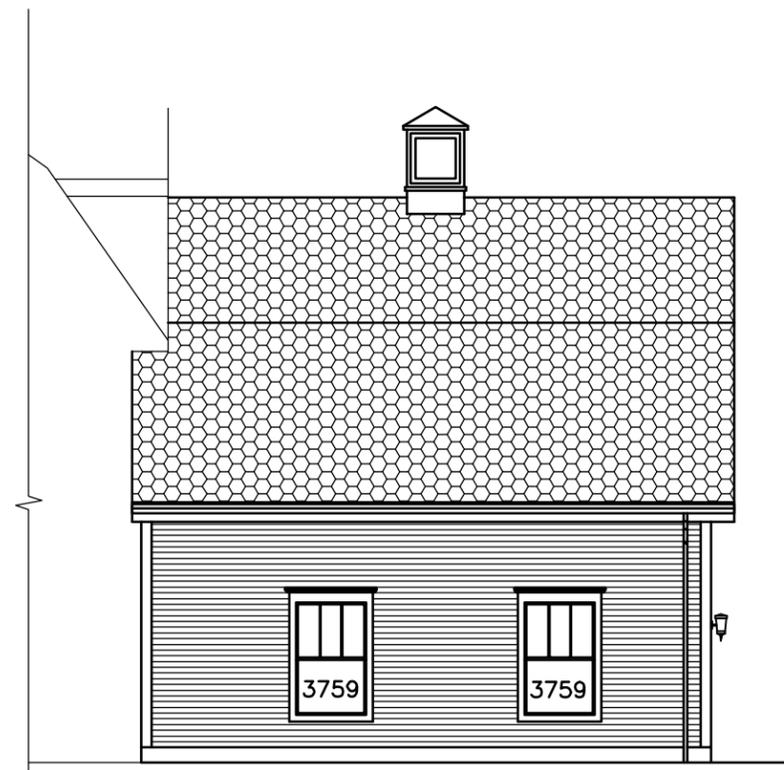
1/8" = 1'-0"

PROPOSED DECK & 2 CAR ATTACHED & DETACHED GARAGE FOR THE RESIDENCE 694 HARTFORD STREET WORTHINGTON, OHIO 43086



DATE: 10/10/2018 SET: ARCHITECTURAL REVIEW SET

THESE DRAWINGS HAVE BEEN PREPARED BY JOHN YOUNG (YOUNGS' CAD SERVICE) 7952 TRELLEGE CT. POWELL, OHIO 43065 (614) 507-9678 FOR RAS CONSTRUCTION.



partial west elevation

1/8" = 1'-0"



partial south elevation

1/8" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 94-18

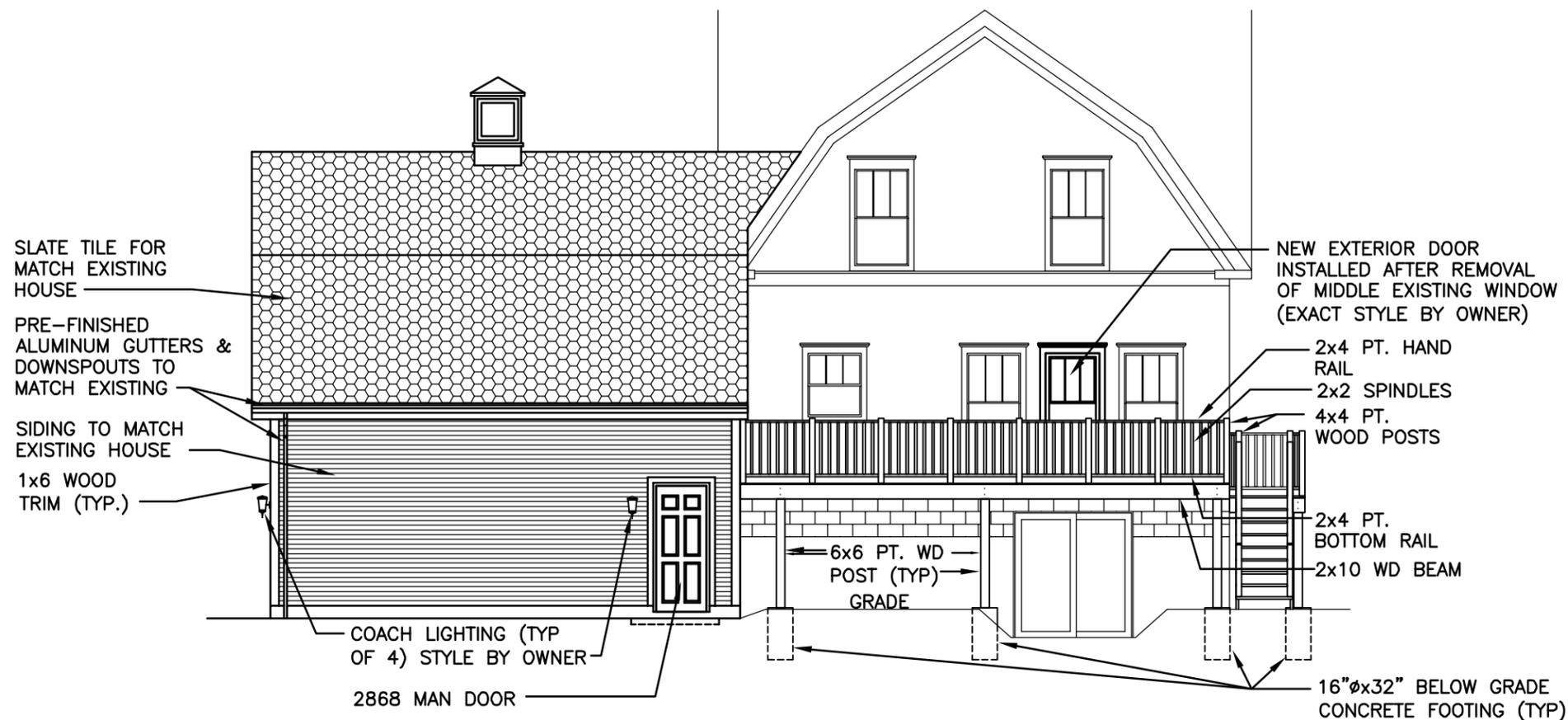
DATE 10/10/18

PROPOSED DECK & 2 CAR ATTACHED & DETACHED GARAGE FOR THE RESIDENCE  
694 HARTFORD STREET WORTHINGTON, OHIO 43086



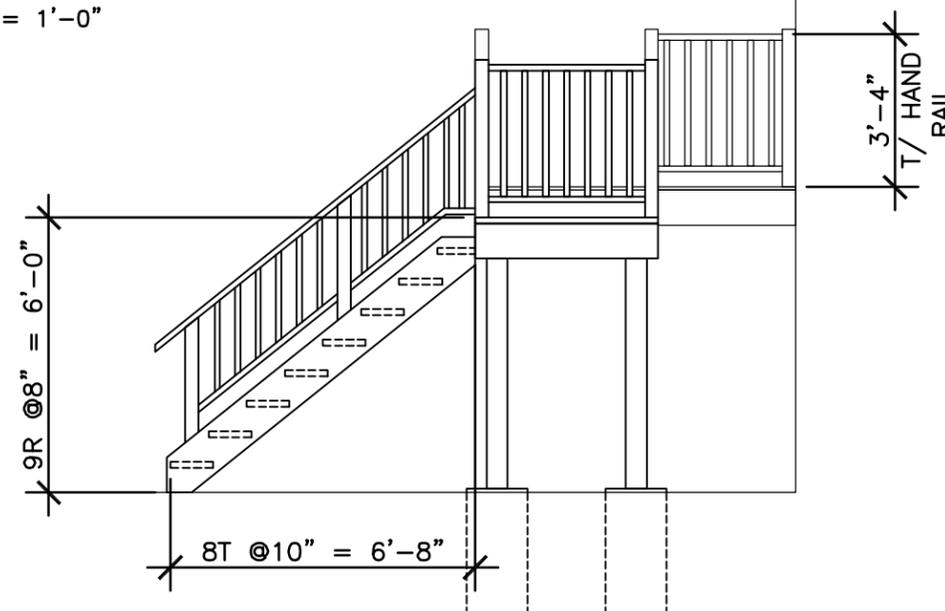
DATE: 10/10/2018 SET:  
ARCHITECTURAL REVIEW SET

THESE DRAWINGS HAVE BEEN PREPARED BY JOHN YOUNG (YOUNGS' CAD SERVICE) 7952 TRELAGE CT. POWELL, OHIO 43065 (614) 507-9678 FOR RAS CONSTRUCTION.



east elevation

1/8" = 1'-0"



north elevation

1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 94-18

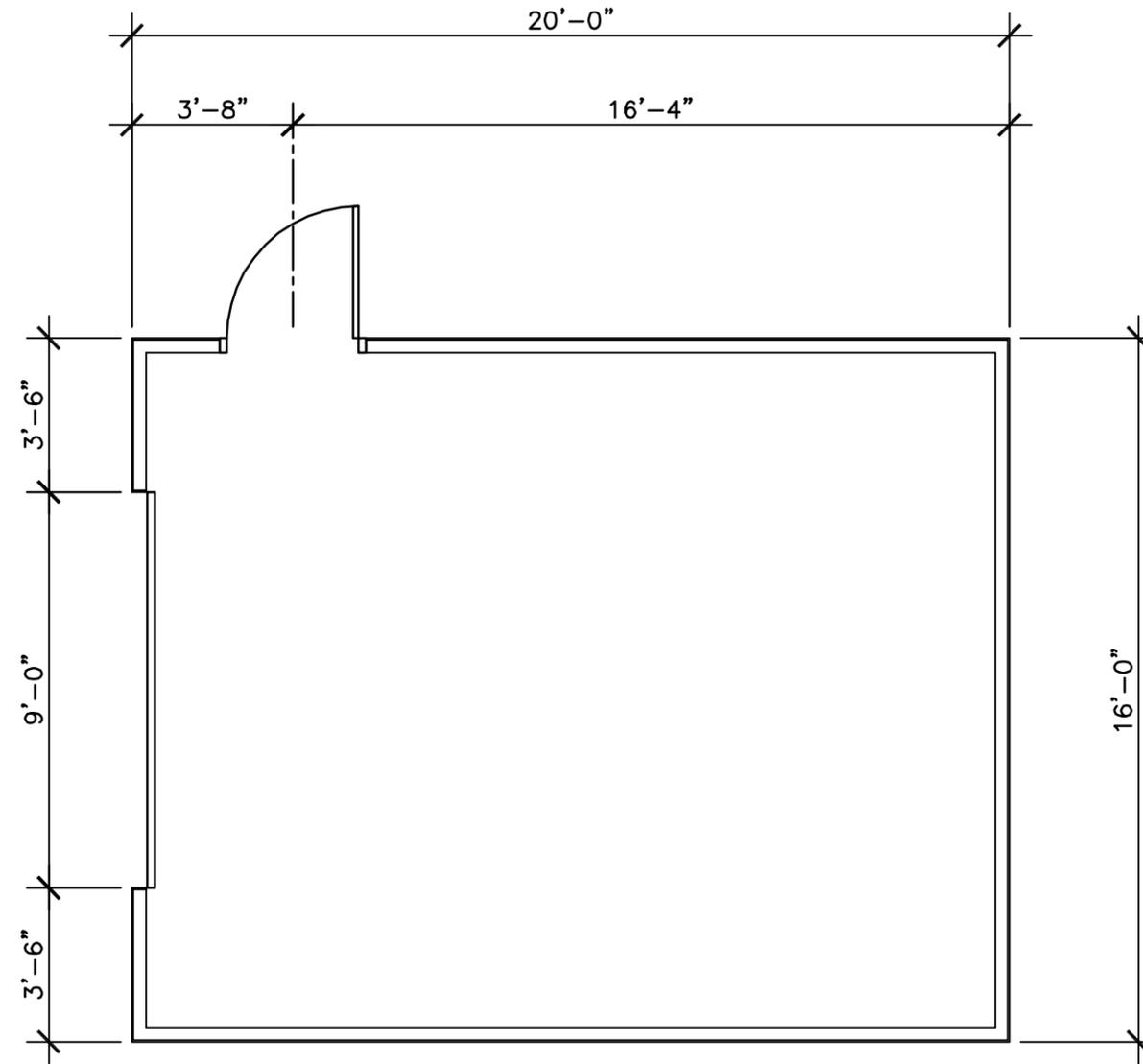
DATE 10/10/18

PROPOSED DECK & 2 CAR ATTACHED & DETACHED GARAGE FOR THE RESIDENCE  
694 HARTFORD STREET WORTHINGTON, OHIO 43086

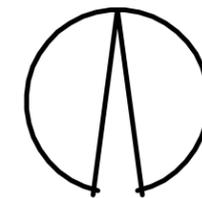


DATE: 10/10/2018 SET:  
ARCHITECTURAL REVIEW SET

THESE DRAWINGS HAVE BEEN PREPARED BY JOHN YOUNG (YOUNGS' CAD SERVICE) 7952 TRELAGE CT. POWELL, OHIO 43065 (614) 507-9678 FOR RAS CONSTRUCTION.



floor plan  
1/4" = 1'-0"



CITY OF WORTHINGTON

DRAWING NO. AR 94-18

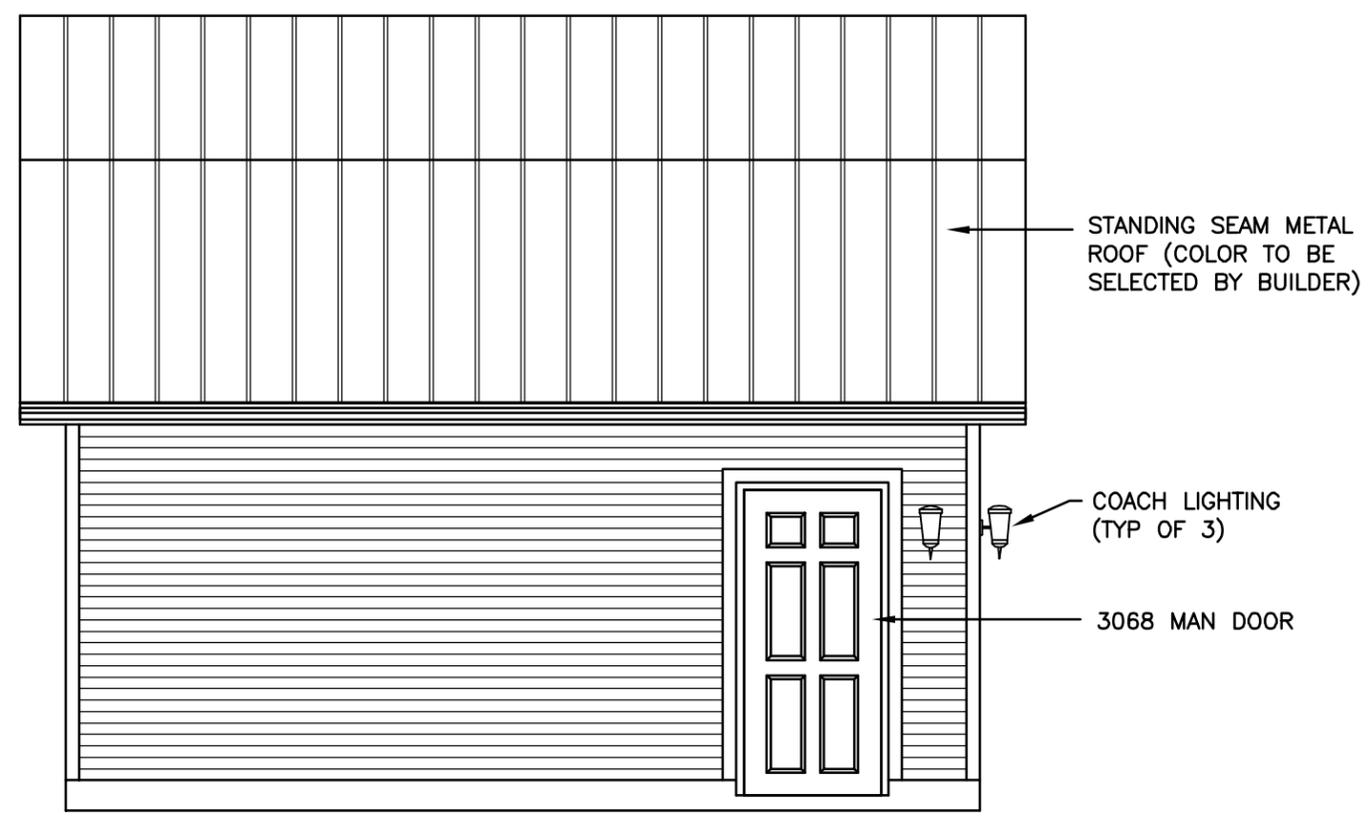
DATE 10/10/18

PROPOSED DECK & 2 CAR ATTACHED & DETACHED GARAGE FOR THE RESIDENCE  
594 HARTFORD STREET WORTHINGTON, OHIO 43085



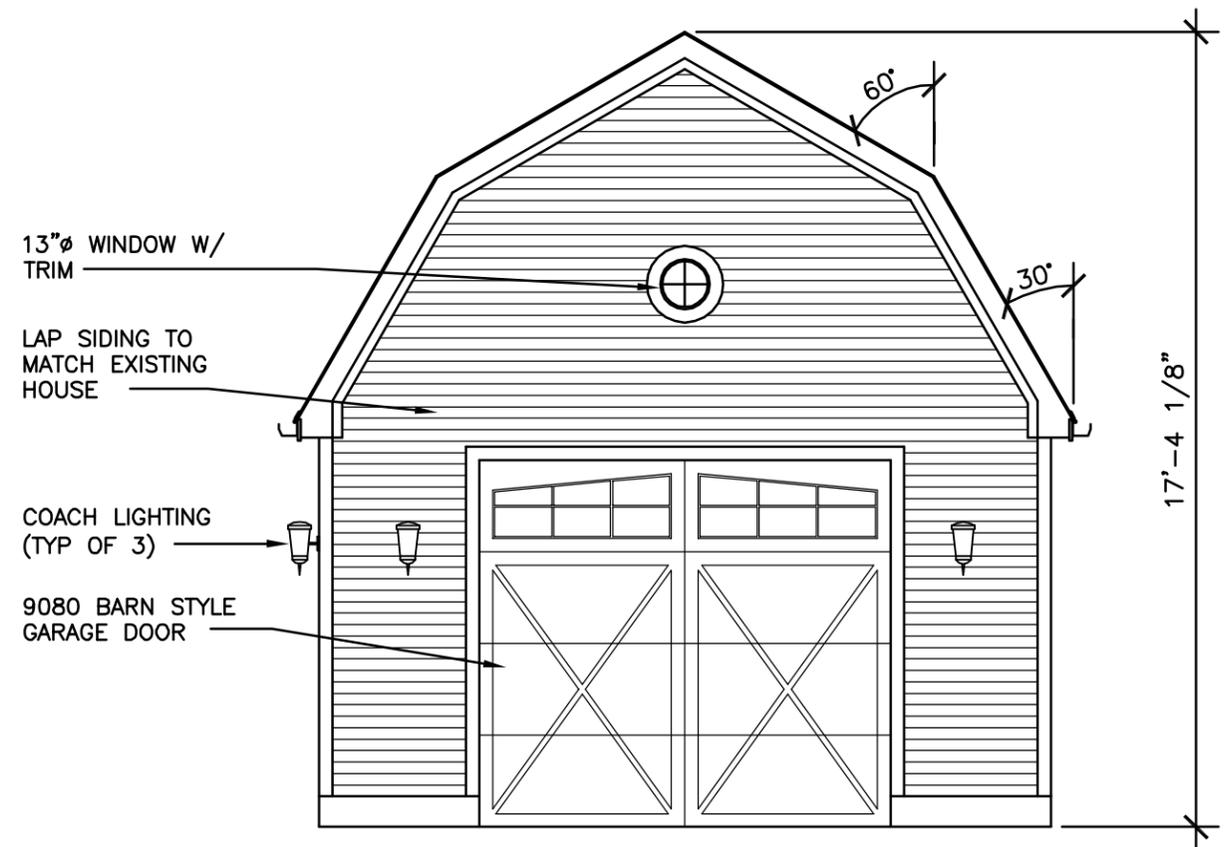
DATE: 10/10/2018 SET:  
ARCHITECTURAL REVIEW SET

THESE DRAWINGS HAVE BEEN PREPARED BY JOHN YOUNG (YOUNGS' CAD SERVICE) 7952 TRELAGE CT. POWELL, OHIO 43065 (614) 507-9678 FOR RAS CONSTRUCTION.



north elevation

1/4" = 1'-0"



west elevation

1/4" = 1'-0"

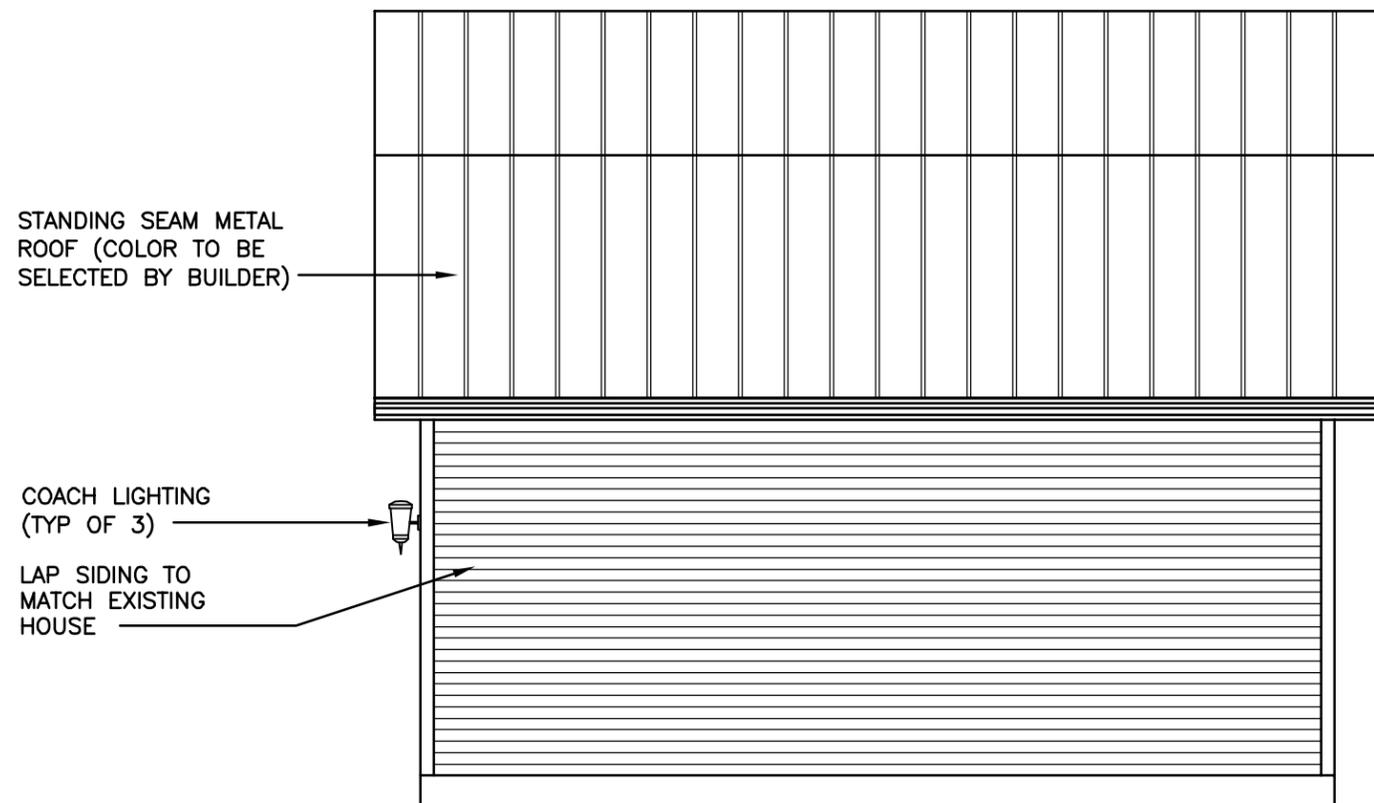
CITY OF WORTHINGTON  
DRAWING NO. AR 94-18  
DATE 10/10/18

PROPOSED DECK & 2 CAR ATTACHED & DETACHED GARAGE FOR THE RESIDENCE  
694 HARTFORD STREET WORTHINGTON, OHIO 43085



DATE: 10/10/2018 SET:  
ARCHITECTURAL REVIEW SET

THESE DRAWINGS HAVE BEEN PREPARED BY JOHN YOUNG (YOUNGS' CAD SERVICE) 7952 TRELLEGE CT. POWELL, OHIO 43065 (614) 507-9678 FOR RAS CONSTRUCTION.



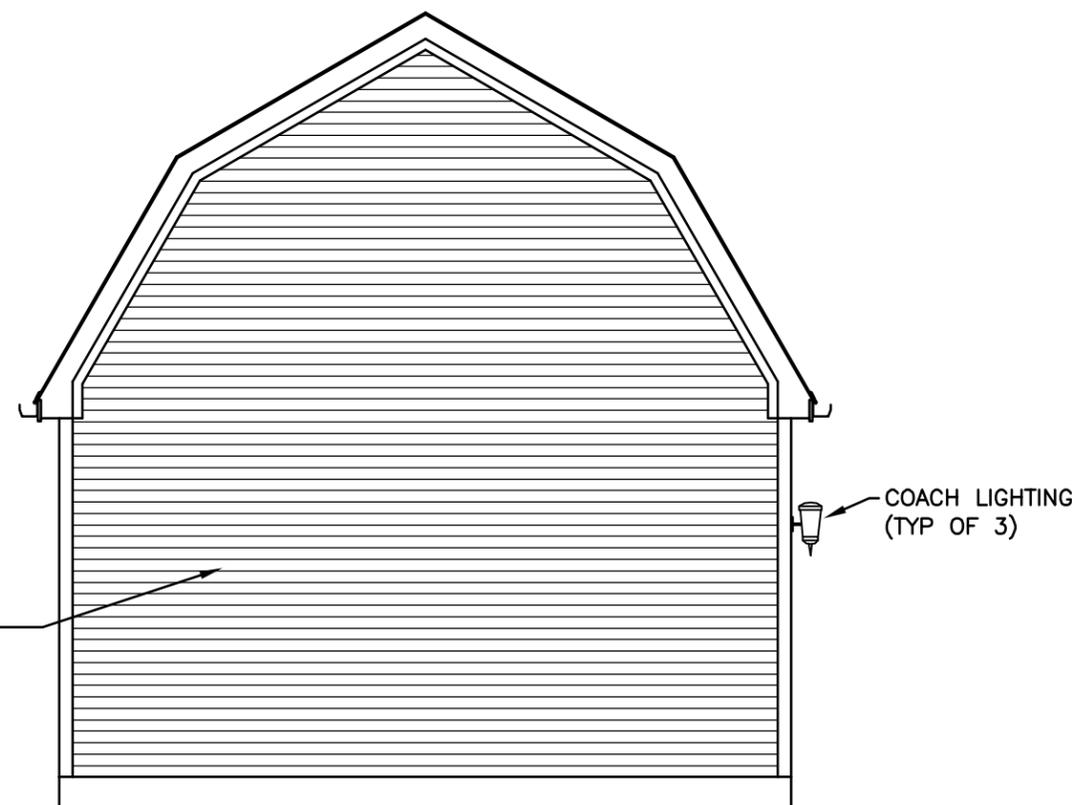
STANDING SEAM METAL ROOF (COLOR TO BE SELECTED BY BUILDER)

COACH LIGHTING (TYP OF 3)

LAP SIDING TO MATCH EXISTING HOUSE

south elevation

1/4" = 1'-0"



LAP SIDING TO MATCH EXISTING HOUSE

COACH LIGHTING (TYP OF 3)

east elevation

1/4" = 1'-0"

CITY OF WORTHINGTON

DRAWING NO. AR 94-18

DATE 10/10/18

PROPOSED DECK & 2 CAR ATTACHED & DETACHED GARAGE FOR THE RESIDENCE  
694 HARTFORD STREET WORTHINGTON, OHIO 43086



DATE: 10/10/2018 SET:  
ARCHITECTURAL REVIEW SET



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Case # AR 95-18 Date Received 10-11-2018 Fee \$3.00 pd Meeting Date 10-25-18 Filing Deadline Receipt # 66704

- 1. Property Location 120 E. South St.
2. Present/Proposed Use residential
3. Zoning District historical
4. Applicant Sean Crowley Address 120 E South St. Phone Number(s) 614 264 5042
5. Property Owner Sean Crowley Address 120 E. South St. Phone Number(s) 614 264 5042
6. Project Description new garden shed in rear yard

7. Project Details:

- a) Design Colonial
b) Color tan (same as residence on property)
c) Size 8' x 14' x 7' wall height, 10' peak height
d) Approximate Cost \$3,000.00 Expected Completion Date 11/30/2018

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature) [Signature] Date 10/9/18
Property Owner (Signature) [Signature] Date 10/9/18

ABUTTING PROPERTY OWNERS  
FOR  
120 E. South St.

Brian Dressel  
Jason and Megan Isaacson  
John and Melissa Conrath  
Mark and Rosalyn Hansen  
Brant and Suzanne Gipson

Jennifer Rieman 550 Hartford St.  
130 E. South St.  
129 E. South St.  
75 E. South St.  
570 Hartford St.

Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085

# Supporting Statement

We'd like to build a garden shed in the rear of the yard to serve as a storage area for lawn equipment and as a potting shed. We've chosen a kit that is colonial in style (similar to our home), and plan to paint it the same color (custom tan) as our home, and use the same shingles (Atlas Glassmaster 3 tab -- Weathered Wood) as on our home.

The shed is 8'x14'x7' wall height to 10' peak height, and will be on a plywood floor supported by a wood frame.

CITY OF WORTHINGTON

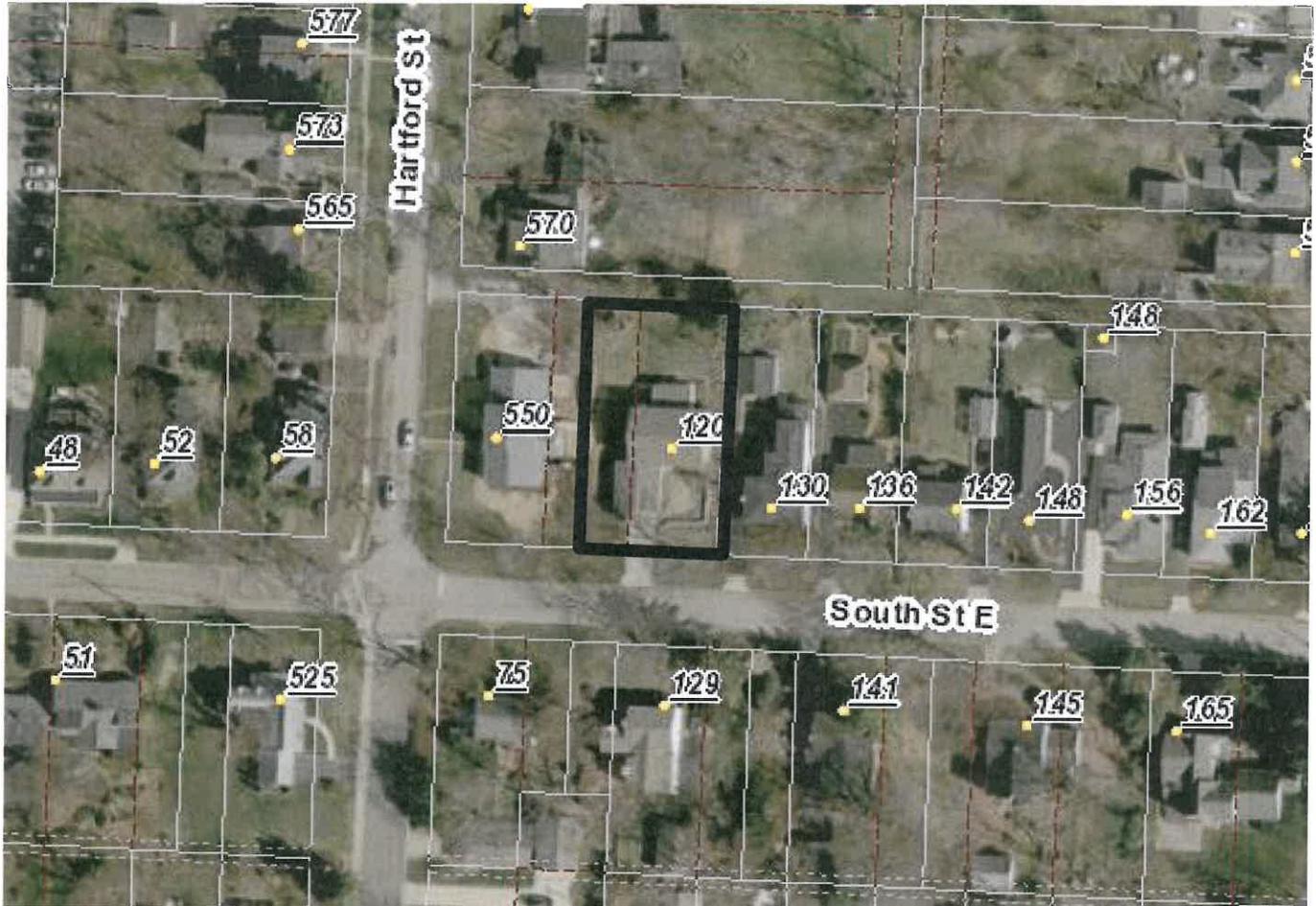
DRAWING NO. AR 95-18

DATE 10/11/18



Stock picture of finished shed. Wall paint, trim paint, door paint and shingles will match the house.

# 120 E. South St.



120 E. South Street: Crowley ARB Request

# Aerial View

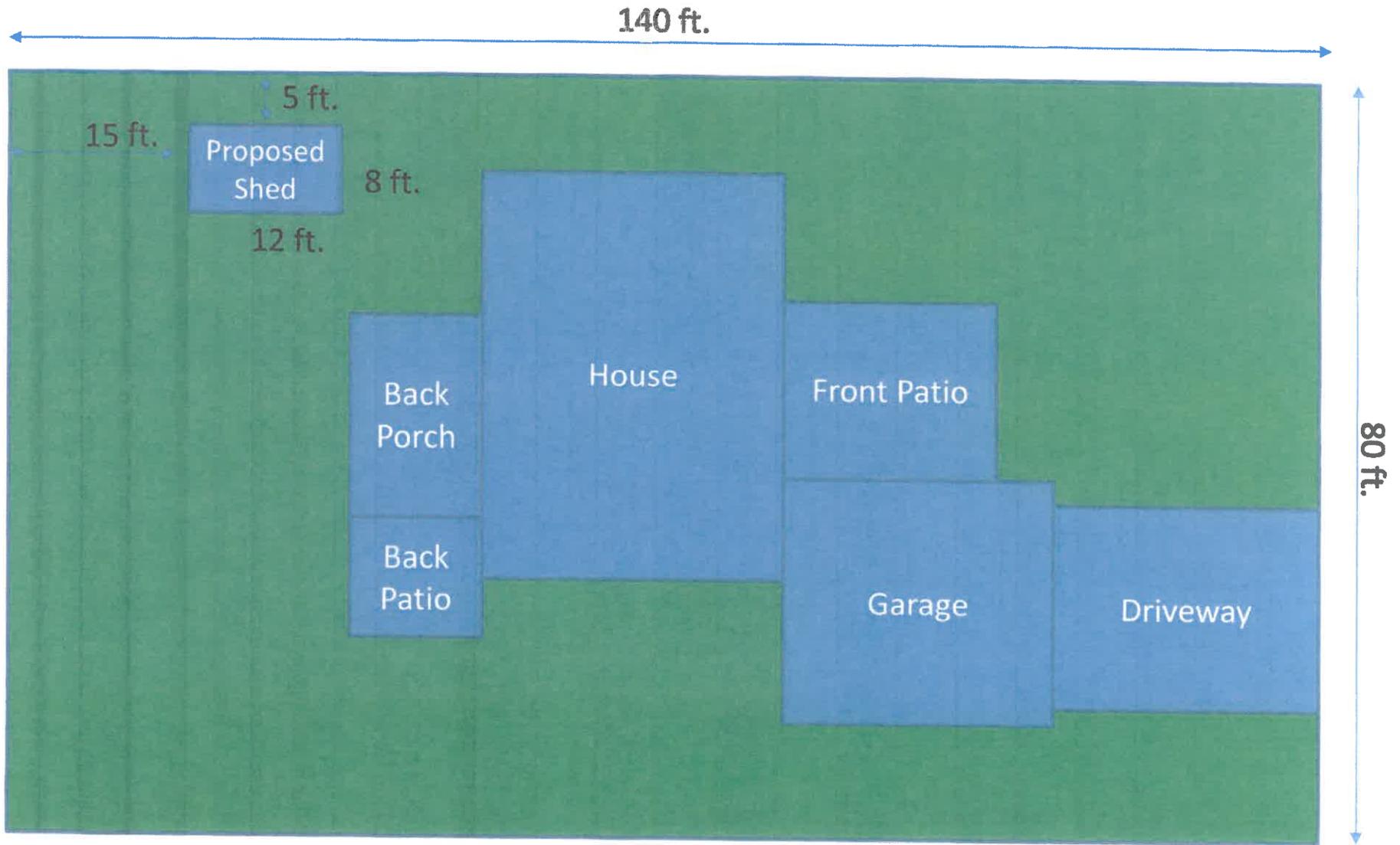


CITY OF WORTHINGTON

DRAWING NO. AR 95-18

DATE 10/11/18

120 E. South Street: Crowley ARB Request



CITY OF WORTHINGTON

DRAWING NO. AR 95-18

DATE 10/11/18

### 120 E. South Street: Crowley ARB Request



**View Facing South**



**View Facing East**





**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR 97-18
Date Received	10-12-18
Fee	\$200 pd
Meeting Date	10-25-18
Filing Deadline	
Receipt #	106083

1. **Property Location** 155 West Dublin Granville Road

2. **Present/Proposed Use** Private residence

3. **Zoning District** R-10

4. **Applicant** Schumacher Homes

**Address** 5087 Columbus Pike, Lewis Center, OH 43035

**Phone Number(s)** 740-549-0352, 866-414-4484

5. **Property Owner** Peter Tschofen

**Address** 301 Apache Street, Westerville, OH 43081

**Phone Number(s)** 614-668-7547 (C), 614-392-0704 (H)

6. **Project Description** Remove existing home and contract with Schumacher Homes to build a new traditional style ranch home.

7. **Project Details:**

a) **Design** Traditional style ranch home with two car attached garage

b) **Color** White siding, front door, garage door and windows with pewter architectural shingles

c) **Size** 2400 sq ft - living area

d) **Approximate Cost** Total project \$385K **Expected Completion Date** 150 days from completed foundation

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature] 10/12/2018  
 Applicant (Signature) Date

[Signature] 10/12/2018  
 Property Owner (Signature) Date

Abutting Property Owners List for  
155 W. Dublin-Granville Rd.

Karen Carroll  
Mariah & Joshua Myers  
Mary Debitetto  
Blair & Ashley Fujii  
Worthington Schools

163 W. Dublin-Granville Rd.  
162 Sinsbury Dr. N  
693 Evening St.  
701 Evening St.  
200 E. Wilson Bridge Rd.

Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085

## Supporting Statement - 155 West Dublin Granville Road - Peter Tschofen

I respectfully present my updated plans, to the City of Worthington Architectural Review Board, to remove the existing three-level split home at 155 West Dublin Granville Road, built in 1960, and replace it with an open-concept, traditional style ranch home.

The home, designed and to be built by Schumacher Homes, includes an Aging in Place design which will potentially accommodate my life's changing needs. The selected exterior elevation and materials will provide a maintenance-free exterior, keeping the home attractive for many years in Kilbourne Village and Worthington.

# 155 W. Dublin-Granville Rd.



100-002821 04/20/2017



CAMPBELL &  
ASSOCIATES INC  
Land Surveying

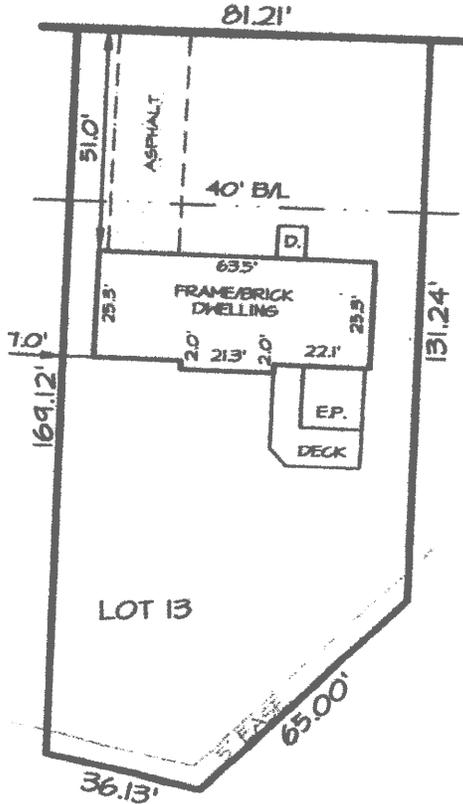
614.785.9340  
Fax: 614.785.9342  
77 E Wilson Bridge Road  
Suite 205  
Worthington, OH 43085  
<http://www.campbellsurvey.com>

**MORTGAGE LOCATION SURVEY**

Current Home



W. DUBLIN-GRANVILLE ROAD



CITY OF WORTHINGTON  
DRAWING NO. AR 97-18  
DATE 10/12/18

WE HAVE RECEIVED A COPY OF THIS SURVEY AND FIND THE CONDITIONS ACCEPTABLE TO MEAS.

BUYER/OWNER



Address 155 W Dublin Granville Road

State of Ohio, County of Franklin

City of Worthington, Ohio  
New Owner Peter Tschofen

Kilbourne Village  
Volume 28 Pages 62-63  
Client Order No. 19373.OH  
Date July 29, 2017  
Present Owner Eric J and Susan N Carter

C & A Order No.  
CO144449

This is to certify to Bank of America and/or Great American Title Agency, LLC

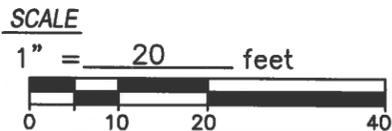
that a visual inspection of the property and buildings shown (if any) has been made and there are no apparent encroachments or visible easements unless otherwise shown. This service was not performed for the purpose of establishing boundary lines, and is not to be used for that purpose.

This Mortgage Location Survey has been prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-37, Ohio Administrative Code.

*Matthew L. Campbell*

Matthew L. Campbell - Reg. Surveyor No. 8546

# PLOT PLAN



BEING LOT NUMBER THIRTEEN (13) IN KILBOURNE VILLAGE (P.B. 28, PG. 62), SITUATED IN THE CITY OF WORTHINGTON, COUNTY OF FRANKLIN, STATE OF OHIO.

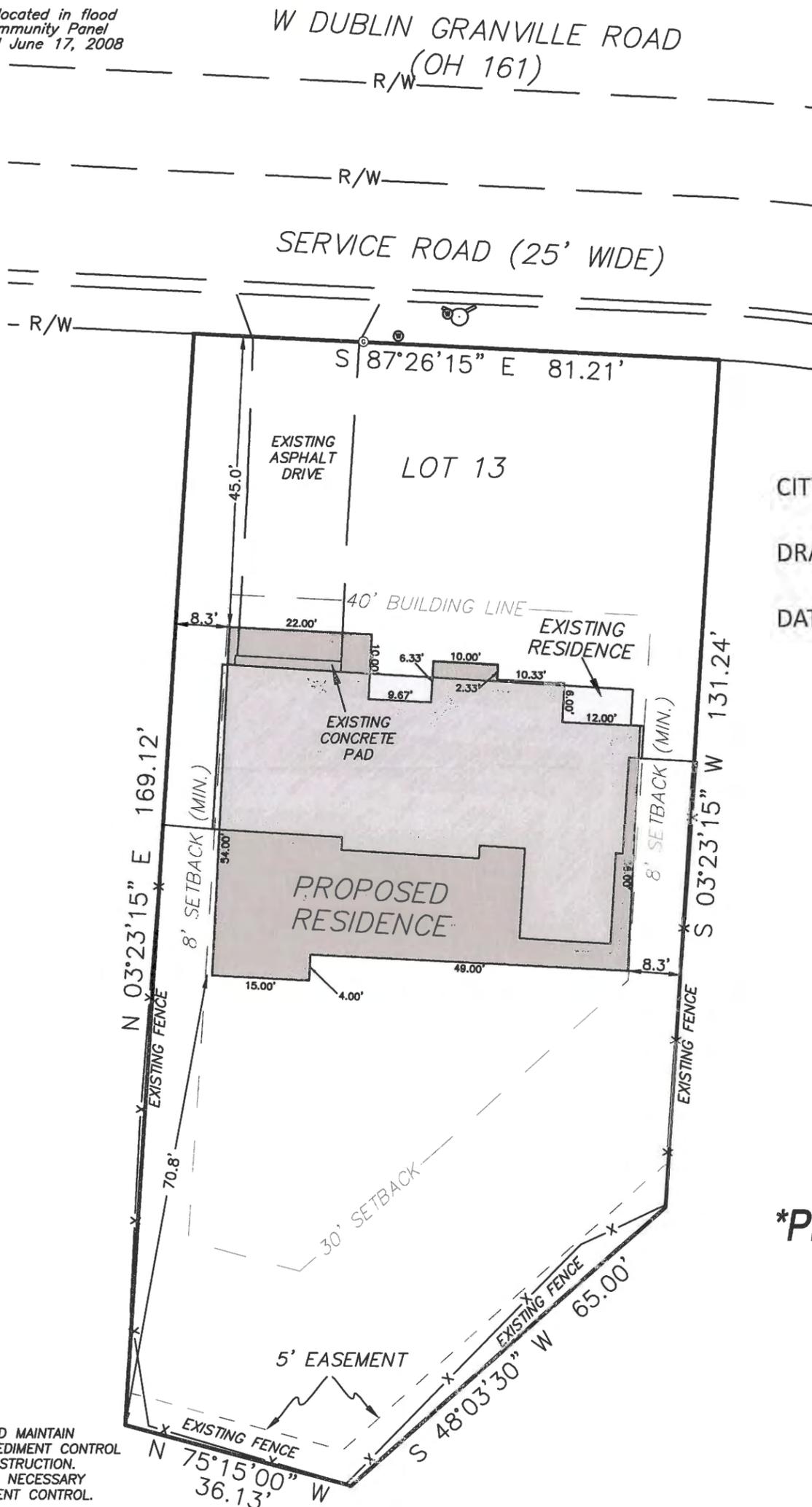
### BUILDING SETBACKS

FRONT: 40' (FROM R/W)  
SIDES: 8' min. (20' total)  
REAR: 30'

### FLOOD INSURANCE NOTE:

All lots on this plat are located in flood Zone "X" per F.E.M.A. Community Panel NO. 39041C0159 K dated June 17, 2008

ADDRESS OF PROPERTY: 155 WEST DUBLIN GRANVILLE ROAD WORTHINGTON, OHIO 43085



CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18

**\*PRELIMINARY\***

### NOTES:

CONTRACTOR TO PROVIDE AND MAINTAIN EROSION PROTECTION AND SEDIMENT CONTROL DURING ALL PHASES OF CONSTRUCTION. FIELD MODIFICATIONS MAY BE NECESSARY TO THE EROSION AND SEDIMENT CONTROL.

BE ADVISED: A SUB-SURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE SYSTEM AND/OR OUTLET IF LOCATED ON THIS PROPERTY MUST BE MAINTAINED AT ALL TIMES.

NOT ALL EASEMENTS MAY BE SHOWN. A TITLE COMMITMENT REPORT IS RECOMMENDED FOR REVIEW PRIOR TO CONSTRUCTION BUT WAS NOT PROVIDED.

### SURVEY REQUEST:

Performed at the request of:  
TSCHOFEN-SCHUMACHER HOMES

### CERTIFICATION:

I hereby certify that the foregoing PLOT PLAN was prepared from information provided by the Client and obtained from Engineered Subdivision Plans. This Plot Plan is to be used by the Client for the sole purpose of obtaining a building permit. The use of this Plot Plan for any other purpose is strictly prohibited.

UNDERGROUND UTILITIES

Two Working Days BEFORE YOU DIG

Call 800-362-2764 (Toll Free) OHIO UTILITIES PROTECTION SERVICE

NON-MEMBERS MUST BE CALLED DIRECTLY

10/4/2017

OHIO REGISTERED SURVEYOR NO. 7799

DATE

PLOT PLAN

155 W DUBLIN-GRANVILLE RD



Korda/Nemeth Engineering, Inc - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 FAX 614-487-8981 WEB www.korda.com

DATE	JOB#
Oct. 4 2017	2017-7072
REVISED	DRAWN
	ndv
DWG.	CHK'D.
	twm



NORTH

# NEW IN 2017

## MORE ON-TREND COLORS HOMEOWNERS WILL LOVE

Enjoy our new array of rich, beautiful colors. From fresh neutrals to dark classics, Variform® products have the perfect hue for every home.

CITY OF WORTHINGTON  
DRAWING NO. AR 97-18  
DATE 10/12/18

**SIDING** New colors available now.

**VORTEX EXTREME** in Double 4" Traditional Lap and Double 4.5" Dutchlap  
**GARDEN POINTE** in Double 4" Traditional Lap and Double 4" Dutchlap  
**HERITAGE CEDAR** in Double 7" Perfection Shingle and Corner Post

SCENIC SCAPES COLORS



**ASHTON HEIGHTS**  
and **CONTRACTOR'S CHOICE**  
in all profiles

DARK COLORS



**TRIVENT SOFFIT** Expanded color offering available now.

Triple 3-1/3" Solid and Hidden Vent



▶ **CONTACT YOUR VARIFORM  
BY PLY GEM TERRITORY  
SALES MANGER**

NEW 24" EMBOSSED WOODGRAIN TRIM COIL

BLACK	DARK BRONZE	ISLAND PEARL	MUSKET BROWN	NATURAL ALMOND	SANDY TAN
STONE CLAY	TERRATONE	WHITE	CITY OF WORTHINGTON		
			DRAWING NO. AR 97-18		
			DATE 10/12/18		

DURAPRO™ TRIM COIL

BLACK	MUSKET BROWN
NATURAL ALMOND	ROYAL BROWN
SANDY TAN	STONE MOUNTAIN CLAY
WINDOW WHITE	

SHUTTERS & ACCENTS

SHUTTERS

COASTAL BLUE	SAND DOLLAR
--------------	-------------

MOUNTS, BLOCKS & VENTS

ANTIQUE CINNABAR	CENTURY BROWNSTONE	DEEP BRUNSWICK
OLD DUBLIN	ROYAL BARK	ROYAL COCOA
ROYAL IRONSTONE	ROYAL WEDGEWOOD	URBAN IRON

RAINWARE

7" RAINWARE Gutter Coil, Strip Miters, End Caps, Downspouts, A Elbows, B Elbows

4" ROUND RAINWARE Downspouts, Elbows, Offsets

BLACK	CLASSIC CREAM	ISLAND PEARL
NATURAL ALMOND	SANDTONE	SANDY TAN
STONE MOUNTAIN CLAY	TEAK	80 GLOSS WHITE



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Basic Samples Shown -  
Pewter Shingles &  
Traditional Lap Siding  
Proposed



CITY OF WORTHINGTON  
DRAWING NO. AR 97-18  
DATE 10/12/18



# INTRODUCING HERITAGE CEDAR®

Triple 5" Perfection Shingle

Proposed in White

CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18



**THE PLY GEM PROMISE:** Variform products are backed by Ply Gem — a 75-year leader in pioneering performance home exteriors, with a superior warranty for exactly the home you want for decades to come.



HERITAGE CEDAR® TRIPLE 5™



**PERFECTION HAS ARRIVED**

And it comes in a beautiful new profile – Triple 5™ Perfection Shingle. Rich with realistic textures and natural charm, this panel can be used on an entire home or as accent to key architectural elements. Its random gaps and grooves, deep shadow lines and stunning cedar textures will easily capture attention without requiring it.

**PERFORMANCE**

- Nominal .090" thickness for superior durability and dent resistance
- Withstands winds up to 230 MPH\*
- Exclusive continuous snap-in locking system runs entire length of panel to provide double the support of "tab-type" systems
- Lapping gauge helps ensure perfect panel-to-panel alignment and lapping regardless of temperature extremes during the installation process
- Double-thick, fully-integrated nail hem provides greater stability and stronger anchoring surface to achieve maximum wind resistance
- Slide-in system makes side-to-side locking virtually error-proof for the most secure installation

**STYLE**

- Random shingle pattern creates the look of individual real cedar shingles
- Realistic woodgrain texture on all exposed surfaces (including areas between shingles and shingle ends) provides an authentic shingle appearance
- Beautiful seamless application that includes coordinating corner posts

**PEACE OF MIND**

- Virtually maintenance free
- Limited Lifetime Transferable Warranty



\* Tested in accordance with ASTM D5206. Wind speed rating will vary depending on specific code, region and construction method. Refer to local building codes for detailed requirements concerning allowable wind loads and specific conversion tables for actual wind speed.  
 † Not available in Triple 5™

CITY OF WORTHINGTON  
 DRAWING NO. AR 97-18  
 DATE 10/12/18

AUTUMN BEIGE

CLASSIC CREAM

DELRAY SAND

DOVER WHITE

GEORGIAN GRAY

ISLAND PEARL

NATURAL ALMOND

SANDTONE

SANDY TAN

SAVANNAH BLUE

SILVER MIST

SPANISH OLIVE

STANDARD COLORS

FLINT

HAZELNUT

IRISH THISTLE†

STONE MOUNTAIN CLAY

DARK COLORS

BAYOU

BRIARWOOD

MEDITERRANEAN PALM

PEWTER

SAGEBROOK

SEDONA RED

TEAK

TWILIGHT SHADOW

WEDGEWOOD

SCENIC SCAPES® Color Collection

CEDAR Colors  
 CABIN CEDAR

COTTAGE GRAY



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Visit [variform.com](http://variform.com) to design your dream home.

Ply Gem



CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18

# LANDMARK<sup>®</sup> SERIES

Luxury & Designer  
Roofing Shingles



*Landmark, shown in Weathered Wood*

**CertainTeed**  
SAINT-GOBAIN

CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18



# Trust Your Home to Landmark®

Our Landmark Series starts with trust at the foundation. We engineer each shingle to make it the heaviest in its class, back it with our 100+ year legacy of proven performance, and deliver it with the industry's best lifetime limited warranty.

## EXCEPTIONAL QUALITY

In addition to offering a flexible range of architectural design options, Landmark Series shingles are certified as meeting the highest quality standards for roofing to provide your home with exceptional performance and protection.

## LASTING BEAUTY

Within the Landmark Series, you get the authentic appeal of wood shake roofing combined with the flexibility of the industry's largest collection of colors. And they come with our exclusive StreakFighter® warranty, protecting your roof from streaking caused by airborne algae.

## PEACE OF MIND

CertainTeed's asphalt shingle warranty is an industry-best. Our enhanced lifetime limited warranty protects against ANY manufacturing defect, including aesthetic defects.

*Landmark shown in Atlantic Blue*



# The Trusted Classic

LANDMARK<sup>®</sup>

Owning a Landmark roof brings peace of mind. Landmark's heavy weight and exceptional reliability make it a 'Best Buy' by a leading Consumer Magazine.



- Dual-layered for extra dimensionality and protection from the elements
- Offers the widest array of colors in the industry
- Independently certified as meeting the highest quality standards for roofing

## LANDMARK COLOR PALETTE



See page 11 for specifications and warranty details.

# Strength with Style

## LANDMARK® PREMIUM

- Dual-layer, high performance
- 300 lbs. per square
- Max Def color palette
- Industry-best lifetime limited warranty

## LANDMARK® PRO

- Dual-layer, high performance
- 250 lbs. per square
- Max Def color palette
- Industry-best lifetime limited warranty

## LANDMARK®

- Dual-layer durability
- 240 lbs. per square
- Industry-best lifetime limited warranty



## LANDMARK PREMIUM

### SPECIFICATIONS

- Two-piece laminated fiberglass-based construction
- Classic shades and dimensional appearance of natural wood or slate
- 300 lbs. per square

*For U.S. building code compliance, see product specification sheets.*

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

#### Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

#### Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

#### Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

#### Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance: Please reference [www.certainteed.com](http://www.certainteed.com) to determine approved products by manufacturing location.

#### Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

### WARRANTY

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications
- 15-year StreakFighter® algae-resistance warranty 
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required

*See actual warranty for specific details and limitations.*



## LANDMARK PRO

### SPECIFICATIONS

- Two-piece laminated fiberglass-based construction
- Classic shades and dimensional appearance of natural wood or slate
- 250 lbs. per square

*For U.S. building code compliance, see product specification sheets.*

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

#### Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

#### Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

#### Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

#### Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance: Please reference [www.certainteed.com](http://www.certainteed.com) to determine approved products by manufacturing location.

#### Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

### WARRANTY

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications
- 15-year StreakFighter® algae-resistance warranty 
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required

*See actual warranty for specific details and limitations.*



## LANDMARK

### SPECIFICATIONS

- Two-piece laminated fiberglass-based construction
- Classic shades and dimensional appearance of natural wood or slate
- 240 lbs. per square

*For U.S. building code compliance, see product specification sheets.*

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

#### Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

#### Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

#### Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

#### Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance: Please reference [www.certainteed.com](http://www.certainteed.com) to determine approved products by manufacturing location.

#### Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

*Landmark Silver Birch is an ENERGY STAR rated product and may qualify for a federal tax credit.*

### WARRANTY

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 10-year StreakFighter® algae-resistance warranty 
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required

*See actual warranty for specific details and limitations.*



## Add a Little Accent to Your Roof

The visually impactful choice for capping the hips and ridges of your roof, CertainTeed's Cedar Crest® accessory shingles will complement or match any shingle in the Landmark Series. For a low-profile hip and ridge look, CertainTeed also offers Shadow Ridge® accessory shingles.

## Integrity Roof System™

Integrity is built from the bottom up. Layer-on-layer, only CertainTeed provides the peace of mind that comes with the best components performing together for peak efficiency.



1. **Waterproof Underlayment**  
Waterproofing shingle underlayment prevents leaks from wind-driven rain and ice dams
2. **Water-Resistant Underlayment**  
High-performance underlayment provides a water-resistant layer over the roof deck and a secondary barrier against leaks
3. **Starter Shingles**  
Perfect starts every time and designed to work in tandem with the roof shingles above
4. **Roof Shingles**  
Choose the best, covered by the strongest warranty in the business
5. **Hip & Ridge Caps**  
Perfect finish for hip and ridge lines, complementing all CertainTeed shingles
6. **Roof Ventilation**  
Engineered for ideal roof ventilation especially when matched with CertainTeed Intake Vents

## Color Companion Products™ for Flat Roof Areas

With CertainTeed Flintlastic® SA, you can coordinate flat roof areas like carports, canopies and porches with your main roof. Flintlastic SA is a self-adhering low slope roofing product available in eight colors that complement some of the most popular CertainTeed shingles.





Landmark Pro, shown in Max. Def. Moist. Black

# Trust Your Home to Landmark®

LANDMARK®



High-Quality,  
Reliable Choice



Industry-Best  
Warranty



Century of **Trusted**  
Performance



PEACE OF MIND



# RESIDENTIAL ROOFING

The best formula under one roof.

We start with the highest-quality raw materials and add state-of-the-art technology to monitor our manufacturing process and test our finished products. The result is superior performance from beginning to end.



CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18

Landmark® Series  
available in areas shown



*NOTE: Due to limitations of printing reproduction, CertainTeed can not guarantee the identical match of the actual product color to the graphic representations throughout this publication.*

learn more at: [certainteed.com/roofing](http://certainteed.com/roofing)



**CertainTeed Corporation**

ROOFING • SIDING • TRIM • DECKING • RAILING • FENCE • GYPSUM • CEILINGS • INSULATION

20 Moores Road Malvern, PA 19355 Professional: 800-233-8990 Consumer: 800-782-8777 [certainteed.com](http://certainteed.com)

# TILT-WASH DOUBLE-HUNG WINDOWS



200 Series  
Tilt-Wash  
Double-Hung Windows

CITY OF WORTHINGTON  
DRAWING NO. AR 97-18  
DATE 10/12/18

## SECTION REFERENCE

Tables of Sizes .....	223-224
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Grille Patterns .....	225
Window Details .....	226
Joining Details.....	226
Combination Designs .....	255
Product Performance.....	269
Warranty.....	290-291

# TILT-WASH DOUBLE-HUNG WINDOWS

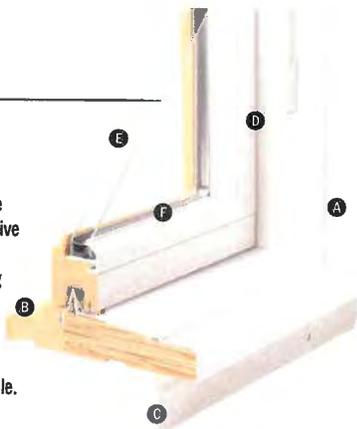
## FEATURES

### Frame

- A** Exterior outer frame members are treated with water-repellent preservative and covered with a rigid vinyl cover, minimizing maintenance and providing an attractive appearance.
- B** Interior surfaces are unfinished pine. Low-maintenance prefinished White interiors are available.
- C** Full-perimeter installation flange makes installation easy and fast with little or no adjustment. It's fixed, seamless and integrated with the exterior frame.
- D** Flexible weatherstripping around all four sides is factory-installed and provides a tight seal between the sash and frame.

### Glass

- E** Choose Low-E, Low-E HeatLock<sup>®</sup>, Low-E SmartSun<sup>™</sup>, Low-E SmartSun HeatLock or dual-pane glass. Tempered glass and other glass options are available. Contact your Andersen supplier. A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.
- F** A rigid vinyl glazing bead, combined with high-grade silicone glazing bed, keeps the glass bonded firmly to the sash and helps minimize water and air infiltration.



### Sash

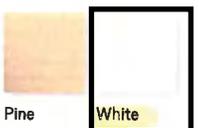


A convenient tilt-wash design makes it easy to clean the window from the inside. An in-sash balancer minimizes the view of the jamb liner, maximizing the amount of wood in the frame. Window can be secured through the side jambs to stud walls without hitting balancer.

## EXTERIOR



## INTERIOR



Naturally occurring variations in grain, color and texture of wood make each window one-of-a-kind. All wood interiors are unfinished unless prefinished White is specified. Oil rubbed bronze is a "living" finish that will change with time and use.

## HARDWARE FINISHES



## DOUBLE-HUNG HARDWARE OPTIONS

### LOCK & KEEPER



Antique Brass | Black | Bright Brass  
Gold Dust | Oil Rubbed Bronze  
Satin Nickel | **Stone** | White

### CLASSIC SERIES<sup>™</sup> LIFT<sup>™</sup>



Stone | **White**

*Bold name denotes finish shown.*

CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18

## ACCESSORIES Sold Separately

### Frame

#### Extension Jambs

Standard jamb depth is 3 1/4" (83). Extension jambs are available in unfinished pine or prefinished White. Some sizes may be veneered.

Factory-applied and non-applied extension jambs are available in 1/8" (1.5) increments between 4 3/8" (114) and 7 1/8" (181). Extension jambs can be factory-applied to either three sides (stool and apron) or four sides (picture frame casing).

#### Drywall Return

The 200 Series double-hung window is available with a narrow 3" (76) jamb depth with a flat interior surface for easy drywall return. Available in pine or prefinished White.

#### Two-Tone Option

200 Series tilt-wash double-hung windows are available with a two-tone color configuration, featuring a prefinished White interior and a Sandtone exterior. Some exterior components are visible from the interior. Corresponding picture and transom units, as well as grilles, are available to match.

#### Window Opening Control Device



A new recessed window opening control device is available factory-applied. It limits the sash travel to 4" (102) when the window is first opened. Available in Stone and White.

#### Security Sensors

##### Open/Closed Sensors

Wireless open/closed sensors are available in four colors. See page 30 for details.

### Insect Screens

#### Insect Screen Frames



Choose full insect screen or half insect screen. Half insect screen (shown above) allows ventilation without affecting the view from the upper sash. Frames are available in colors to match product exteriors.

#### TruScene<sup>®</sup> Insect Screen

Exclusive Andersen<sup>®</sup> TruScene<sup>®</sup> insect screens provide over 50% more clarity than our conventional insect screens for a beautiful unobstructed view. They allow more fresh air and sunlight in, while doing a better job of keeping out small insects.

#### Conventional Insect Screen

Conventional insect screens have a long-lasting<sup>®</sup> fiberglass screen mesh with a charcoal finish.

#### Exterior Trim

This product is available with Andersen<sup>®</sup> Exterior Trim. See pages 215-220 for details.

#### CAUTION:

- Painting and staining may cause damage to rigid vinyl.
- Do not paint 200 Series windows with White exteriors.
- Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces.
- 200 Series windows in Sandtone color may be painted any color lighter than Sandtone color using quality oil-base or latex paint.
- For vinyl painting instructions and preparation, contact your Andersen supplier.
- Do not paint weatherstripping.
- Creosote-based stains should not come in contact with Andersen products.
- Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

For more information about glass, grilles and TruScene<sup>®</sup> insect screen see pages 10-16.

For more information about combination designs, product performance, installation accessories and warranty see pages 255-291 or visit

 [andersenwindows.com](http://andersenwindows.com)

\* Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*\* Hardware sold separately.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact duplication of colors and finishes. See your Andersen supplier for actual color and finish samples.

**Table of Tilt-Wash Transom and Double-Hung Window Sizes**  
Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-7 1/2" (495)	1'-11 1/2" (597)	2'-3 1/2" (699)	2'-7 1/2" (800)	2'-11 1/2" (902)	3'-3 1/2" (1003)
<b>Minimum Rough Opening</b>	1'-8" (508)	2'-0" (610)	2'-4" (711)	2'-8" (813)	3'-0" (914)	3'-4" (1016)
<b>Unobstructed Glass (lower sash only)</b>	13 1/2" (343)	17 1/2" (445)	21 1/2" (546)	25 1/2" (648)	29 1/2" (749)	33 1/2" (851)
See Half Circle chart						
	244CT18	244CT20	244CT24	244CT28	244CT30	244CT34
11 1/2" (292)						
	244FX1810	244FX2010	244FX2410	244FX2810	244FX3010	244FX3410
1'-5 1/2" (445)						
	244FX1816	244FX2016	244FX2416	244FX2816	244FX3016	244FX3416
1'-11 1/2" (597)						
	244FX1820	244FX2020	244FX2420	244FX2820	244FX3020	244FX3420
2'-11 1/2" (902)						
	244DH1830	244DH2030	244DH2430	244DH2830	244DH3030	244DH3430
3'-5 1/2" (1054)						
	244DH1836	244DH2036	244DH2436	244DH2836	244DH3036	244DH3436
3'-11 1/2" (1207)						
	244DH1840	244DH2040	244DH2440	244DH2840	244DH3040	244DH3440
4'-5 1/2" (1359)						
	244DH1846	244DH2046	244DH2446	244DH2846	244DH3046	244DH3446
4'-8 1/2" (1435)						
	244DH1849	244DH2049	244DH2449	244DH2849	244DH3049 <sup>o</sup>	244DH3449 <sup>o</sup>
4'-11 1/2" (1511)						
	244DH1850	244DH2050	244DH2450	244DH2850	244DH3050 <sup>o</sup>	244DH3450 <sup>o</sup>
5'-5 1/2" (1664)						
	244DH1856	244DH2056	244DH2456	244DH2856 <sup>o</sup>	244DH3056 <sup>o</sup>	244DH3456 <sup>o</sup>
5'-11 1/2" (1816)						
	244DH1860	244DH2060	244DH2460	244DH2860 <sup>o</sup>	244DH3060 <sup>o</sup>	244DH3460 <sup>o</sup>

**Table of Tilt-Wash Half Circle Window Sizes**  
Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-7 1/2" (495)	1'-11 1/2" (597)
<b>Minimum Rough Opening</b>	1'-8" (508)	2'-0" (610)
<b>Unobstructed Glass</b>	13 1/2" (343)	17 1/2" (445)
1'-0 5/8" (321)		
	244CT18	244CT20
1'-1 1/8" (333)		
	244CT18	244CT20
1'-2 5/8" (371)		
	244CT18	244CT20
1'-3 1/8" (384)		
	244CT18	244CT20
1'-4 5/8" (422)		
	244CT18	244CT20
1'-5 1/8" (435)		
	244CT18	244CT20
1'-6 5/8" (473)		
	244CT18	244CT20
1'-7 1/8" (486)		
	244CT18	244CT20
1'-8 5/8" (524)		
	244CT18	244CT20
1'-9 1/8" (537)		
	244CT18	244CT20
1'-10 5/8" (575)		
	244CT18	244CT20
1'-11 1/8" (587)		
	244CT18	244CT20
1'-12 5/8" (625)		
	244CT18	244CT20
1'-13 1/8" (638)		
	244CT18	244CT20
1'-14 5/8" (676)		
	244CT18	244CT20
1'-15 1/8" (689)		
	244CT18	244CT20
1'-16 5/8" (727)		
	244CT18	244CT20
1'-17 1/8" (740)		
	244CT18	244CT20
1'-18 5/8" (778)		
	244CT18	244CT20
1'-19 1/8" (791)		
	244CT18	244CT20
1'-20 5/8" (829)		
	244CT18	244CT20
1'-21 1/8" (842)		
	244CT18	244CT20
1'-22 5/8" (880)		
	244CT18	244CT20
1'-23 1/8" (893)		
	244CT18	244CT20
1'-24 5/8" (931)		
	244CT18	244CT20
1'-25 1/8" (944)		
	244CT18	244CT20

Grille patterns shown on page 225.

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\* "Window Dimension" always refers to outside frame to frame dimension.  
 \* "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 288-289 for more details.  
 \* Dimensions in parentheses are in millimeters.  
<sup>o</sup> Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m<sup>2</sup>, clear opening width of 20" (508) and clear opening height of 24" (610). See table on page 225.

# TILT-WASH DOUBLE-HUNG WINDOWS

**Table of Tilt-Wash Picture Window Sizes**  
Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	2'-11 1/2"	3'-11 1/2"	4'-5 1/2"	4'-8 1/2"	4'-11 1/2"	5'-5 1/2"	5'-11 1/2"
<b>Minimum Rough Opening</b>	3'-0" (914)	4'-0" (1219)	4'-6" (1372)	4'-9" (1448)	5'-0" (1524)	5'-6" (1676)	6'-0" (1829)
<b>Unobstructed Glass</b>	29 1/2" (749)	41 1/2" (1054)	47 1/2" (1207)	50 1/2" (1283)	53 1/2" (1359)	59 1/2" (1511)	65 1/2" (1664)
2'-11 1/2"							
3'-11 1/2"							
4'-5 1/2"							
4'-8 1/2"							
4'-11 1/2"							
5'-5 1/2"							
5'-11 1/2"							

Grille patterns shown on page 225.

- "Window Dimension" always refers to outside frame to frame dimension.
- "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 288-289 for more details.
- Dimensions in parentheses are in millimeters.

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## Tilt-Wash Picture Window Area Specifications

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
244FX3030	6.04 (0.56)	8.75 (0.81)
244FX3040	8.50 (0.79)	11.71 (1.09)
244FX3046	9.73 (0.90)	13.19 (1.23)
244FX3049	10.35 (0.96)	13.93 (1.29)
244FX3050	10.96 (1.02)	14.67 (1.36)
244FX3056	12.19 (1.13)	16.15 (1.50)
244FX3060	13.42 (1.25)	17.83 (1.64)
244FX4030	8.50 (0.79)	11.71 (1.09)
244FX4040	11.96 (1.11)	15.67 (1.46)
244FX4046	13.69 (1.27)	17.65 (1.64)
244FX4049	14.55 (1.35)	18.64 (1.73)
244FX4050	15.42 (1.43)	19.63 (1.82)
244FX4056	17.15 (1.59)	21.61 (2.01)
244FX4060	18.88 (1.75)	23.59 (2.19)
244FX4630	9.73 (0.90)	13.19 (1.23)

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
244FX4640	13.69 (1.27)	17.65 (1.64)
244FX4646	15.67 (1.46)	19.88 (1.85)
244FX4649	16.66 (1.55)	21.00 (1.95)
244FX4650	17.65 (1.64)	22.11 (2.05)
244FX4656	19.63 (1.82)	24.34 (2.26)
244FX4660	21.61 (2.01)	26.56 (2.47)
244FX4930	10.35 (0.96)	13.93 (1.29)
244FX4940	14.55 (1.35)	18.64 (1.73)
244FX4946	16.66 (1.55)	21.00 (1.95)
244FX4949	17.71 (1.65)	22.17 (2.06)
244FX4950	18.76 (1.74)	23.35 (2.17)
244FX4956	20.87 (1.94)	25.70 (2.39)
244FX4960	22.97 (2.13)	28.05 (2.61)
244FX5030	10.96 (1.02)	14.67 (1.36)
244FX5040	15.42 (1.43)	19.63 (1.82)

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
244FX5046	17.65 (1.64)	22.11 (2.05)
244FX5049	18.76 (1.74)	23.35 (2.17)
244FX5050	19.88 (1.85)	24.59 (2.28)
244FX5056	22.11 (2.05)	27.06 (2.51)
244FX5060	24.34 (2.26)	29.54 (2.75)
244FX5630	12.19 (1.13)	16.15 (1.50)
244FX5640	17.15 (1.59)	21.61 (2.01)
244FX5646	19.63 (1.82)	24.34 (2.26)
244FX5649	20.87 (1.94)	25.70 (2.39)
244FX5650	22.11 (2.05)	27.06 (2.51)
244FX6030	13.42 (1.25)	17.83 (1.64)
244FX6040	18.88 (1.75)	23.59 (2.19)
244FX6046	21.61 (2.01)	26.56 (2.47)
244FX6049	22.97 (2.13)	28.05 (2.61)
244FX6050	24.34 (2.26)	29.54 (2.75)

• Dimensions in parentheses are in square meters.

### Tilt-Wash Double-Hung Window Opening and Area Specifications

Window Number	Clear Opening Area Sq. Ft./ (m <sup>2</sup> )	Clear Opening In Full Open Position				Glass Area Sq. Ft./ (m <sup>2</sup> )	Vent Area Sq. Ft./ (m <sup>2</sup> )	Top of Subfloor to Top of Inside Sill Stop Inches/(mm)	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
		Width Inches/(mm)	Height Inches/(mm)						
244DH1830	1.72 (0.16)	16.56" (421)	14.95" (380)	2.56 (0.24)	1.72 (0.16)	48.56* (1233)	4.81 (0.45)		
244DH1836	2.06 (0.19)	16.56" (421)	17.95" (456)	3.12 (0.29)	2.06 (0.19)	42.56* (1081)	5.62 (0.52)		
244DH1840	2.41 (0.22)	16.56" (421)	20.95" (532)	3.69 (0.34)	2.41 (0.22)	36.56* (929)	6.43 (0.60)		
244DH1846	2.75 (0.26)	16.56" (421)	23.95" (608)	4.25 (0.40)	2.75 (0.26)	30.56* (776)	7.24 (0.67)		
244DH1849	2.93 (0.27)	16.56" (421)	25.45" (647)	4.53 (0.42)	2.93 (0.27)	27.56* (700)	7.65 (0.71)		
244DH1850	3.10 (0.29)	16.56" (421)	26.95" (685)	4.81 (0.45)	3.10 (0.29)	24.56* (624)	8.06 (0.75)		
244DH1856	3.44 (0.32)	16.56" (421)	29.95" (761)	5.37 (0.45)	3.44 (0.32)	18.56* (471)	8.87 (0.82)		
244DH1860	3.79 (0.35)	16.56" (421)	32.95" (837)	5.94 (0.55)	3.79 (0.35)	12.56* (319)	9.68 (0.90)		
244DH2030	2.14 (0.20)	20.56" (522)	14.95" (380)	3.32 (0.31)	2.14 (0.20)	48.56* (1233)	5.79 (0.54)		
244DH2036	2.56 (0.24)	20.56" (522)	17.95" (456)	4.05 (0.38)	2.56 (0.24)	42.56* (1081)	6.77 (0.63)		
244DH2040	2.99 (0.28)	20.56" (522)	20.95" (532)	4.78 (0.44)	2.99 (0.28)	36.56* (929)	7.75 (0.72)		
244DH2046	3.42 (0.32)	20.56" (522)	23.95" (608)	5.51 (0.51)	3.42 (0.32)	30.56* (776)	8.73 (0.81)		
244DH2049	3.63 (0.34)	20.56" (522)	25.45" (647)	5.88 (0.55)	3.63 (0.34)	27.56* (700)	9.22 (0.86)		
244DH2050	3.85 (0.36)	20.56" (522)	26.95" (685)	6.24 (0.58)	3.85 (0.36)	24.56* (624)	9.71 (0.90)		
244DH2056	4.28 (0.40)	20.56" (522)	29.95" (761)	6.97 (0.65)	4.28 (0.40)	18.56* (471)	10.69 (0.99)		
244DH2060	4.71 (0.44)	20.56" (522)	32.95" (837)	7.70 (0.72)	4.71 (0.44)	12.56* (319)	11.67 (1.08)		
244DH2430	2.55 (0.24)	24.56" (624)	14.95" (380)	4.08 (0.38)	2.55 (0.24)	48.56* (1233)	6.78 (0.63)		
244DH2436	3.06 (0.28)	24.56" (624)	17.95" (456)	4.98 (0.46)	3.06 (0.28)	42.56* (1081)	7.93 (0.74)		
244DH2440	3.57 (0.33)	24.56" (624)	20.95" (532)	5.88 (0.55)	3.57 (0.33)	36.56* (929)	9.07 (0.84)		
244DH2446	4.09 (0.38)	24.56" (624)	23.95" (608)	6.77 (0.63)	4.09 (0.38)	30.56* (776)	10.22 (0.95)		
244DH2449	4.34 (0.40)	24.56" (624)	25.45" (647)	7.22 (0.67)	4.34 (0.40)	27.56* (700)	10.79 (1.00)		
244DH2450	4.60 (0.43)	24.56" (624)	26.95" (685)	7.67 (0.71)	4.60 (0.43)	24.56* (624)	11.36 (1.06)		
244DH2456	5.11 (0.48)	24.56" (624)	29.95" (761)	8.56 (0.80)	5.11 (0.48)	18.56* (471)	12.51 (1.16)		
244DH2460	5.62 (0.52)	24.56" (624)	32.95" (837)	9.46 (0.88)	5.62 (0.52)	12.56* (319)	13.65 (1.27)		
244DH2830	2.97 (0.28)	28.56" (725)	14.95" (380)	4.84 (0.45)	2.97 (0.28)	48.56* (1233)	7.77 (0.72)		
244DH2836	3.56 (0.33)	28.56" (725)	17.95" (456)	5.91 (0.55)	3.56 (0.33)	42.56* (1081)	9.08 (0.91)		
244DH2840	4.16 (0.39)	28.56" (725)	20.95" (532)	6.97 (0.65)	4.16 (0.39)	36.56* (929)	10.39 (0.97)		
244DH2846	4.75 (0.44)	28.56" (725)	23.95" (608)	8.03 (0.75)	4.75 (0.44)	30.56* (776)	11.70 (1.09)		
244DH2849	5.05 (0.47)	28.56" (725)	25.45" (647)	8.56 (0.80)	5.05 (0.47)	27.56* (700)	12.36 (1.15)		
244DH2850	5.35 (0.50)	28.56" (725)	26.95" (685)	9.09 (0.84)	5.35 (0.50)	24.56* (624)	13.02 (1.21)		
244DH2856 ◊	5.94 (0.55)	28.56" (725)	29.95" (761)	10.16 (0.94)	5.94 (0.55)	18.56* (471)	14.33 (1.33)		
244DH2860 ◊	6.54 (0.61)	28.56" (725)	32.95" (837)	11.22 (1.04)	6.54 (0.61)	12.56* (319)	15.64 (1.45)		
244DH3030	3.38 (0.31)	32.56" (827)	14.95" (380)	5.60 (0.52)	3.38 (0.31)	48.56* (1233)	8.75 (0.81)		
244DH3036	4.06 (0.38)	32.56" (827)	17.95" (456)	6.83 (0.64)	4.06 (0.38)	42.56* (1081)	10.23 (0.95)		
244DH3040	4.74 (0.44)	32.56" (827)	20.95" (532)	8.06 (0.75)	4.74 (0.44)	36.56* (929)	11.71 (1.09)		
244DH3046	5.42 (0.50)	32.56" (827)	23.95" (608)	9.29 (0.86)	5.42 (0.50)	30.56* (776)	13.19 (1.23)		
244DH3049 ◊	5.76 (0.54)	32.56" (827)	25.45" (647)	9.91 (0.92)	5.76 (0.54)	27.56* (700)	13.93 (1.29)		
244DH3050 ◊	6.09 (0.57)	32.56" (827)	26.95" (685)	10.52 (0.98)	6.09 (0.57)	24.56* (624)	14.67 (1.36)		
244DH3056 ◊	6.77 (0.63)	32.56" (827)	29.95" (761)	11.75 (1.09)	6.77 (0.63)	18.56* (471)	16.15 (1.50)		
244DH3060 ◊	7.45 (0.69)	32.56" (827)	32.95" (837)	12.98 (1.21)	7.45 (0.69)	12.56* (319)	17.63 (1.64)		
244DH3430	3.80 (0.35)	36.56" (929)	14.95" (380)	6.36 (0.59)	3.80 (0.35)	48.56* (1233)	9.74 (0.91)		
244DH3436	4.56 (0.42)	36.56" (929)	17.95" (456)	7.76 (0.72)	4.56 (0.42)	42.56* (1081)	11.38 (1.06)		
244DH3440	5.32 (0.49)	36.56" (929)	20.95" (532)	9.16 (0.85)	5.32 (0.49)	36.56* (929)	13.03 (1.21)		
244DH3446	6.08 (0.57)	36.56" (929)	23.95" (608)	10.55 (0.98)	6.08 (0.57)	30.56* (776)	14.68 (1.36)		
244DH3449 ◊	6.46 (0.60)	36.56" (929)	25.45" (647)	11.25 (1.05)	6.46 (0.60)	27.56* (700)	15.50 (1.44)		
244DH3450 ◊	6.84 (0.64)	36.56" (929)	26.95" (685)	11.95 (1.11)	6.84 (0.64)	24.56* (624)	16.32 (1.52)		
244DH3456 ◊	7.61 (0.71)	36.56" (929)	29.95" (761)	13.34 (1.24)	7.61 (0.71)	18.56* (471)	17.97 (1.67)		
244DH3460 ◊	8.37 (0.78)	36.56" (929)	32.95" (837)	14.74 (1.37)	8.37 (0.78)	12.56* (319)	19.61 (1.82)		

### Tilt-Wash Transom Window Specifications

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
244FX1810	0.52 (0.05)	1.56 (0.15)
244FX1816	1.08 (0.10)	2.37 (0.22)
244FX1820	1.64 (0.15)	3.18 (0.30)
244FX2010	0.67 (0.06)	1.88 (0.17)
244FX2016	1.40 (0.13)	2.86 (0.27)
244FX2020	2.13 (0.20)	3.84 (0.36)
244FX2410	0.82 (0.08)	2.20 (0.20)
244FX2416	1.72 (0.16)	3.34 (0.31)
244FX2420	2.61 (0.24)	4.49 (0.42)
244FX2810	0.97 (0.09)	2.52 (0.23)
244FX2816	2.04 (0.19)	3.83 (0.36)
244FX2820	3.10 (0.29)	5.14 (0.48)
244FX3010	1.13 (0.11)	2.84 (0.26)
244FX3016	2.36 (0.22)	4.31 (0.40)
244FX3020	3.59 (0.33)	5.79 (0.54)
244FX3410	1.28 (0.12)	3.15 (0.29)
244FX3416	2.68 (0.25)	4.80 (0.45)
244FX3420	4.07 (0.38)	6.45 (0.60)

### Tilt-Wash Half Circle Area Specifications

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
244CT18	0.50 (0.05)	1.43 (0.13)
244CT20	0.84 (0.08)	1.98 (0.18)
244CT24	1.26 (0.12)	2.61 (0.24)
244CT28	1.77 (0.16)	3.33 (0.31)
244CT30	2.37 (0.22)	4.15 (0.39)
244CT34	3.06 (0.28)	5.04 (0.47)

◊ Dimensions in parentheses are in square meters.

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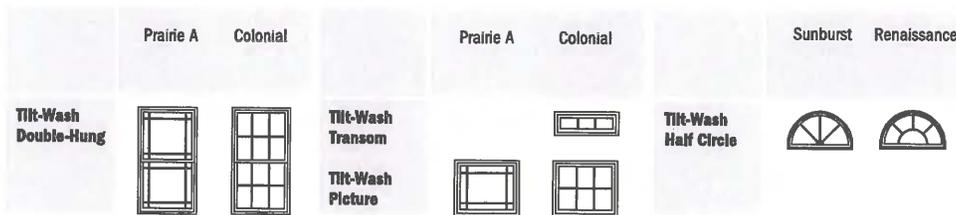
DATE 10/12/18

\* Top of Subfloor to Top of Inside Sill Stop\* is calculated based upon a structural header height of 6'-10 1/2" (2096).  
 \* Dimensions in parentheses are in millimeters or square meters.

◊ Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m<sup>2</sup>, clear opening width of 20" (508) and clear opening height of 24" (610).

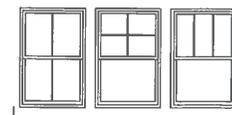
200 Series  
Tilt-Wash  
Double-Hung Windows

### Grille Patterns



Patterns are available for all units also in upper sash only (USO). Number of lights and overall pattern varies with window size. Patterns are not available in all configurations.

Specified equal light and custom patterns are also available. For more information on divided light, see page 11 or visit [andersenwindows.com/grilles](http://andersenwindows.com/grilles).



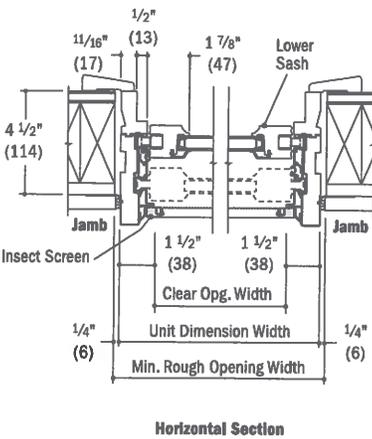
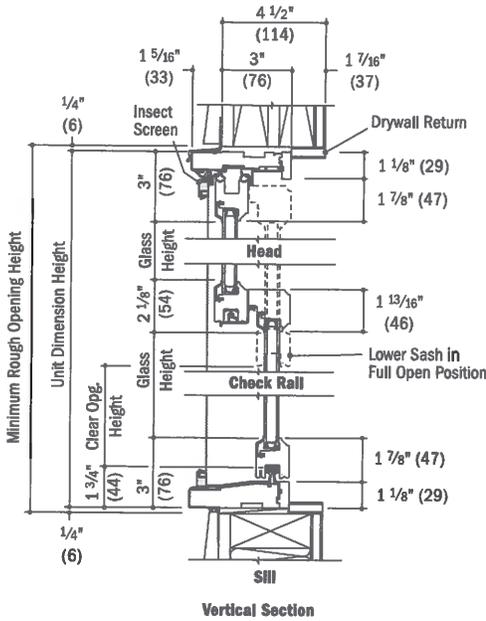
Specified Equal Light Examples

# TILT-WASH DOUBLE-HUNG WINDOWS

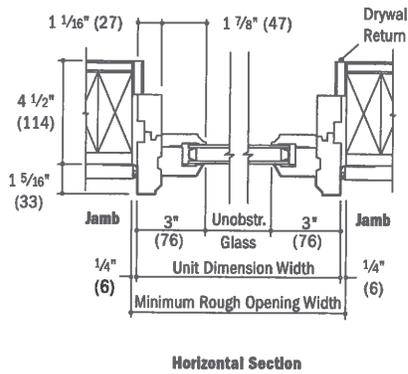
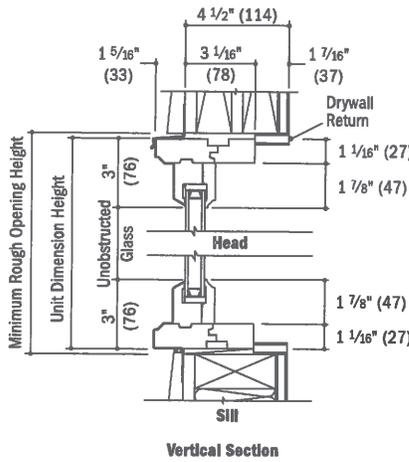
DRAWING NO. AR 97-18

DATE 10/12/18

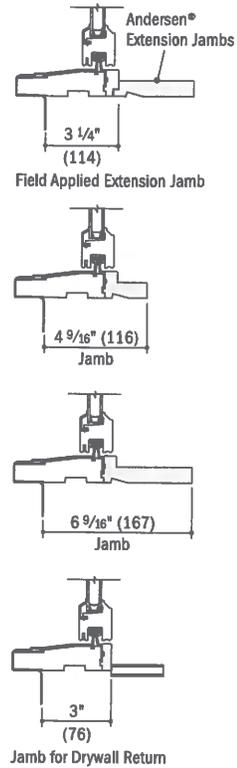
**Tilt-Wash Double-Hung Window Details**  
Scale 1 1/2" (38) = 1'-0" (305) - 1:8



**Tilt-Wash Picture/Transom Window Details**  
Scale 1 1/2" (38) = 1'-0" (305) - 1:8



**Extension Jamb Details**  
Scale 1 1/2" (38) = 1'-0" (305) - 1:8



**Vertical (ribbon) Joining Detail**  
Scale 1 1/2" (38) = 1'-0" (305) - 1:8

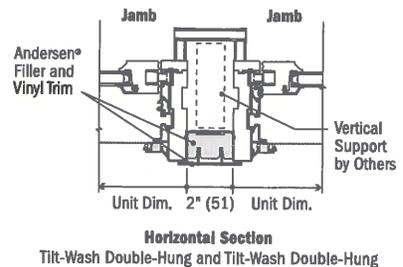
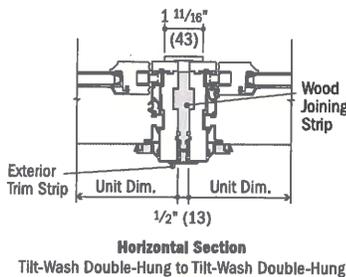
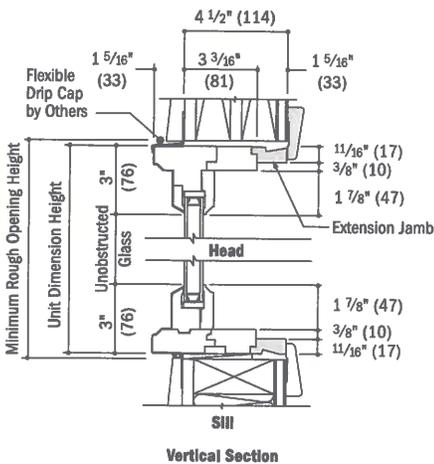
**Overall Window Dimension Width**  
Sum of individual window widths plus 1/2" (13) for each join.

**Overall Rough Opening Width**  
Overall window dimension width plus 1/2" (13).

**Separate Rough Openings Detail**  
Scale 1 1/2" (38) = 1'-0" (305) - 1:8

To meet structural requirements or to achieve a wider joined appearance, windows may be installed into separate rough openings having vertical support (by others) in combination with Andersen® exterior filler and exterior vinyl trim.

**Tilt-Wash Half Circle Window Detail**  
Scale 1 1/2" (38) = 1'-0" (305) - 1:8



For more joining information, see the combination designs section starting on page 255.

- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
- Rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See Installation Information on pages 288-289.
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
- Consult with an architect or structural engineer regarding minimum requirements for structural support members between adjacent rough openings.
- Dimensions in parentheses are in millimeters.

# Exterior Door Collections

AT A GLANCE

CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18

## AVANTGUARD FIBERGLASS



Black Walnut Cherry Spanish Cedar

## BARRINGTON FIBERGLASS



Mahogany\* Oak\*

## VISTAGRANDE FLUSH-GLAZED FIBERGLASS



Fir Smooth

- ▶ **AvantGuard** offers a superior appearance by taking a cutting-edge approach to door design. Rather than simply applying stain over a fiberglass facing, a high-quality image is applied over a protective primer layer for an authentic, long-lasting finish.

- ▶ Featuring superior woodgrain texture, distinct raised mouldings and wider glass, **Barrington** doors offer the ultimate in style and durability.

- ▶ \*More Barrington door options available, see page 12.

- ▶ **VistaGrande** Flush-Glazed doors offer a wider viewing area and cleaner appearance over traditional glass inserts. Stile and rail features provide an authentic wood door look.

Belleville smooth doors shown painted beige.

Masonite "Open to extraordinary." AvantGuard Barrington, Belleville, Cheyenne, Centennial 10, Centennial 15, Heritage Series, Fast-Frame, Flagstaff, Sta-Tru, Oakcraft, Sierra Hollister, Storm Guard, Masonite Expo, Masonite Classic, Masonite Iron, Masonite Linea, Masonite Textures, Masonite Essentia, Masonite Panels, Aston, Chelsea, Cruz, Cuzco, Dutchess, Element, Heartland, Focus, Frontier, Georgian, Iron Springs, Kordella, Madred, Marco, Marquise, Naples, Optimus, Panama, Pearl, Quill, Quattro, Rozet, Sierra, Sonnet, Tangiewood, Zavalla, Max, Max XPress Configurator and VistaGrande are trademarks of Masonite International Corporation. Please check with your Masonite dealer or distributor for current warranty terms and conditions. Our continuing program of product improvement makes specification, design and product detail subject to change without notice.

01/18 Printed in the USA © 2018 Masonite International Corporation



**BELLEVILLE. SMOOTH**

	<b>FLUSH</b>	<b>2P SQUARE</b>	<b>2P ROMAN</b>	<b>2P HOLLISTER</b>	<b>CHEYENNE, 2P PLANK</b>	<b>3P ARCH-TOP</b>	<b>4P BLANK-TOP</b>	
	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>	
<b>6'8"</b>	2'0", 2'6", 2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	
<b>7'0"</b>	2'0", 2'6", 2'8", 2'10", 3'0"							
<b>8'0"</b>	2'0", 2'6", 2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	2'8", 2'10", 3'0"			
<b>glass sizes</b>	120, 122, 300, 810	106, 404	106, 404	122, 304, 306, 404	106, 107, 404	304, 404	106, 107, 135, 137, 228	
	<b>4P NEW ENGLAND</b>	<b>6P BLANK-TOP</b>	<b>6P</b>	<b>6P CAMBER-TOP</b>	<b>8P PARLIAMENT</b>	<b>SL W/ FULL GLASS</b>	<b>SL W/ 3/4 GLASS</b>	<b>SL W/ 1/2 GLASS</b>
	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>	<b>BLS</b>
<b>6'8"</b>	2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	2'6", 2'8", 2'10", 3'0"	2'8", 2'10", 3'0"	2'10", 3'0"	1'0", 1'0", 1'2"	1'0", 1'2"	1'0", 1'2"
<b>7'0"</b>			2'8", 2'10", 3'0"			1'0", 1'0", 1'2"		
<b>8'0"</b>			2'6", 2'8", 2'10", 3'0"		2'10", 3'0"	1'0", 1'2"	1'0", 1'2"	1'0", 1'2"
<b>glass sizes</b>	106	106, 107, 135, 137, 228	106, 120, 122, 228, 404, 810	137, 228	203	151, 152, 852	151, 450	129, 450

<sup>†</sup> Features narrow panel layout. <sup>\*</sup>6 panel camber-top features a straight-grain hardwood texture.

CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18

**SPECIES**

**BMT** Belleville Mahogany Textured

**BFT** Belleville Fir Textured

**OAK** Oakcraft Oak Textured

**BLS** Belleville Smooth

masonite.com

**Wayne Dalton**  
GARAGE DOORS

M O D E L S

**9100/9605**

CLASSIC STEEL



CITY OF WORTHINGTON  
DRAWING NO. AR 97-18  
DATE 10/12/18

*Sonoma panel, Custom finish, Stockbridge windows, Decorative hardware*

# style. safety. variety.

CITY OF WORTHINGTON  
DRAWING NO. AR 97-18  
DATE 10/12/18

Built for performance and affordability, Models 9100 and 9605 offer robust features with a variety of options at affordable prices, adding style and curb appeal to your home.

These doors are chosen by homeowners for their insulating value, durability, style and safety features.



Ranch panel, Brown finish

## PERFORMANCE FEATURES



**TorqueMaster® Plus Counterbalance** is the first counterbalance system to seal springs safely within a steel tube. It contains an anti-drop feature that reduces the risk of door free fall.



### High Cycle Spring Option

Choose a 25,000 cycle spring for almost twice the life of a standard torsion spring.



**Tamper-Resistant Safety Bottom Brackets** help avoid possible injury by preventing inadvertent loosening when the counterbalance cables are still under tension.



### Horizontal Integral Struts

at the top and bottom of door sections adds rigidity and strength for long life and smooth operation.



**Pinch-Resistant Door Panels** are engineered with pinch-resistant design to prevent finger injuries while the door is closing.



### Thermal Efficiency

Foamed in place polyurethane insulation\* can improve your home's thermal efficiency, reduce street noise and make the door operate more quietly.



### Structural Reinforcements

Available with structural reinforcements for use in coastal regions. They meet wind load requirements of the International Building Code, Florida Building Code and Texas Dept. of Insurance.



### Warranty

Limited Lifetime Warranty against cracking or splitting due to rust-through and against degradation of the foam insulation. See full warranty for complete details.

\*Polyurethane insulation provides superior insulation value and thermal efficiency compared to polystyrene.

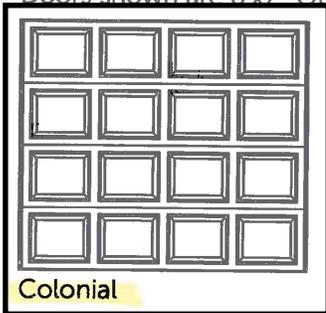
# 9100/9605 Model Comparison

	MODEL 9100	MODEL 9605
Door construction	3-layer construction Steel/Polyurethane/Toughgard™ backer	3-layer construction Steel/Polyurethane/Steel
Insulation	Foamed-in-place polyurethane with R-value of 9*	Foamed-in-place polyurethane with R-value up to 10*
Wind load models	Available	Available
Warranty	Limited Lifetime	Limited Lifetime

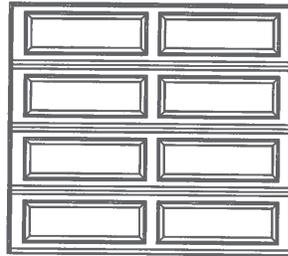
\*R-value of 9 for 7' tall doors; R-value of 10 for 8' tall doors. Wayne Dalton uses a calculated door section R-value for our insulated doors.

## 1 Choose Your Style

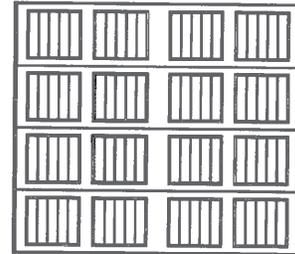
Doors shown are 8'x7'. Other sizes may have different panel configurations. See dealer for details.



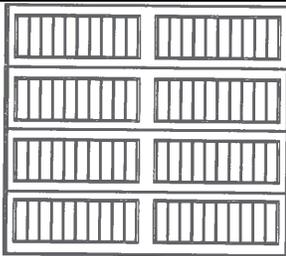
Colonial



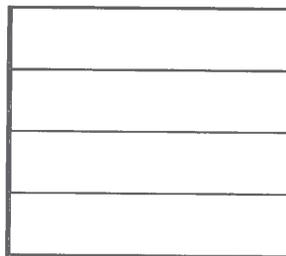
Ranch



Sonoma



Sonoma Ranch



Contemporary

CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18

## 2 Choose Your Color

### Paint finishes



White



Almond



Desert Tan



Taupe



Gray



Green



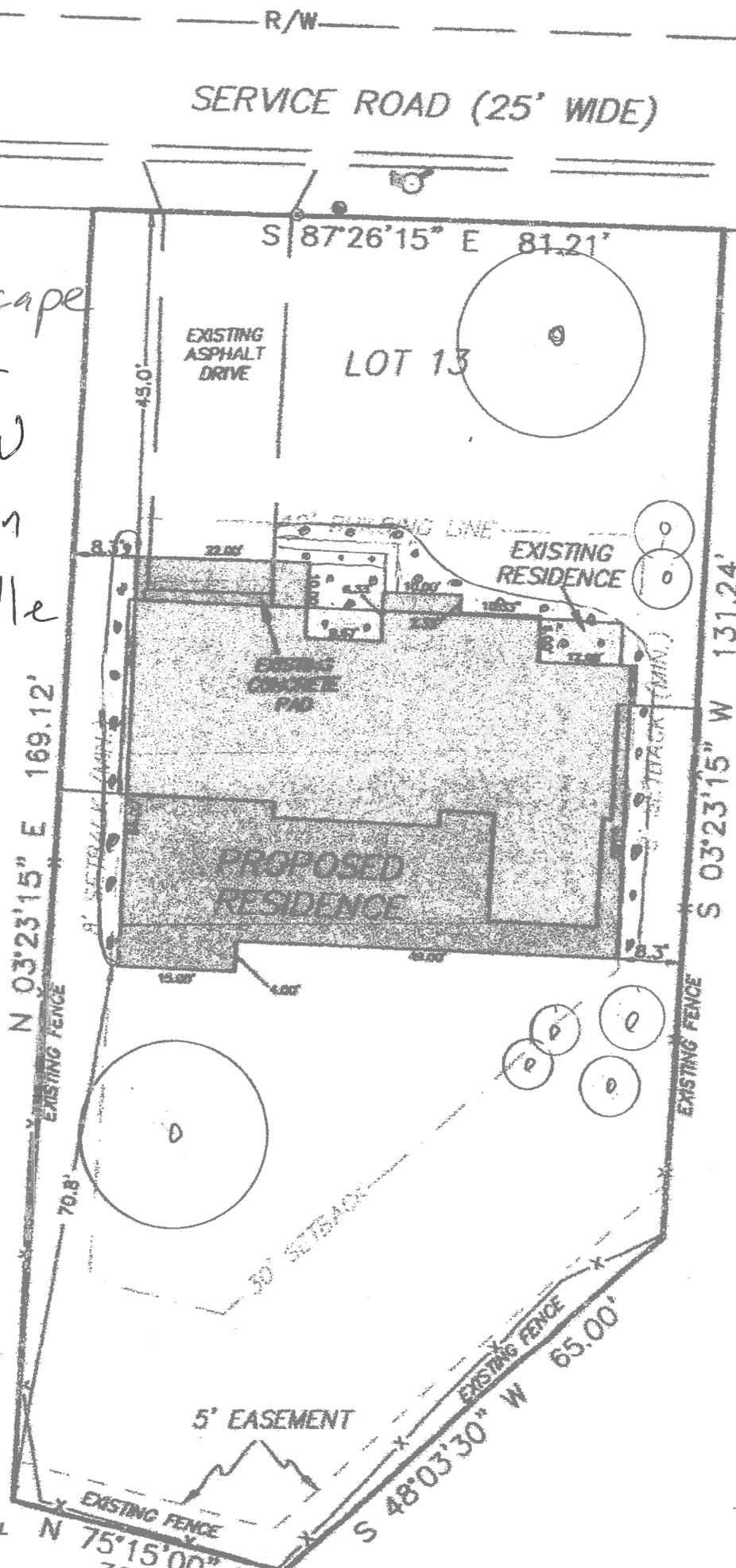
Brown



Model 9605 is available with the TruChoice Color System, Wayne Dalton's custom painting process that offers more than 6,000 colors. See dealer for details.

Actual colors may vary from brochure due to fluctuations in the printing process. Always request a color sample from your dealer for accurate color matching.

Landscape  
Plan -  
155 W  
Dublin  
Granville



- o- Existing Trees
- Beds-Front and sides to include.
- Rhododendron
- Forsythia
- Lillac
- Hydrangea
- Burning Bush
- Boxwood
- Daylily
- Coral Bell
- Hosta
- Ornamental Grass

**\*PRELIMINARY\***

CITY OF WORTHINGTON

DRAWING NO. AR 97-18

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AND MAINTAIN  
SEDIMENT CONTROL  
INSTRUCTION  
BE NECESSARY

Professional seal and signature area for the landscape architect, including a circular seal and a signature line.

**Hello Kilbourne Village Neighbors,**

**My name is Pete Tschofen. I have purchased the property located at 155 West Dublin Granville Road. It has been a year, but I still plan to remove the current home and build a new ranch home with four bedrooms, two and one half baths, great room, kitchen, morning room, full basement and two car attached garage.**

**I will be presenting updated plans to the Worthington Architectural Review Board on October 25, 2018. As part of the review process, it was recommended I communicate with my adjoining property neighbors. A sign will be placed in my yard and you should receive a letter from the city.**

**Please stop if you see me in the yard, leave a note or call me (614-668-7547) if you have a comment or question regarding my plans.**

**Thank you for your time.**

**Regards,  
Pete**

CITY OF WORTHINGTON

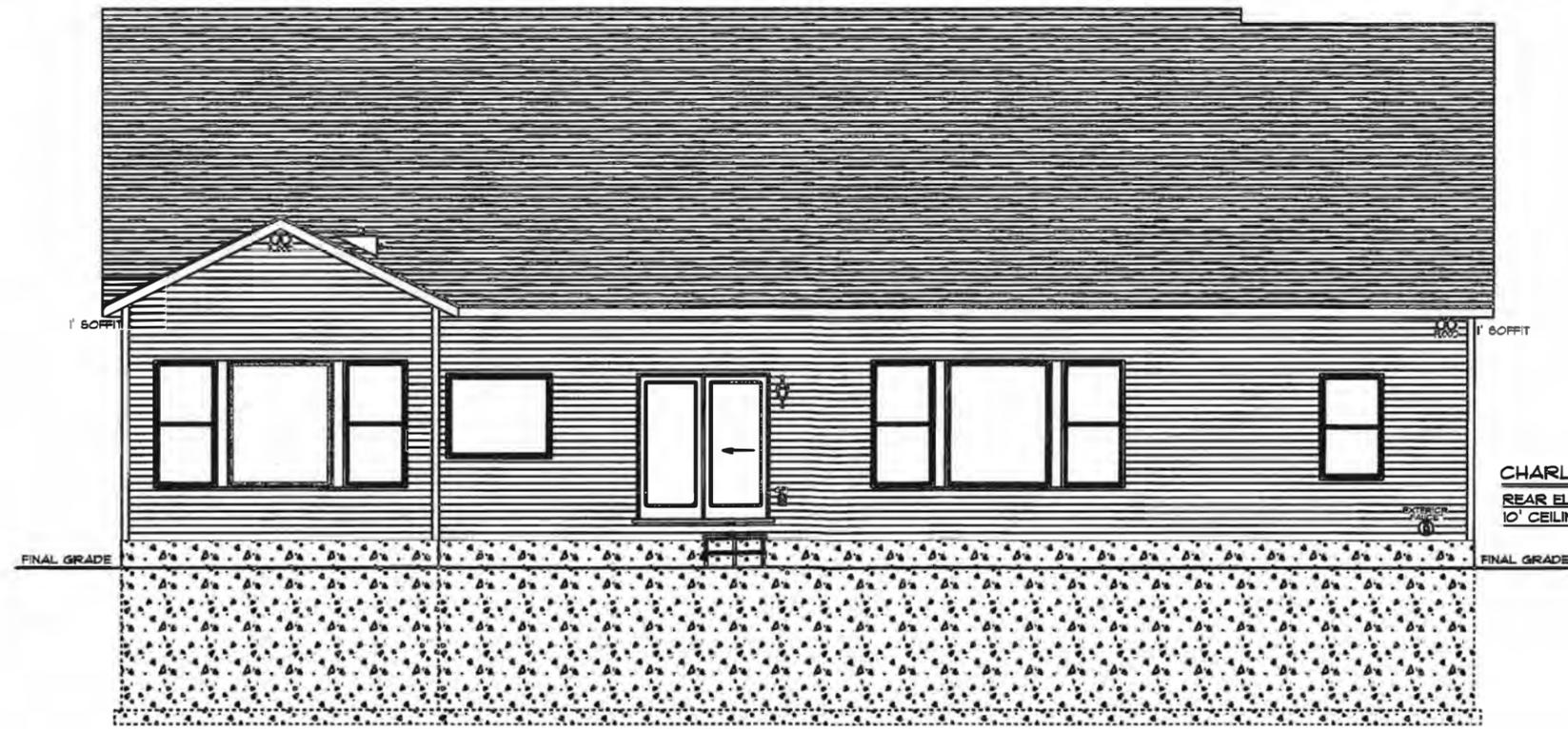
DRAWING NO. AR 97-18

DATE 10/12/18



CONFIRM AT PRE CON.  
 • SHOWN W/ 10\"/>

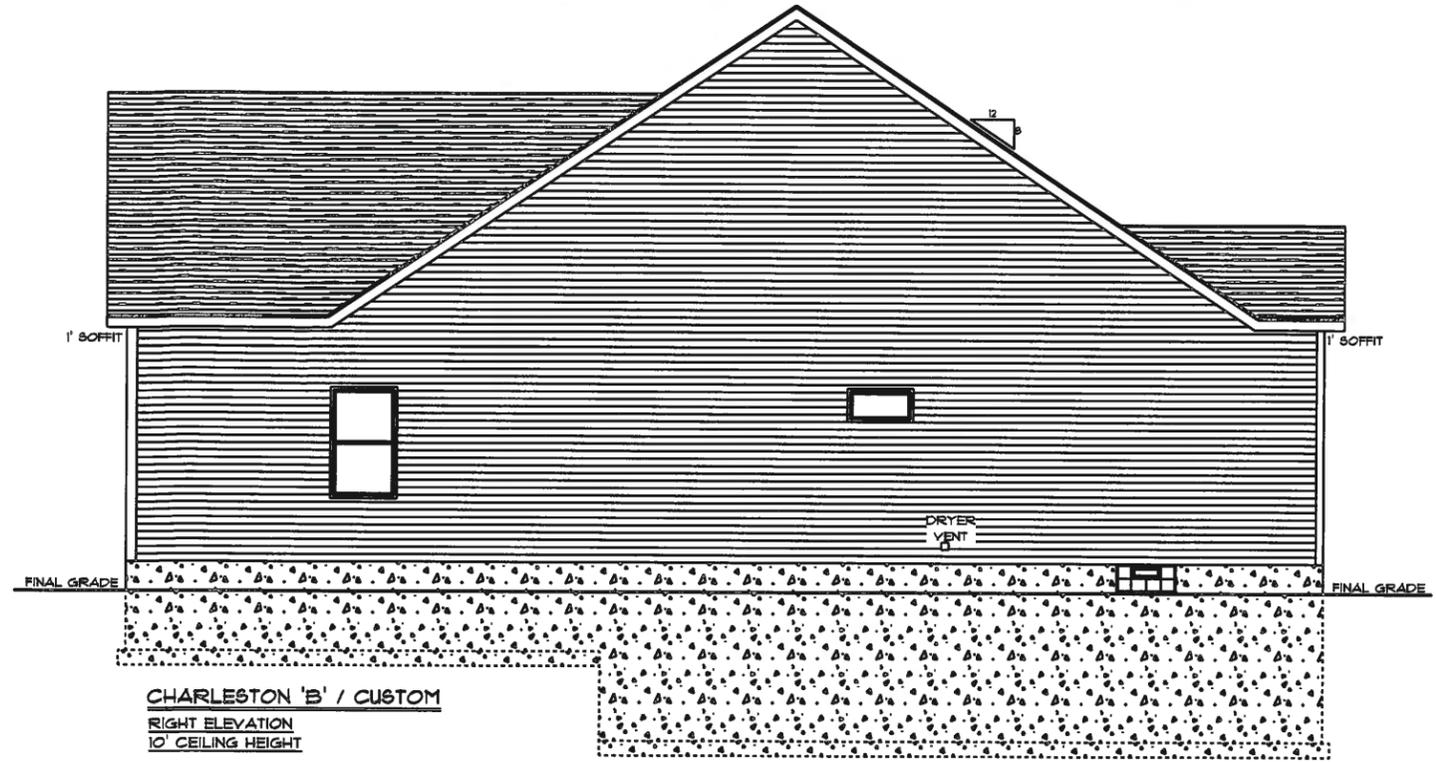
CHARLESTON 'B' / CUSTOM  
 FRONT ELEVATION  
 10' CEILING HEIGHT



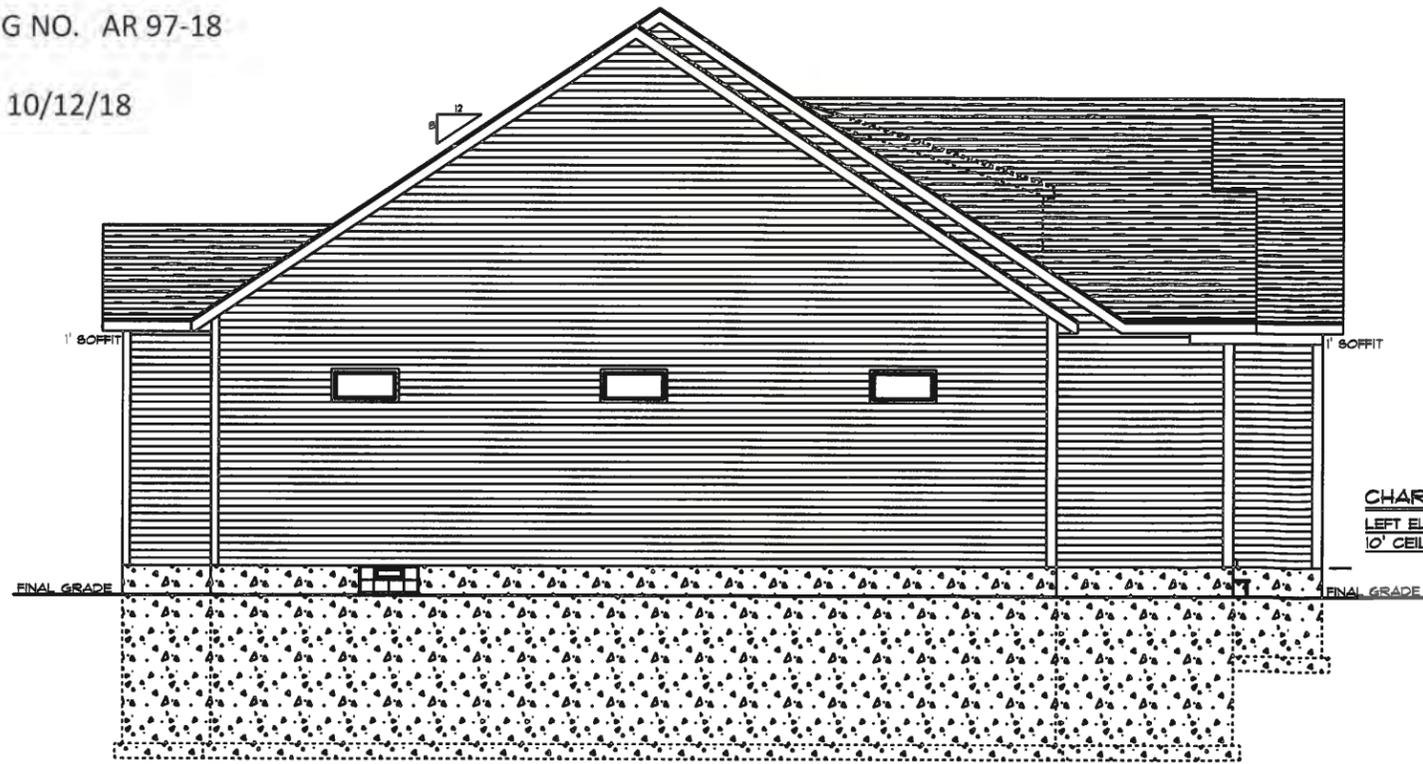
CHARLESTON 'B' / CUSTOM  
 REAR ELEVATION  
 10' CEILING HEIGHT

CITY OF WORTHINGTON  
 DRAWING NO. AR 97-18  
 DATE 10/12/18

DRAWN BY: ALP	DATE: 10/10/2018	SCALE: 1/8" = 1'-0"	DWS: 1
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CUSTOM BUILT FOR: PETER TSCHOFEN			
JOB #: COLU-018-0438			
LOCATION: 155 W. DUBLIN GRANVILLE RD. WORTHINGTON, OH, 43085 FRANKLIN			
Columbus, OH 5087 Columbus Pike Lewis Center, OH 43035 (877) 267-3482 www.schumacherhomes.com			



CHARLESTON 'B' / CUSTOM  
RIGHT ELEVATION  
10' CEILING HEIGHT



CHARLESTON 'B' / CUSTOM  
LEFT ELEVATION  
10' CEILING HEIGHT

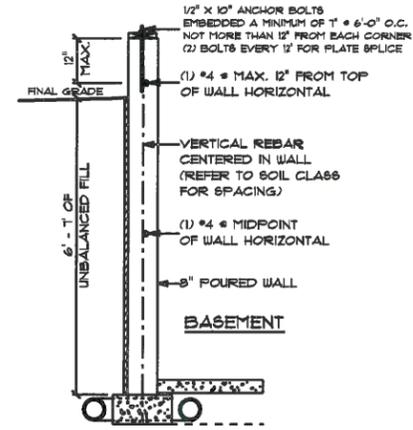
CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18

 <b>SCHUMACHER HOMES</b>	Columbus, OH 5087 Columbus Pike Lewis Center, OH 43035 (811) 267-3482 <a href="http://www.schumacherhomes.com">www.schumacherhomes.com</a>	CUSTOM BUILT FOR: PETER TSCHOFEN 208 N. COLLIER-CARR LOCATION: 199 W. DUBLIN GRANVILLE RD. WORTHINGTON, OH, 43085 FRANKLIN	DRAWN BY: ALP	DATE: 10/10/2018	SCALE: 1/8" = 1'-0"	DWG: 2
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SOIL CLASS	REBAR
GW, GP, SW, SR	NOT REQ'D
GW, GL, SM, SM-SC	16 # 35" O.C.
SC, ML-CL, INORGANIC CL	16 # 35" O.C.

REFER TO TABLE 404.1.2(3) 2013  
RESIDENTIAL CODE OF OHIO

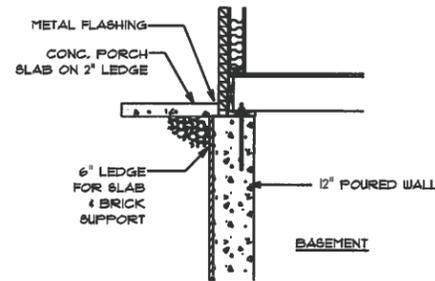
**8' WALL REBAR DETAIL**

**8'-0" POURED WALL FOUNDATION NOTES:**

- 8'-0" x 8" POURED CONCRETE WALL FOUNDATION w/ 16" x 8" FOOTER.
- INTERIOR & EXTERIOR DRAIN TILE.
- FOOTERS AND POST PADS TO BE POURED AT SAME ELEVATION.
- SUMP LOCATION TO BE DETERMINED ACCORDING TO GRADE ELEVATION.
- SUMP CROCK TO BE RAISED 4" A.F.F.
- POURED WALL REINFORCEMENT PER DETAIL.
- 1/2" x 10" ANCHOR BOLTS EMBEDDED A MINIMUM OF 1" x 6'-0" O.C. NOT MORE THAN 12" FROM EACH CORNER.
- FINISH BEAM POCKET DEPTH OF 1 1/8"
- GLASS BLOCK R.O. 16-1/2" x 32-1/2"

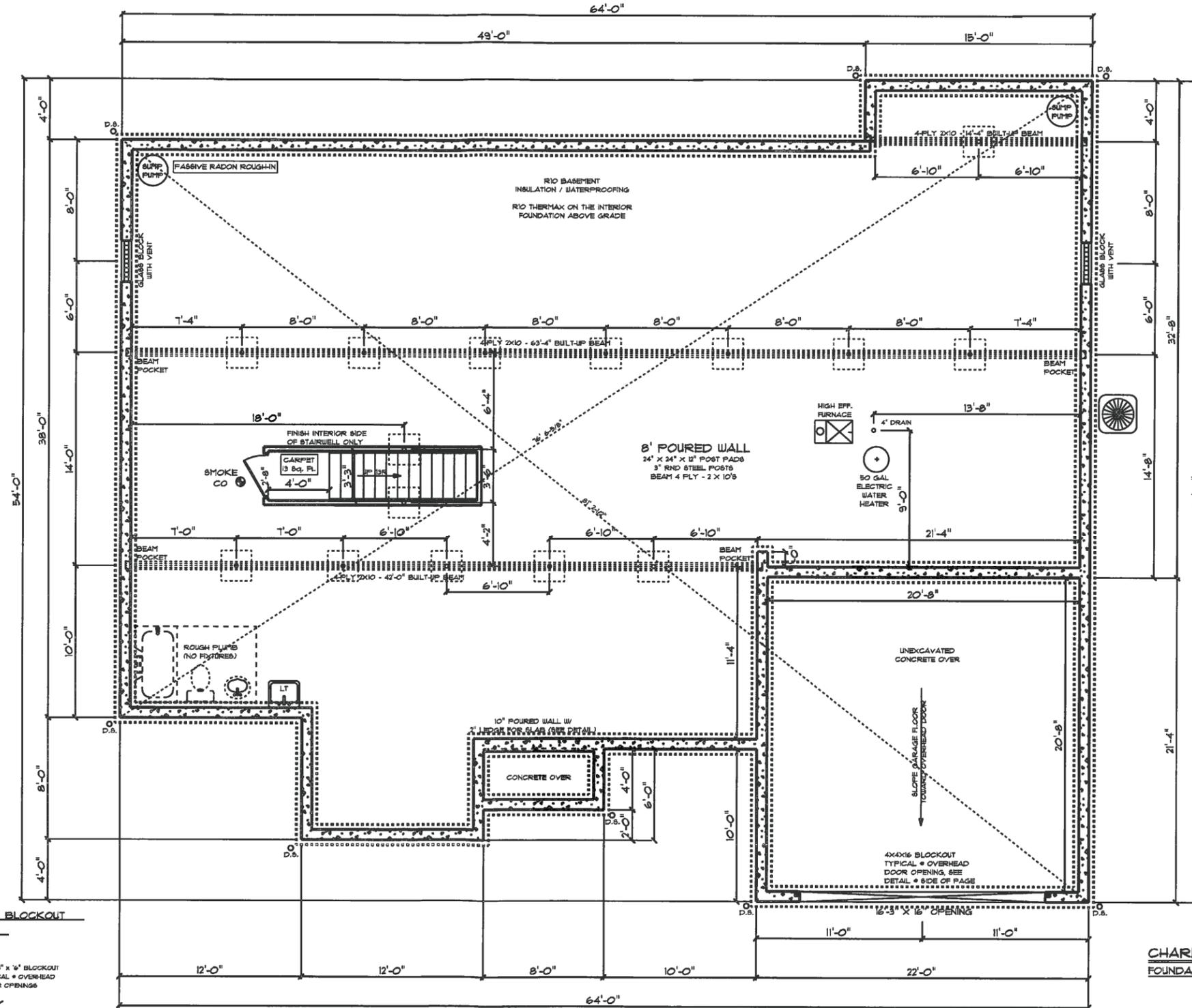
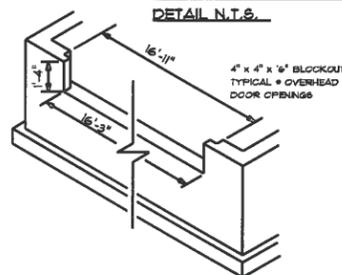
**FOUNDATION ELECTRICAL NOTES:**

- ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH A BATTERY BACKUP.
- ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, UNFINISHED BASEMENT AREAS, OUTLETS LOCATED WITHIN 6' OF LAUNDRY, UTILITY SINKS AND ALL OUTLETS SERVING KITCHEN COUNTERTOP SURFACES SHALL HAVE GFCI PROTECTION.
- SUMP RECEPTACLE TO BE LOCATED NEXT TO SUMP.
- ELECTRICAL PANEL TO BE GROUNDED OUTSIDE PER CODE.
- WIRE FURNACE.



**PORCH SLAB AT BASEMENT WALL**

**4" x 4" x 16" BLOCKOUT DETAIL N.T.S.**



**CHARLESTON 'B' / CUSTOM FOUNDATION PLAN**

DRAWN BY: ALP  
DATE: 10/10/2018  
SCALE: 1/8" = 1'-0"  
DISG: 3

CUSTOM BUILT FOR:  
PETER TSCHOEHN  
108 N. COLLEGE-C498  
CN #7518

LOCATION:  
195 W. DUBLIN GRANVILLE RD.  
WORTHINGTON, OH, 43085  
FRANKLIN

Columbus, OH  
5087 Columbus Pike  
Lewis Center, OH 43035  
(877) 267-3482  
www.schumacherhomes.com

*Schumacher Homes*  
**SCHUMACHER HOMES**

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CITY OF WORTHINGTON

DRAWING NO. AR 97-18

DATE 10/12/18

GENERAL FRAMING NOTES:

- 2x6 EXTERIOR WALL FRAMING W/R-19 INSULATION, INCLUDING GARAGE/HOUSE INTERIOR WALLS, EXCLUDING GARAGE EXTERIOR WALLS.
- DRYWALLED OPENINGS TO BE 6'-8" HEIGHT UNLESS OTHERWISE NOTED
- HEADERS TO BE 3 PLY UNLESS OTHERWISE NOTED
- SOLID SHEATHING BEHIND SHOWER WALLS AND WATER CLOSET IN OWNER'S BATHROOM
- PAINTED TRIM ENTIRE HOME EXCLUDING STAIR PARTS & BALUSTERS (STANDARD)
- 5-1/4" MDF BASEBOARDS
- 3-1/2" MDF CASING ON INTERIOR DOORS
- WINDOWS TO BE DRYWALL WRAPPED ON INTERIOR.
- 6-PANEL HOLLOW CORE MOLDED INTERIOR DOORS ALL 8'-0" HIGH
- ANDERSEN 200 SERIES LOW-E WINDOWS. WINDOWS TO HAVE .32 U-VALUE OR BETTER W/ ARGON GAS
- JAMBS AND CASE ALL DOORWAYS
- JAMBS AND CASE FLEX ROOM

FLOORING NOTES:

- ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
- FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
- SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED

ELECTRICAL NOTES:

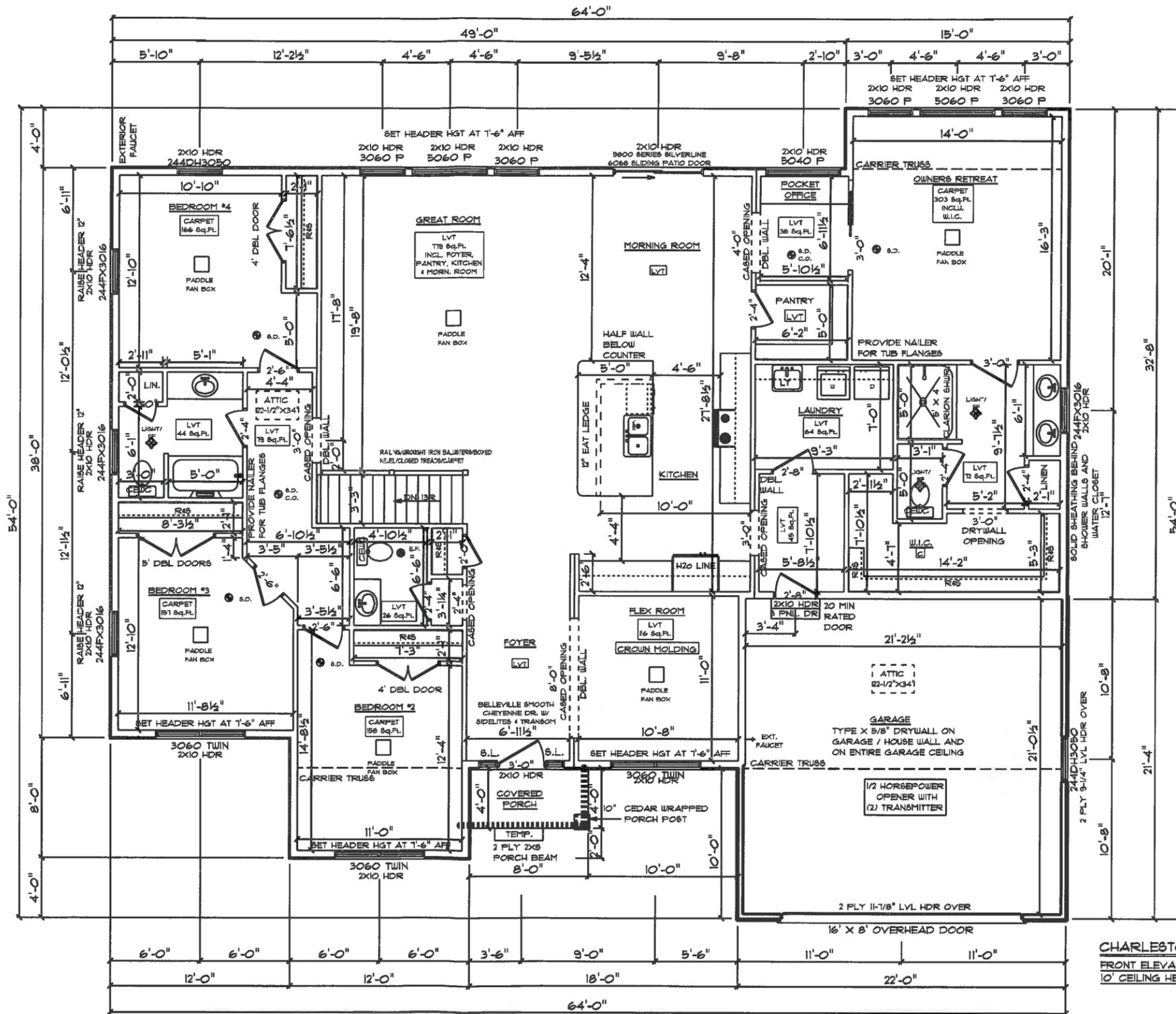
- ALL SMOKE DETECTORS TO BE INTER CONNECTED WITH BATTERY BACKUP
- 1 ARC FAULT PER BEDROOM
- GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN
- TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE & ON 20 AMP BREAKERS REQUIRED IN KITCHEN
- ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTION ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY, UTILITY, & WET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTER TOP SURFACES.
- PROGRAMMABLE THERMOSTAT STANDARD
- CO2 DETECTORS STANDARD
- 75% HIGH EFFICIENCY LIGHT BULBS STANDARD.
- (3) PENDANT LIGHTS OVER ISLAND
- (14) RECESSED LIGHTS WITH WHITE TRIM
- (4) UNDER CABINET LIGHTS (SEE CABINET PLAN)
- (6) PADDLE FAN BOXES - WIRE ONLY
- (2) ADDITIONAL 110V RECEPTACLES
- WHOLE HOUSE SURGE PROTECTOR
- CAN LIGHT ON FRONT PORCH ILO STANDARD LIGHT

DRYWALL NOTES:

- FLAT CEILING FINISH IN ENTIRE HOME

CONFIRM AT PRE CON:

- LOCATION OF (2) WINDOWS WITH GRIDS
- LOCATION OF 3 PIECE CROWN MOLDING
- TOTAL COUNT OF 8' DOORS AS PLAN SHOWS IS
- 3'-0" GARAGE TO HOUSE DOOR AS ON REDLINES BUT NOT IN CONTRACT
- IF PICTURE WINDOWS ARE TO BE ANDERSEN WINDOWS AS NUMBER IN CONTRACT DOES NOT REFLECT THAT



CHARLESTON 'B' / CUSTOM  
FRONT ELEVATION  
10' CEILING HEIGHT

DRAWN BY: ALP  
DATE: 10/10/2018  
SCALE: 1/8" = 1'-0"  
DWS: 4

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CUSTOM BUILT FOR:  
PETER TSCHOPEN  
128 S. COLLIER-DAVIS  
CN 1, 27518  
195 W. DUBLIN GRANVILLE RD.  
WORTHINGTON, OH, 43085  
FRANKLIN

Columbus, OH  
5081 Columbus Pike  
Lewis Center, OH 43035  
(811) 261-3482  
www.schumacherhomes.com

*Peter Schumacher*  
SCHUMACHER HOMES



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR 99-18
Date Received	10-12-2018
Fee	\$10.00
Meeting Date	10-25-2018
Filing Deadline	
Receipt #	66086

1. **Property Location** 583 Hartford Street
2. **Present/Proposed Use** Residential- Single Family Home
3. **Zoning District** R-10
4. **Applicant** Catherine Watson  
**Address** 583 Hartford Street  
**Phone Number(s)** 614.425.5684
5. **Property Owner** Catherine Watson  
**Address** 583 Hartford Street  
**Phone Number(s)** 614.425.5684
6. **Project Description** Replace existing exterior windows (7) and exterior side door
7. **Project Details:**
  - a) **Design** Beechworth insert Double Hung Windows; ProVia Single Entry Door
  - b) **Color** White
  - c) **Size** 35x60; 32x80
  - d) **Approximate Cost** \$10,000      **Expected Completion Date** January 2019

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**  
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

<u>Catherine Watson</u> Applicant (Signature)	<u>10-12-18</u> Date
<u>Catherine Watson</u> Property Owner (Signature)	<u>10-12-18</u> Date

ABUTTING PROPERTY OWNERS  
FOR  
583 Hartford St.

Michele Puckett  
Worthington Methodist Church  
Warren & Marlene Orloff  
Resident  
Andrew and Bernice Tilton

577 Hartford St.  
600 High St.  
356 Loveman Ave.  
590 Hartford St.  
580 Hartford St.

Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085

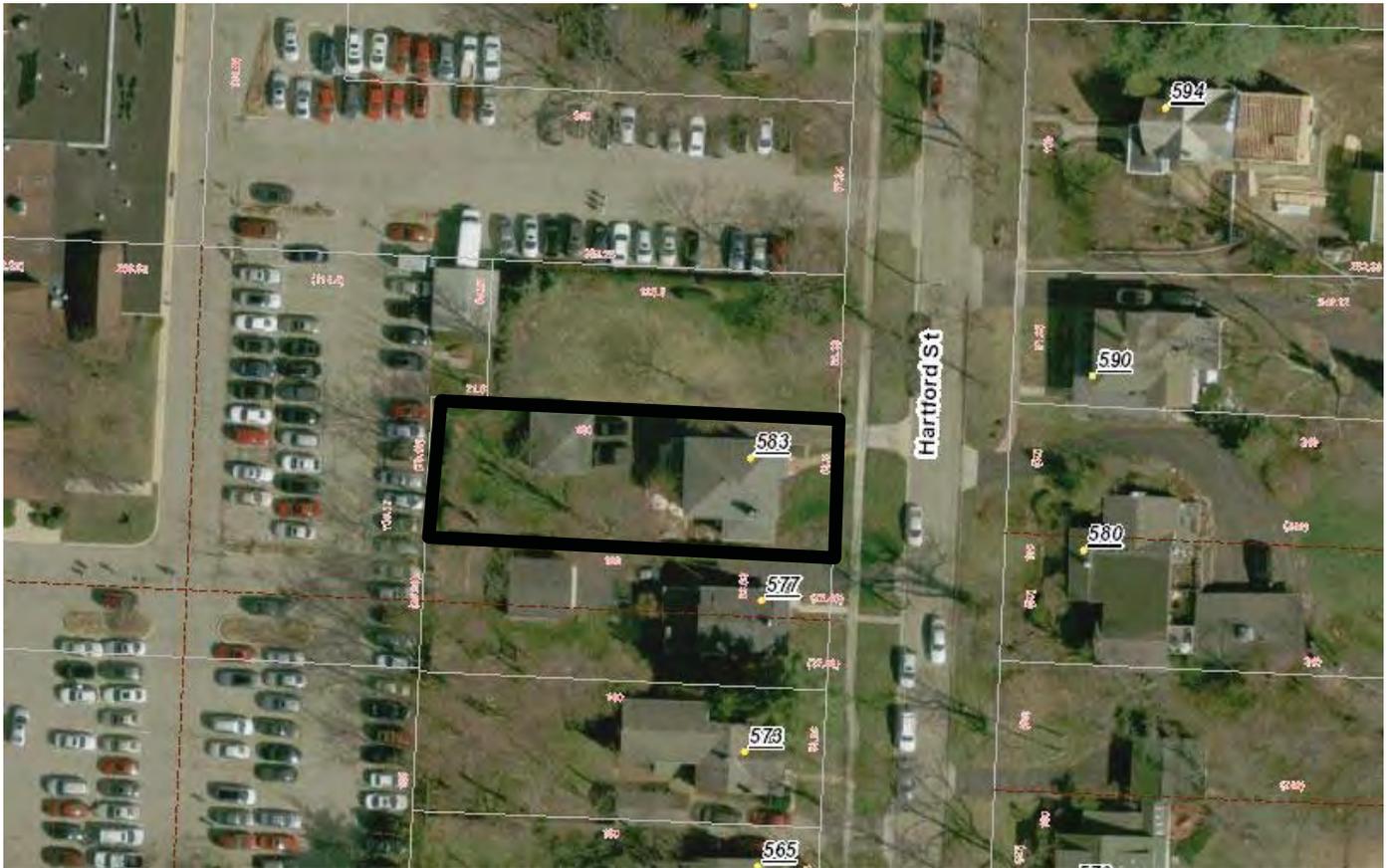
### **Supporting Statement: 583 Hartford Street**

This application is to allow for the replacement of seven existing exterior windows and one side exterior door.

The state of the current exterior windows is extremely poor. The windows are rotten, broken, or otherwise non-functioning, and there is very low energy efficiency. Also, the current windows pose a security concern, as well as a safety hazard. The single plane glass is fragile and weak. After careful consideration, we chose very high-end Beechworth windows as they have the following features 1) custom machined from solid wood; 2) contain fiberglass exterior, and wood interior; 3) maximize thermal efficiency. The new windows will maintain the current character of our charming 1920's home inside and out. Neither aluminum nor vinyl wrapping will be used and the current exterior and interior wood trim will be left in place to maintain historic look.

The state of the exterior side door is also extremely poor, and a security concern. The door contains a large single pane glass window that can also easily be broken by an intruder. The new ProVia door will improve thermal efficiency, provide home security, and will be machined to maintain the classic 1920's look, to include a more secure window.

# 583 Hartford Ave.



100-000577 04/25/2017



CITY OF WORTHINGTON

DRAWING NO. AR 99-18

DATE 10/12/18



CITY OF WORTHINGTON

DRAWING NO. AR 99-18

DATE 10/12/18



CITY OF WORTHINGTON

DRAWING NO. AR 99-18

DATE 10/12/18



# SEE YOUR HOME IN A FRESH WAY

Fiberglass Windows



CITY OF WORTHINGTON

DRAWING NO. AR 99-18

DATE 10/12/18



## DOUBLE-HUNG

The most popular window style today, double-hungs are named for their two vertical movable sashes.

Ideal for **optimal air circulation**.

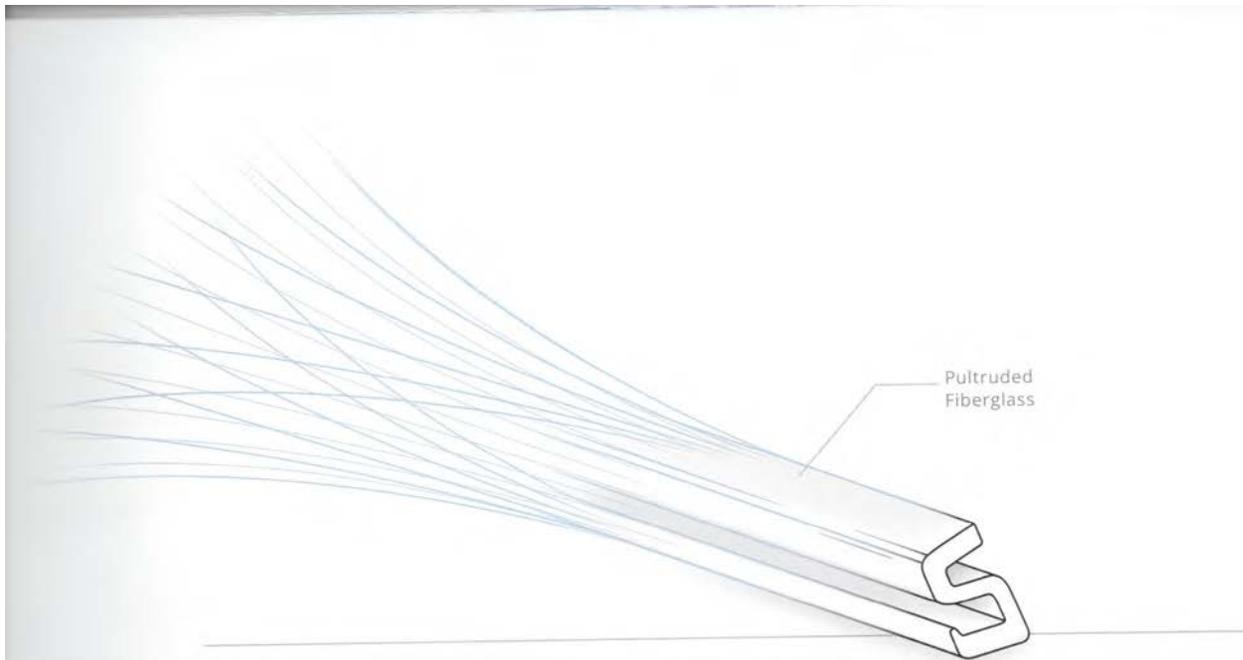
Both sashes **tilt inwards** for easy cleaning from inside.

Our interlock system provides **increased security**, a safety feature that many older double-hung windows don't provide.

CITY OF WORTHINGTON

DRAWING NO. AR 99-18

DATE 10/12/18



## FIBERGLASS IS IDEAL BECAUSE OF ITS STRENGTH AND LONGEVITY

Our fiberglass is made with **proprietary resin, reinforcing fiberglass fabric, and fine glass fibers**—all heated, pressurized, and pulled through custom molds to create individual window parts. Fiberglass is the strongest way to build a window, which means our windows can have thinner frames, more glass and more light for you to enjoy.



Fiberglass is commonly found in building materials today.



Commonly found in boat hulls for its strength and resistance to rot.

CITY OF WORTHINGTON

DRAWING NO. AR 99-18

DATE 10/12/18



## FIBERGLASS: THE MIRACLE MATERIAL

---

Fiberglass is not a new material, it's found everywhere, from boat hulls to home insulation to car bodies.

It surpasses other materials in strength and longevity, which is why it is the cornerstone of our windows.

The window industry uses a wide range of materials including vinyl, aluminum, and wood. Since we think fiberglass has the best overall performance, we decided to build our entire product line around it.

CITY OF WORTHINGTON

DRAWING NO. AR 99-18

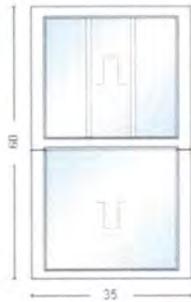
DATE 10/12/18

## LINE ITEM DETAILS: 10/9/2018

Quote #: 29331  
 Company: Hegg Windows & Doors, Inc  
 Job Name:



LINE	LOCATION	ITEM	OPENS	FRAME SIZE	FINISH	NET PRICE	QTY	EXT NET PRICE
100-1	101 FLF LIVING	DoubleHung	Operating	35" X 60"	FrostWhite PrefinishedWhit	\$983.00	1	\$983.00



Viewed from Exterior

Insert Window ,  
 Double Hung  
 Sash Split = Even  
 Operation / Venting = Operating  
 Sill Angle = 5 - 9 Degrees Intermediate  
 Exterior Color = Frost White  
 Interior Finish = Prefinished White Latex,  
 Jamb Liner Color = White  
 Glass Type = Standard,  
 Specialty Glass = No Specialty Glass,  
 Tempered = Non Tempered Glass  
 Lock Option = Double,  
 Hardware Color = White  
 Screen Color = Frost White  
 U-Factor = 0.28,  
 SHGC = 0.28  
 Unit 1 Glass 1: None  
 Unit 1 Glass 2: SDL with Spacer Bar,  
 Unit 1 Glass 2: Colonial,  
 Unit 1 Glass 2: 3W 1H  
 Line Item Notes:

CITY OF WORTHINGTON

DRAWING NO. AR 99-18

DATE 10/12/18



CITY OF WORTHINGTON

DRAWING NO. AR 99-18

DATE 10/12/18

# HERITAGE™ FIBERGLASS DOORS

## HERITAGE™ FIBERGLASS ENTRY DOOR ADVANTAGES

**A** 1 7/8" Finger-jointed, 2-ply solid oak laminated stiles for both hinge and strike sides are proven to provide increased rigidity and structural integrity.

**B** Polyurethane core reduces energy loss.

**C** Improved definition panel profile creates excellent shadow lines and distinct panel designs.

**D** Lock area is reinforced to provide a solid mounting surface for decorative hardware.

**E** Specially engineered fiberglass door facings will not dent and resist splitting, cracking and warping.

**F** Variable-depth woodgrain texture with hand-applied stain imitates a wood door appearance.

**G** Square-edge design offers an attractive wood door appearance.

**H** A high-performance, composite material is utilized on all Heritage fiberglass bottom rails, giving excellent rot-resistance.

Plugless Window Trim is optional on Heritage Fiberglass (see Price List for available styles)



Heritage Smooth Fiberglass doors exhibit the same durable construction as woodgrain textured fiberglass featuring high-definition panel profiles.



OVERVIEW

STYLES & OPTIONS

FEATURES & SPECS

PHOTO GALLERY

### OTHER OPTIONS

- [Door Hardware Options](#)
- [Stain and Paint Finishes](#)
- [Door Accessories](#)
- [Door Glass Options](#)
- [Door Catalog](#)

### Related Articles

- [Best in Innovative Door Manufacturing](#)
- [Why a Custom Door Might be Your Best Option](#)
- [Fiberglass vs Steel Doors](#)
- [How ProVia's Stain/Paint Processes Differ from Other Manufacturers](#)
- [Learn About Energy Star](#)
- [How Does Your home's Style Determine Your Choice of a New Entryway?](#)
- [Single & French Door Configurations](#)
- [Best Home Improvements to Increase Value](#)



CITY OF WORTHINGTON

DRAWING NO. AR 99-18

DATE 10/12/18

3

**ENTRY DOOR**

1 2,027.25

**- Product Options -**

- Heritage Single Entry Door in FrameSaver Frame
- 32" x 80" Nominal Size
- Unit Size: 33 9/16" x 81 5/8"
- Frame Depth: 8 3/4"
- No Brickmold
- Right Hand Inswing - Inside Looking Out
- 3 Panel 420 Style Heritage Smooth Fiberglass Door
- ComforTech DLA
- Plugless Trim
- Snow Mist White Inside and Outside
- Hardware
- All Hardware in Lifetime Bright Brass Finish
- Georgian Lockset (2 3/8" Backset)
- Thumbturn Deadbolt (2 3/8" Backset)
- Frame
- Snow Mist White Inside Frame
- 3 Tubes of Snow Mist White Caulk
- Bronze Sahara Threshold (10 1/16" Depth)
- Zinc Chromate Ball Bearing Hinges (Complements Bright and Antique Brass)
- Installation Kit with Wood Shims
- Security Plate
- Oak Quarter Round (1/2" x 3/4") Shoemold - Light Oak

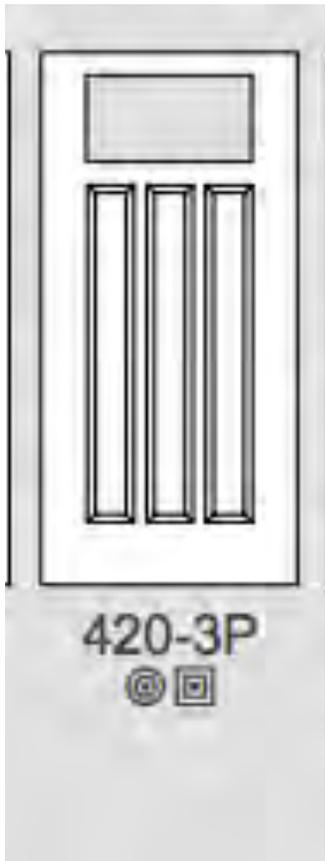
*760 INT TRIM*  
*+ 120 EXT TRIM*

**- Comments -**

5/4 EXTERIOR TRIM FIELD APPLIED- CREATE/MATCH INTERIOR TRIM 1X WITH BACKBAND



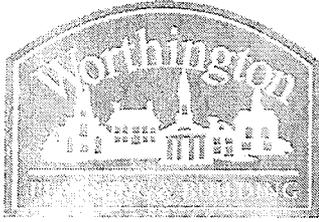
Outside Looking In  
Due to variances in color and manufacturing process, image shown may vary from final product.



CITY OF WORTHINGTON

DRAWING NO. AR 99-18

DATE 10/12/18



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR 96-18
Date Received	10/12/2018
Fee	\$200pd
Meeting Date	10/25/2018
Filing Deadline	
Receipt #	66081

1. Property Location 54 WEST WILSON BRIDGE ROAD, WORTHINGTON 43085
2. Present/Proposed Use RETAIL  
BANKING ATM
3. Zoning District C-2
4. Applicant BANK OF AMERICA, N.A. (PAUL J. WOLENSKI)  
 Address 13850 BALLANTYNE CORP PL., CHARLOTTE, NC 28277  
 Phone Number(s) (330) 419-1446
5. Property Owner WORTHINGTON SQUARE VENTURE, LLC  
 Address 7227 N. High St. Worthington, OH 43085  
 Phone Number(s) 614.312.9535
6. Project Description \_\_\_\_\_
7. Project Details:
  - a) Design \_\_\_\_\_
  - b) Color \_\_\_\_\_
  - c) Size \_\_\_\_\_
  - d) Approximate Cost \$ 100 K      Expected Completion Date 12/14

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

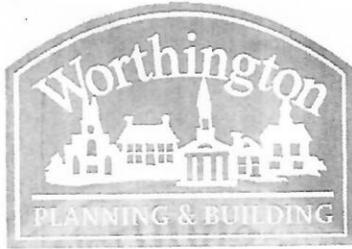
Paul J. Wolenski  
 Applicant (Signature)  
 PAUL J. WOLENSKI C/O  
 BANK OF AMERICA, N.A.  
Thomas J. Carter  
 Property Owner (Signature)

10/10/2018  
 Date

10-10-18  
 Date

ABUTTING PROPERTY OWNERS  
FOR  
54 W. WILSON BRIDGE RD

Worthington Duchess, LLC	7141 N. High St.	Worthington, OH 43085
Corporate Hill LLC	Triangle Real Estate Investme	470 Old Worthington Rd., 5 Westerville, OH 43082
Edwin D. Popper Tr.	539 Old Farm Rd.	Columbus, OH 43213
Ohio Automobile Club	90 E. Wilson Bridge Rd.	Worthington, OH 43085
McDonald's USA, LLC	2 Easton Oval, Suite 200	Columbus, OH 43219
McDonald's	80 E. Wilson Bridge Rd.	Worthington, OH 43085
Tsai & Chan LLC	15 W. 6th St., Suite 2400	Tulsa, OK 74119
Buca Di Beppo	60 E. Wilson Bridge Rd.	Worthington, OH 43085
Worthington Duchess LLC	7141 N. High St.	Worthington, OH 43085
Worthington Duchess LLC	447 James Parkway	Heath, OH 43056
He Hari Inc.	7007 N. High St.	Worthington, OH 43085
Tenant	130 Greenglade Ave.	Worthington, OH 43085
Andrew and Shellie Smith	1500 Glenn Ave.	Columbus, OH 43219
Tenant	140 Greenglade Ave.	Worthington, OH 43085
Curtis and Alicia Barden	3791 Spur Ln.	Columbus, OH 43219
Insight Bank	150 W. Wilson Bridge Rd.	Worthington, OH 43085
City National Bank	50 W. Wilson Bridge Rd.	Worthington, OH 43085
The Kroger Co.	4111 Executive Parkway	Westerville, OH 43081
Kroger	60 W. Wilson Bridge Rd.	Worthington, OH 43085



# City of Worthington

## CONDITIONAL USE PERMIT APPLICATION

Case #	CU 16-18
Date Received	10/12/2018
Fee	\$25.00
Meeting Date	10/25/2018
Filing Deadline	66082

1. Property Location 54 WEST WILSON BRIDGE RD., WORTHINGTON, 43085
2. Zoning District C-2
3. Applicant BANK OF AMERICA, N.A. (PAUL J. WOLENSKI)  
Address 13850 BALLANTYNE CORP. PL., CHARLOTTE, NC 28277  
Home Phone \_\_\_\_\_ Work Phone (330) 419-1446
4. Property Owner WORTHINGTON SQUARE VENTURE, LLC  
Address 7227 N. HIGHT STREET, SUITE 88, WORTHINGTON, OH 43085  
Home Phone \_\_\_\_\_ Work Phone 614-312-9535
6. Business Name BANK OF AMERICA
7. Type of Business/Conditional Use RETAIL BANKING ATM DRIVE-UP

### PLEASE READ THE FOLLOWING STATEMENT AND SIGN:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Paul J. Wolenski 10/10/2018  
Applicant (signature)

C/O BANK OF AMERICA, N.A.

---

# 54 W. Wilson Bridge Rd.





# Amendment to Development Plan Application

Case # ADP 08-18  
Date Received 10/12/218  
Fee \$50.00pd  
Meeting Date 10/25/2108  
Filing Deadline  
66084

- Property Location 54 WEST WILSON BRIDGE RD., WORTHINGTON, OH 43085
- Present Use & Proposed Use RETAIL BANKING ATM
- Present & Proposed Zoning C-2
- Applicant BANK OF AMERICA, N.A. (PAUL J. WOLENSKI)  
Address 13850 BALLANTYNE CORP. PL., CHARLOTTE, NC 28277  
Phone (330) 419-1446
- Property Owner WORTHINGTON SQUARE VENTURE, LLC  
Address 7227 N. High St., Ste 88, Worthington, OH 43085  
Phone 614-312-9535
- Project Description INSTALLATION OF RETAIL BANKING ATM  
SIGNAGE
- Variances Requested SIGNS ON THE WALK-UP ATM SURROUND  
SIGN ON THE DRIVE-UP ATM TOPPER

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Paul J. Wolenski  
Applicant (Signature)  
c/o BANK OF AMERICA, N.A.

10/10/2018  
Date

[Signature]  
Property Owner (Signature)

10-10-18  
Date

MPC Approval Date:

City Council Approval Date:

## **Bank of America ATM Center, 54 Wilson Bridge Road, Worthington, OH**

The proposed project will consist of the re-use of the existing building to install two remote ATMs, signage, and site lighting improvements, as well as repair and refurbishment of the currently vacant building façade. One drive-up ATM with a topper will be installed on a new concrete island under the rear building canopy that was formerly used for drive-up bank teller facilities. A second walk-up ATM will be installed at the front of the building in place of the current storefront entrance with an acrylic surround, and metal wrapped framed infill that will encompass the machine. The accompanying construction floor plan and rendered elevations of the ATMs depict the locations and appearance of each. Also included with this application are cut sheets of the ATM machines including each of their branded surrounds, site lighting / photometric plans, lighting cut sheets, bollard details, and proposed sign drawings.

The sign package consists of the refurbishment of the existing freestanding sign, the replacement of the wall sign on the west building façade, as well as ancillary / directional signage relative to the drive-up facility. Variances may be required for additional standard branding that is shown on the both ATM surrounds. This branding is important to identify the ATMs to customers on the front and rear of the building being that there is not signage proposed on either of these facades.

Site lighting improvements consist of the following improvements to achieve Bank security standards and are consistent with City code requirements:

1. Eight (8) new light poles have been proposed
2. Six (6) Canopy lights have been proposed
3. Eight (8) wall mounted sconces have been proposed
4. Eight (8) concrete filled bollards will be required around at grade light pole bases

# Bank of America

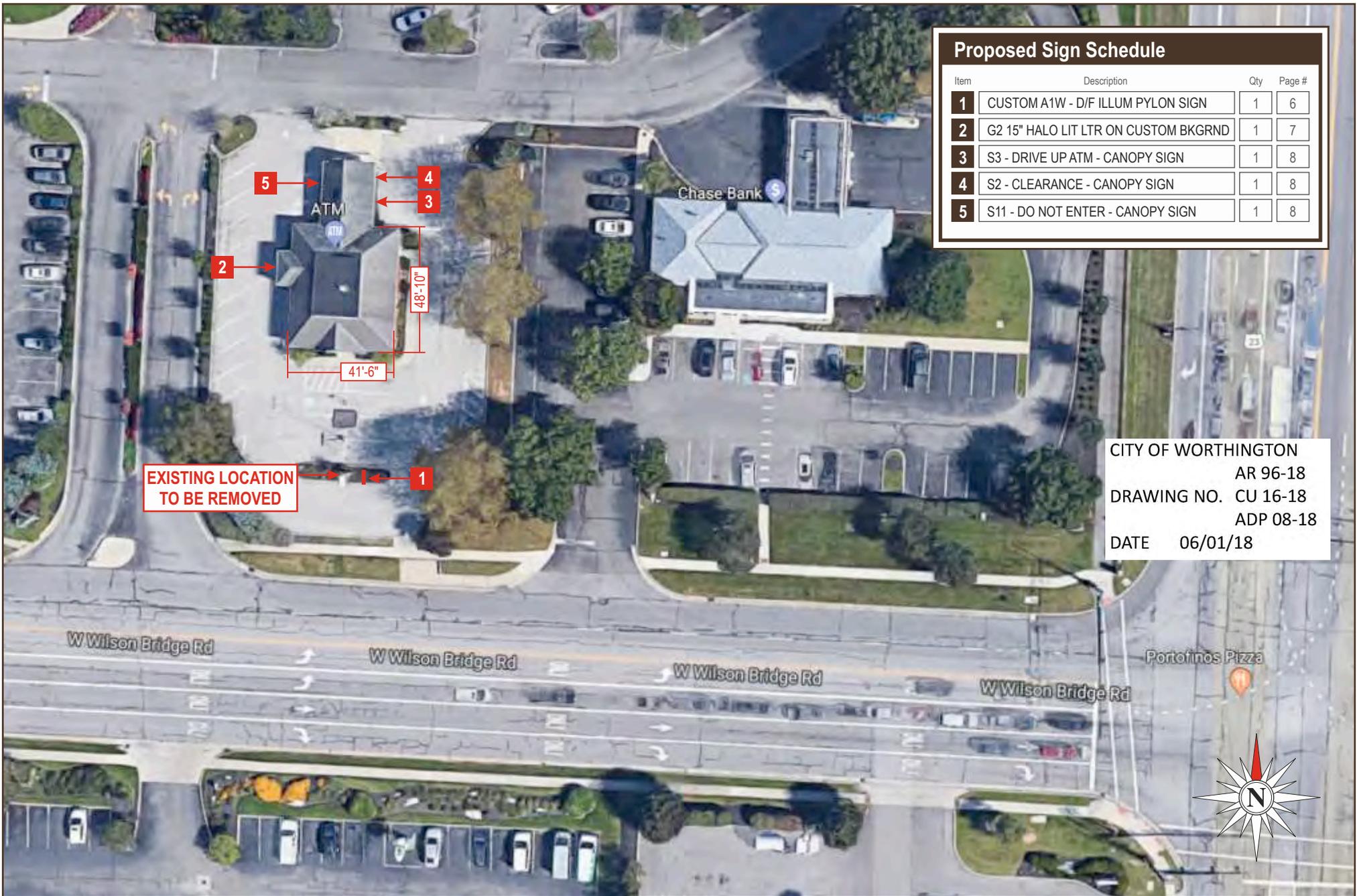


CITY OF WORTHINGTON  
AR 96-18  
DRAWING NO. CU 16-18  
ADP 08-18  
DATE 06/01/18

**Loc#: 15000**

54 W Wilson Bridge Rd  
Worthington, OH  
43085-2226

**ICON**



Proposed Sign Schedule			
Item	Description	Qty	Page #
1	CUSTOM A1W - D/F ILLUM PYLON SIGN	1	6
2	G2 15" HALO LIT LTR ON CUSTOM BKGRND	1	7
3	S3 - DRIVE UP ATM - CANOPY SIGN	1	8
4	S2 - CLEARANCE - CANOPY SIGN	1	8
5	S11 - DO NOT ENTER - CANOPY SIGN	1	8

CITY OF WORTHINGTON  
 AR 96-18  
 DRAWING NO. CU 16-18  
 ADP 08-18  
 DATE 06/01/18



Drawing prepared by: **SITE PLAN**

Location: 54 W Wilson Bridge Rd  
 Worthington, OH 43085-2226

File Path: Active\BANKS\B\Bank Of America\2018\Locations\4305\_15000\_Worthington\_OH\_R5.cdr

Proj #: 4305  
 Loc #: 15000

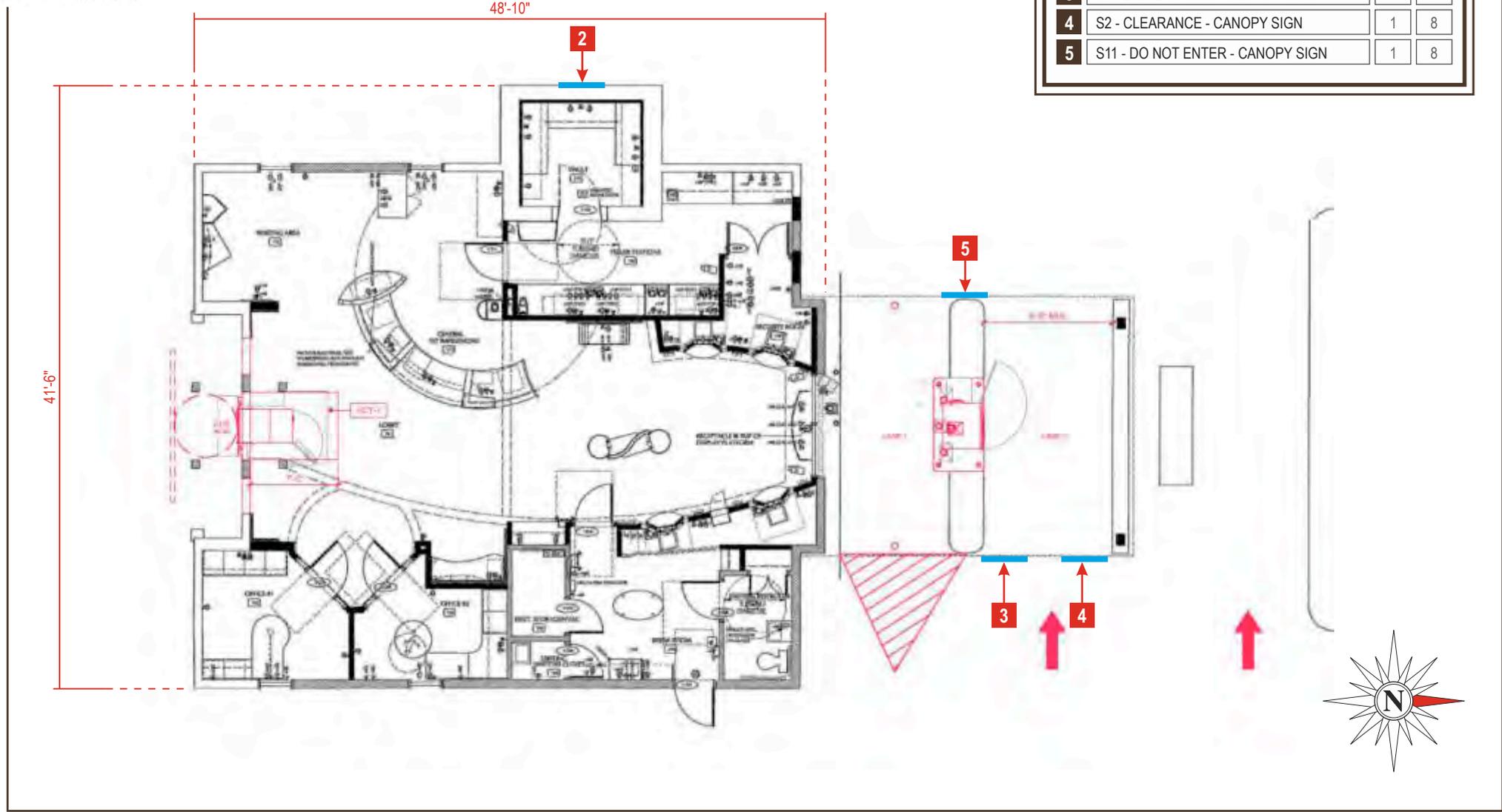


Drawing prepared for: **Bank of America**

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Original	301934	07/30/18	BW	AM	Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.	Rev 7	000000	00/00/00	XXX	XXX
Rev 1	302951	08/27/18	BW	AM	Revise Signs 1 with New and Sign 5 with updated vinyl	Rev 8	000000	00/00/00	XXX	XXX
Rev 2	303454	09/06/18	BW	AM	Various Changes; Reference Request Notes	Rev 9	000000	00/00/00	XXX	XXX
Rev 3	304246	09/25/18	BW	AM	Various Changes; Reference Request Notes	Rev 10	000000	00/00/00	XXX	XXX
Rev 4	304640	10/04/18	BW	Lv	Removed signs 2 & 3 - re-numbered BB					
Rev 5	304845	10/10/18	BW	Lv	Various Changes - See Request					
Rev 6	000000	00/00/00	XXX	XXX						

CITY OF WORTHINGTON  
 AR 96-18  
 DRAWING NO. CU 16-18  
 ADP 08-18  
 DATE 06/01/18

Proposed Sign Schedule				
Item	Description	Qty	Page #	
1	CUSTOM A1W - D/F ILLUM PYLON SIGN	1	6	
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Drawing prepared by: **ICON**

**SITE PLAN**

Location: 54 W Wilson Bridge Rd Ste 150  
 Worthington, OH 43085-2226

Proj #: 4305  
 Loc #: 15000

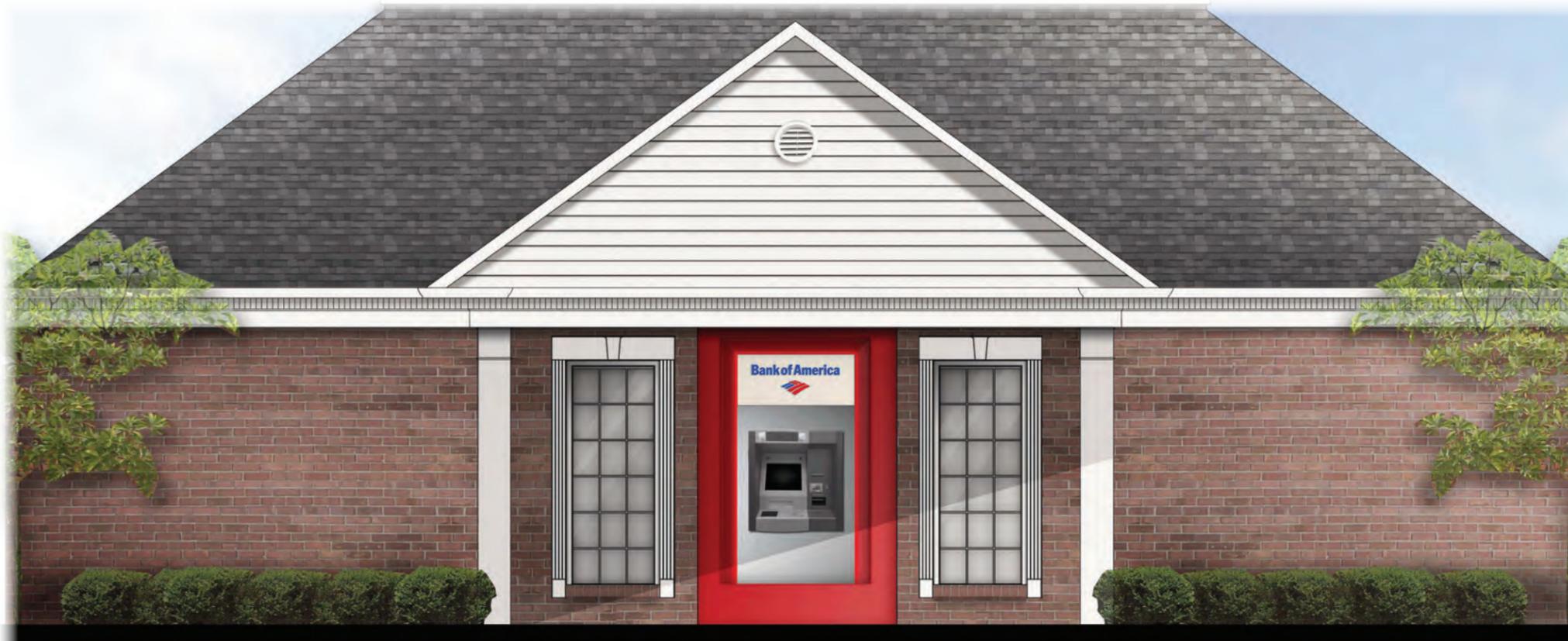
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Drawing prepared for: **Bank of America**

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Rev 1	302951	08/27/18	BW	AM	Revise Signs 1 with New and Sign 5 with updated vinyl	Rev 7	000000	00/00/00	XXX	XXX
Rev 2	303454	09/06/18	BW	AM	Various Changes; Reference Request Notes	Rev 8	000000	00/00/00	XXX	XXX
Rev 3	304246	09/25/18	BW	AM	Various Changes; Reference Request Notes	Rev 9	000000	00/00/00	XXX	XXX
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Rev 5	304845	10/10/18	BW	Lv	Various Changes - See Request					
Rev 6	000000	00/00/00	XXX	XXX						

Pg. 3

CITY OF WORTHINGTON  
AR 96-18  
DRAWING NO. CU 16-18  
ADP 08-18  
DATE 06/01/18



Walk up ATM



Drive up ATM

CITY OF WORTHINGTON  
 AR 96-18  
 DRAWING NO. CU 16-18  
 ADP 08-18  
 DATE 06/01/18



\*RENDERING IS APPROX. ACTUAL LOOK MAY SLIGHTLY VARY

**WEST ELEVATION**

SCALE: NTS

Drawing prepared by:

**ELEVATION**

Location: 54 W Wilson Bridge Rd  
 Worthington, OH 43085-2226  
 File Path: Active\BANKS\B\Bank Of America\2018\Locations\4305\_15000\_Worthington\_OH\_R5.cdr

Proj #: 4305  
 Loc #: 15000

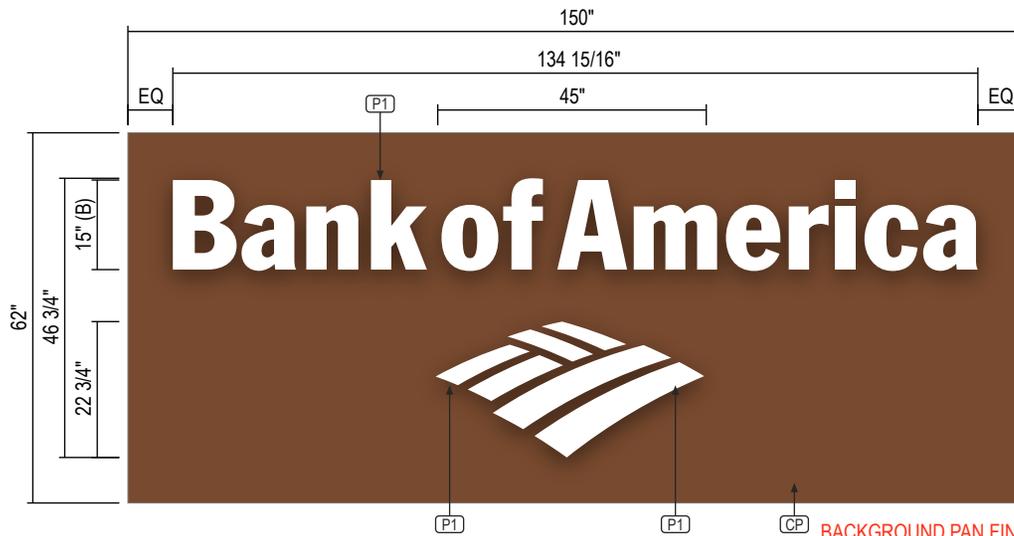
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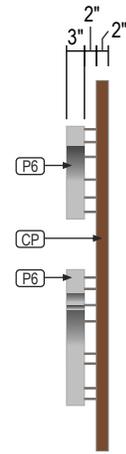
Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Rev #:	Req#:	Date:	Req. By:	Drawn By:
Original	301934	07/30/18	BW	AM		Rev 7	000000	00/00/00	XXX	XXX
Rev 1	302951	08/27/18	BW	AM	Revise Signs 1 with New and Sign 5 with updated vinyl	Rev 8	000000	00/00/00	XXX	XXX
Rev 2	303454	09/06/18	BW	AM	Various Changes; Reference Request Notes	Rev 9	000000	00/00/00	XXX	XXX
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Rev 5	304845	10/10/18	BW	Lv	Various Changes - See Request					
Rev 6	000000	00/00/00	XXX	XXX						

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.





**DESIGN LOADS:**  
 115 MPH WIND LOAD  
 RISK CATEGORY II, EXPOSURE C.  
 2012 INTERNATIONAL  
 BUILDING CODE, SECTION 16  
 WIND LOAD, ASCE 7-10



**2 G2 - 15" HALO LIT CHANNEL LETTER ON CUSTOM BACKGROUND PAN** 43.55 SQ FT  
 QTY: 1 SCALE: 3/8"=1'-0"  
 STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

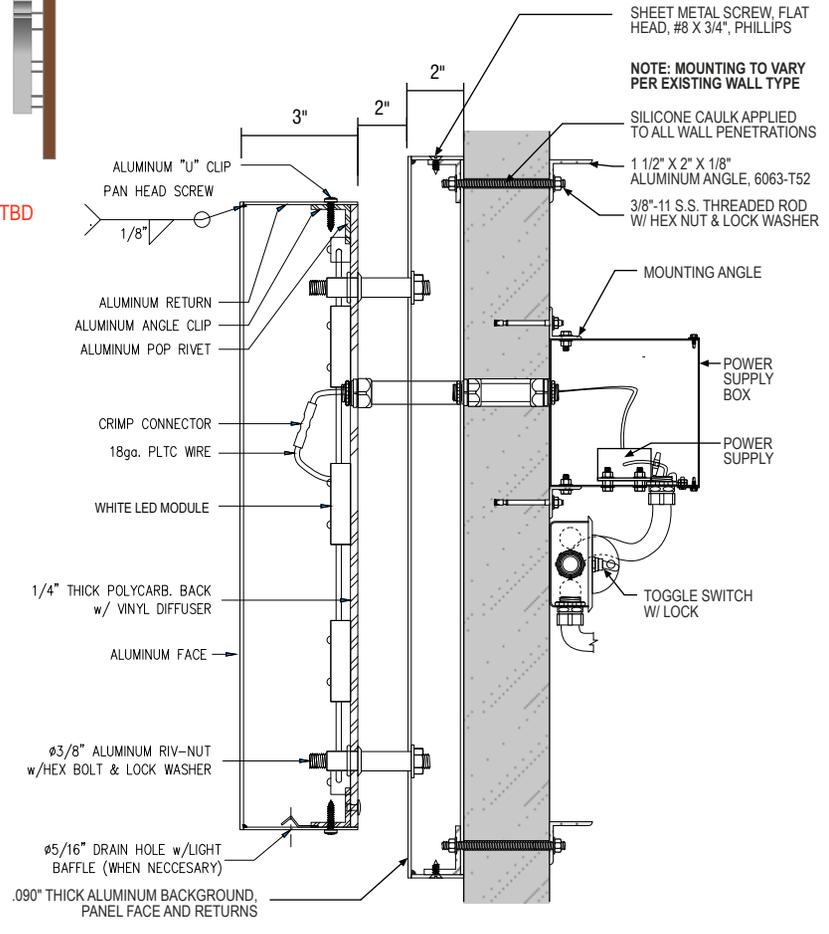
**GENERAL REQUIREMENTS**

1. ALL LETTER SETS REQUIRE A U.L. LABEL
2. LETTERS ARE DESIGNED TO MEET THE 2012 INTERNATIONAL BUILDING CODE ASCE 7-10 SECTION 16, 115 MPH WIND LOAD. RISK CATEGORY II, EXPOSURE C.
3. LETTERS TO BE INSTALLED ACCORDING TO NEC AND/OR APPLICABLE LOCAL CODES
4. THE DISCONNECT MUST BE PLACED IN DIRECT VIEW OF SIGN
5. USE WHITE SILICONE TO CONCEAL LIGHT LEAKS

ELECTRICAL			
AMPS:	1.2	AMPS	
V.A.:	120	VOLTS	WATTS: 144
CIRCUITS:	1-20 amp CIRCUIT		

CITY OF WORTHINGTON  
 AR 96-18  
 DRAWING NO. CU 16-18  
 ADP 08-18  
 DATE 06/01/18

WALL TYPE	CMU, BRICK	PRE-CAST CONCRETE, CONCRETE	WOOD, CONCRETE BLOCK, EIFS WALL SYSTEMS	EIFS WALL W/ FOAM INSULATION
SECTION				
ANCHOR TYPE	ø1/2" SLEEVE ANCHOR (ø3/8" BOLT), 2" MIN. EMBEDMENT	ø3/8" EXPANSION ANCHOR, 2 1/2" MIN. EMBEDMENT	ø3/8" THREADED ROD	ø3/8" THREADED ROD W/ ALUMINUM OR PVC COMPRESSION SLEEVE



**TYPICAL SECTION DETAIL**

SCALE: NOT TO SCALE

Drawing prepared by:



**RECOMMENDATION**

Location: 54 W Wilson Bridge Rd  
 Worthington, OH 43085-2226  
 File Path: Active\BANKS\B\Bank Of America\2018\Locations\4305\_15000\_Worthington\_OH\_R5.cdr



Drawing prepared for:

Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.
Original	301934	07/30/18	BW	AM		
Rev 1	302951	08/27/18	BW	AM	Revise Signs 1 with New and Sign 5 with updated vinyl	Rev #: 000000 Date: 00/00/00 Req. By: XXX Drawn By: XXX
Rev 2	303454	09/06/18	BW	AM	Various Changes; Reference Request Notes	Rev 7 000000 00/00/00 XXX XXX
Rev 3	304246	09/25/18	BW	AM	Various Changes; Reference Request Notes	Rev 8 000000 00/00/00 XXX XXX
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Rev 5	304845	10/10/18	BW	Lv	Various Changes - See Request	Rev 10 000000 00/00/00 XXX XXX
Rev 6	000000	00/00/00	XXX	XXX		

CITY OF WORTHINGTON  
 AR 96-18  
 DRAWING NO. CU 16-18  
 ADP 08-18  
 DATE 06/01/18



EXISTING



PROPOSED

**1 CUSTOM A1W - 12'-0" D/F ILLUMINATED PYLON SIGN - WHITE (26.28 SQ. FT.)**

QTY: 1

SCALE: NTS

RENDERING IS APPROX. AND NOT EXACT; FIELD SURVEY REQUIRED

Drawing prepared by:

**RECOMMENDATION**



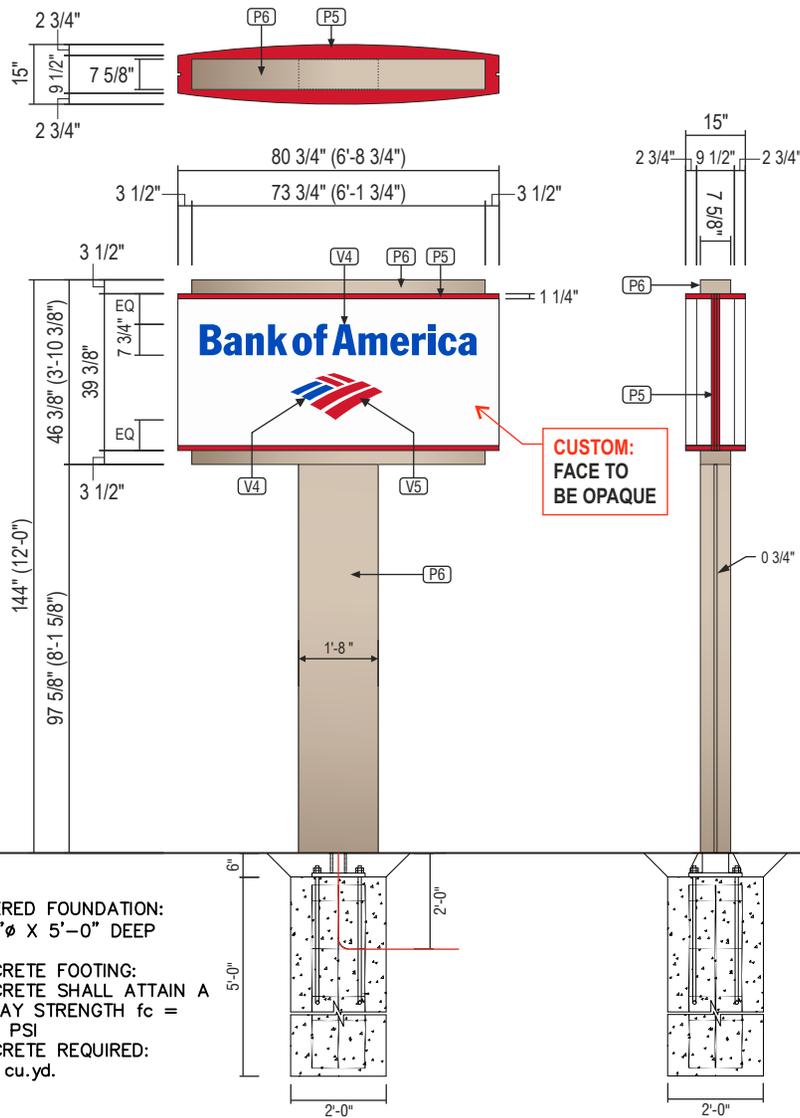
Location: 54 W Wilson Bridge Rd  
 Worthington, OH 43085-2226  
 File Path: Active\BANKS\Bank Of America\2018\Locations\4305\_15000\_Worthington\_OH\_R5.cdr

Proj #: 4305  
 Loc #: 15000

Drawing prepared for:



Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.
Original	301934	07/30/18	BW	AM		
Rev 1	302951	08/27/18	BW	AM	Revise Signs 1 with New and Sign 5 with updated vinyl	Rev #: 000000 Date: 00/00/00 Req. By: XXX Drawn By: XXX
Rev 2	303454	09/06/18	BW	AM	Various Changes; Reference Request Notes	Rev 7 000000 00/00/00 XXX XXX
Rev 3	304246	09/25/18	BW	AM	Various Changes; Reference Request Notes	Rev 8 000000 00/00/00 XXX XXX
Rev 4	304640	10/04/18	BW	Lv	Removed signs 2 & 3 - re-numbered BB	Rev 9 000000 00/00/00 XXX XXX
Rev 5	304845	10/10/18	BW	Lv	Various Changes - See Request	Rev 10 000000 00/00/00 XXX XXX
Rev 6	000000	00/00/00	XXX	XXX		Pg. 5



AUGERED FOUNDATION:  
2'-0"Ø X 5'-0" DEEP

CONCRETE FOOTING:  
CONCRETE SHALL ATTAIN A  
28 DAY STRENGTH  $f_c =$   
3000 PSI  
CONCRETE REQUIRED:  
0.52 cu.yd.

ALTERNATE FOUNDATION:  
(DUG) 3'-0" X 3'-0" X  
4'-0" DEEP  
CONCRETE REQUIRED:  
1.33 cu.yd.

TOLERANCE:  $\pm 1/16"$  ON  
ALL DIMENSIONS

USE BLACK SILICONE TO  
CONCEAL LIGHT LEAKS

DESIGN LOADS:  
WIND LOAD = 110 mph  
EXPOSURE "C"  
SOIL RESISTANCE:  
200 PSF/FT

2009 INTERNATIONAL  
BUILDING CODE:  
ASCE 7-05

AREA/WEIGHT	
SIGN SQUARE FOOTAGE:	
HEADER	28 sq. ft.
BASE	14 sq. ft.
SIGN ESTIMATED WEIGHT	
HEADER	377 Lb.
BASE	350 Lb.



THIS SIGN IS INTENDED TO BE  
INSTALLED IN ACCORDANCE WITH THE  
REQUIREMENTS OF ARTICLE 600 OF  
THE NATIONAL ELECTRICAL CODE  
AND/OR OTHER APPLICABLE LOCAL  
CODES. THIS INCLUDES PROPER  
GROUNDING AND BONDING OF SIGN.

NOTE: SIGN IS TO BE WIRED WITH 14  
GAGE AWM 105C PER DIAGRAM ON  
BALLAST. ELECTRICAL LEADS TO BE 12  
GAGE MTW WIRE. SIGN MUST BE  
GROUNDED WITH 14 GAGE GREEN WIRE.

ELECTRICAL	
LAMPS	(8) F42T-12 D.H.O.
BALLAST	(2) ESB432-14 (SIGNA)
AMPS	4.68
V.A.	120 VOLTS                      WATTS 562
CIRCUITS	1-20 AMP

**1 CUSTOM A1W - 12'-0" D/F ILLUMINATED PYLON SIGN - WHITE (26.28 SQ. FT.)**

QTY: 1  
STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

SCALE: 1/4"=1'-0"

CITY OF WORTHINGTON  
AR 96-18  
DRAWING NO. CU 16-18  
ADP 08-18  
DATE 06/01/18

Drawing prepared by: **RECOMMENDATION**

**ICON**

Location: 54 W Wilson Bridge Rd  
Worthington, OH 43085-2226

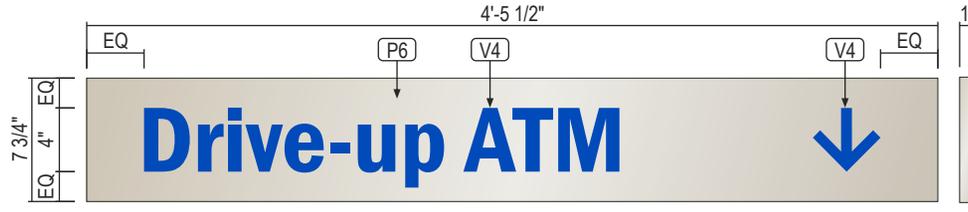
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Drawing prepared for: **Bank of America**

Proj #: 4305  
Loc #: 15000

Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.				
Original	301934	07/30/18	BW	AM		Rev #:	Req#:	Date:	Req. By:	Drawn By:
Rev 1	302951	08/27/18	BW	AM	Revise Signs 1 with New and Sign 5 with updated vinyl	Rev 7	000000	00/00/00	XXX	XXX
Rev 2	303454	09/06/18	BW	AM	Various Changes; Reference Request Notes	Rev 8	000000	00/00/00	XXX	XXX
Rev 3	304246	09/25/18	BW	AM	Various Changes; Reference Request Notes	Rev 9	000000	00/00/00	XXX	XXX
Rev 4	304640	10/04/18	BW	Lv	Removed signs 2 & 3 - re-numbered BB	Rev 10	000000	00/00/00	XXX	XXX
Rev 5	304845	10/10/18	BW	Lv	Various Changes - See Request					
Rev 6	000000	00/00/00	XXX	XXX						

Pg. 6



**3 S3 - DRIVE UP ATM - CANOPY SIGN**

QTY: 1

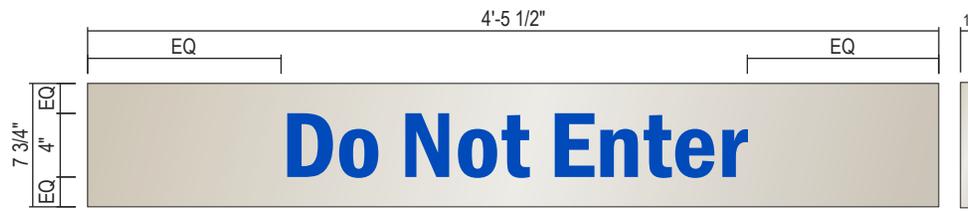
SCALE: 1"=1'-0"



**6 S2 - CLEARANCE - CANOPY SIGN**

QTY: 1

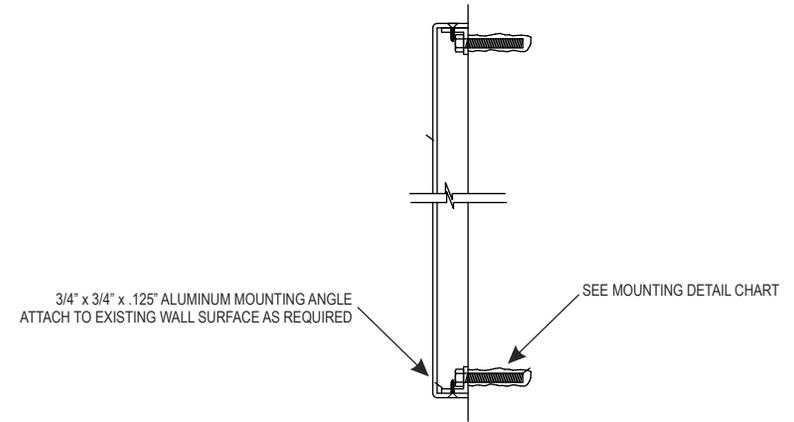
SCALE: 1"=1'-0"



**5 S11 - DO NOT ENTER - CANOPY SIGN**

QTY: 1

SCALE: 1"=1'-0"



**VERTICAL SECTION**

SCALE: 3"=1'-0"



**PROPOSED**

Drawing prepared by:

**RECOMMENDATION**

Location: 54 W Wilson Bridge Rd  
 Worthington, OH 43085-2226  
 File Path: Active\BANKS\B\Bank Of America\2018\Locations\4305\_15000\_Worthington\_OH\_R5.cdr

Proj #: 4305  
 Loc #: 15000

Drawing prepared for:



Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Rev #:	Req#:	Date:	Req. By:	Drawn By:
Original	301934	07/30/18	BW	AM						
Rev 1	302951	08/27/18	BW	AM	Revise Signs 1 with New and Sign 5 with updated vinyl	Rev 7	000000	00/00/00	XXX	XXX
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Rev 5	304845	10/10/18	BW	Lv	Various Changes - See Request					
Rev 6	000000	00/00/00	XXX	XXX						

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.





Consultant:

Description:	No:	By:	Date:
Issue for SD Review	1	JP	07.27.2018
Issue for Permit, Pricing & Construction	1	CM	8.29.2018



Client:  
Bank of America - RATM WILSON BRIDGE RD.  
54 W Wilson Bridge Road  
Worthington, OH 43085

Project Title & Address:

**Construction Plan**

Sheet Title:

Seal:

Robert A. Rink, License #ARC.9611342 Expiration Date: 12/31/2018
Proj. No: 035545.000 Designer: JP
Drawn By: Reviewed By: JA
Project Manager: PW Approved By: JA

## A2.0

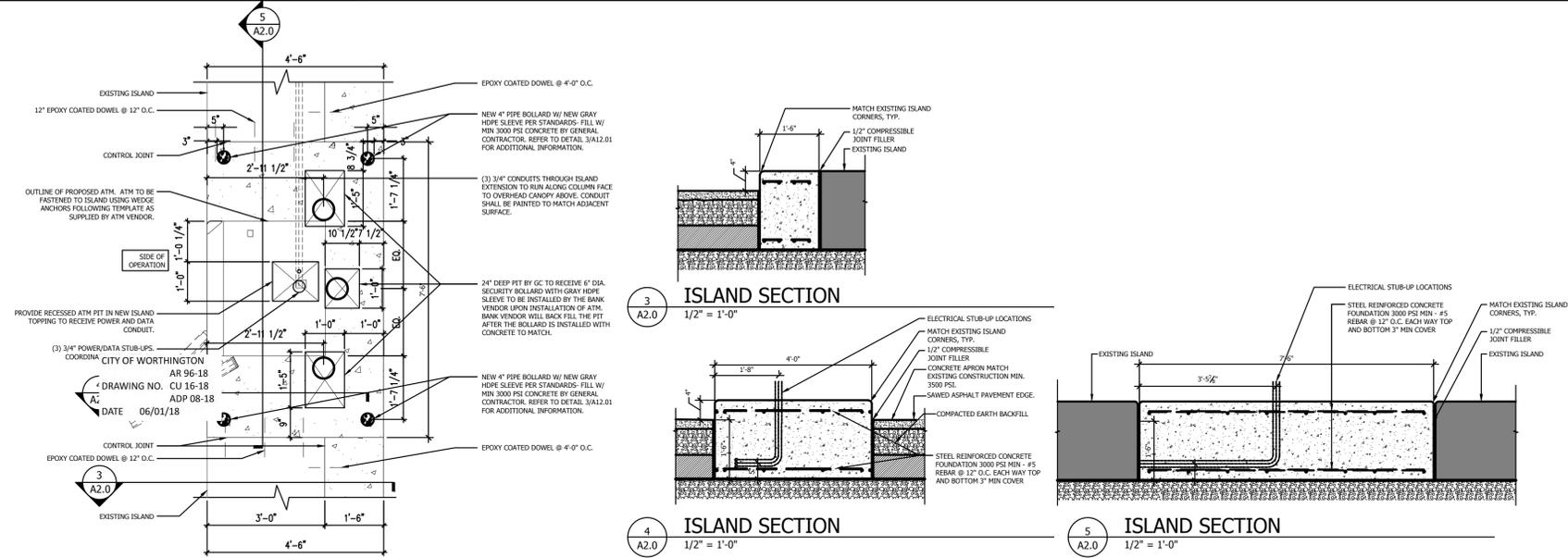
ALL DIMENSIONS AND CONDITIONS MUST BE CHECKED AND VERIFIED ON SITE BY THE CONTRACTOR AND SUB-CONTRACTORS PRIOR TO PERFORMING THE WORK. THE PROJECT MANAGER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.  
© NELSON WORLDWIDE, INC. 2017 ALL RIGHTS RESERVED

### CONSTRUCTION KEY NOTES: ☺

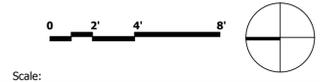
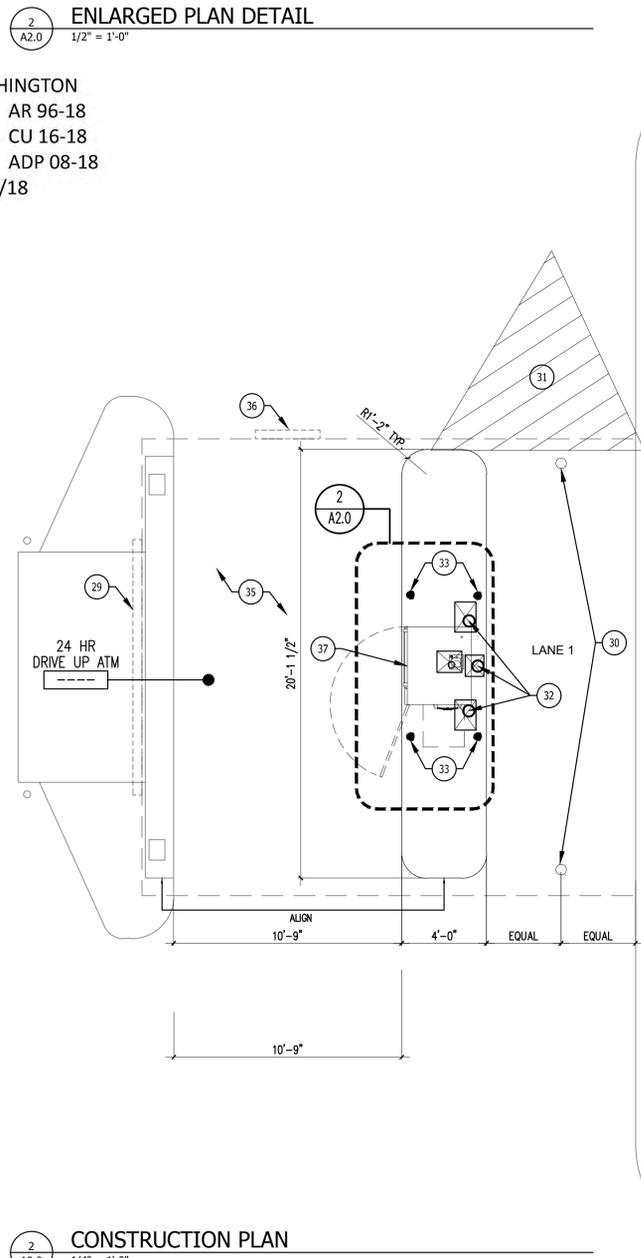
20. NOT USED.
21. INSTALL NEW ATMs (REFER TO ORDERING MATRIX FOR SPECIFIC MODEL) PER MANUFACTURER SPECIFICATIONS. VERIFY MODEL NUMBERS WITH CLIENT REPRESENTATIVES AND BANK DEPLOYMENT TEAM PRIOR TO ORDERING/INSTALLING ANY EQUIPMENT. SEE A7.1 FOR MORE INFORMATION. VERIFY THRESHOLD DOES NOT EXCEED HEIGHTS PER ADA AND LOCAL ACCESSIBILITY CODE GUIDELINES. REPLACE WITH COMPLIANT THRESHOLD AS REQUIRED.
22. NOT USED.
23. NOT USED.
24. TACTILE EXIT SIGN PER ADA REQUIREMENTS. SEE 10/AN3 FOR ADDITIONAL INFORMATION.
25. NOT USED.
26. CONFIRM POWER REQUIREMENTS FOR NER CABINET WITH SECURITY VENDOR. PROVIDE (1) 4x8 SHEET FRP PLYWOOD, TO BE USED AS BACKBOARD FOR TECHNOLOGY, COORDINATE FINAL LOCATION AND MOUNTING HEIGHT WITH VENDOR. RECOMMENDED FLOOR CLEARANCE SHOWN (3'-0") BY WIDTH OF PANELS.
27. NOT USED.
28. COORDINATE EXTERIOR SIGNAGE WITH VENDOR. PROVIDE POWER/J-BOX AS REQUIRED.
29. PROVIDE 6" DIAMETER BOLLARD PER DETAIL X/A2.0. BOLLARDS TO RECEIVE BOLLARD COVERS THAT ARE "YELLOW WITH RED STRIPES."
30. PROVIDE STRIPING TO INDICATE THAT LANE 1 IS CLOSED.
31. PROVIDE 6" DIAMETER BOLLARD PER DETAIL X/A2.0. BOLLARDS TO RECEIVE BOLLARD COVERS THAT ARE "GRAY WITH RED STRIPES."
32. PROVIDE 4" DIAMETER BOLLARD PER DETAIL X/A2.0. BOLLARDS TO RECEIVE BOLLARD COVERS THAT ARE "GRAY WITH RED STRIPES." GC TO ENSURE THAT CORE DRILLING THE HOLE FOR THE BOLLARD DOES NOT INTERFERE WITH ATM ELECTRICAL CONDUIT.
33. NEW CONCRETE PAD & REBUILT ISLAND FOR ATM. REFER TO DETAIL X/A2.0 FOR MORE INFORMATION. PROVIDE 12" EPOXY COATED DOWELS AT 12" O.C. FROM CONCRETE TO CONCRETE. EDGES SHALL MATCH EXISTING CONSTRUCTION.
34. GC TO COORDINATE WITH JLL PM IF THERE ARE ANY UNIQUE SECURITY FIXTURE INSTALLATIONS PROPOSED AT THIS SITE BY THE BANK OF AMERICA FOR THIS ATM INSTALLATION. FOR EXAMPLE, SECURITY CAMERAS, MONITORS, ETC.
35. PROVIDE NEW "DRIVE-UP ATM" SIGNAGE AT CANOPY, CENTERED ABOVE LANE. MATCH THE MOUNTING HEIGHT OF EXISTING ATM SIGNAGE.
36. PROVIDE NG-2.0 TOPPER
37. PROVIDE NG-2.0 TOPPER

### CONSTRUCTION NOTES:

- A. REFER TO NOTE SHEETS AN1, AN2, AN3, AND AN4.
- B. PROTECT AREAS NOT IN SCOPE OF WORK DURING DEMOLITION AND CONSTRUCTION. ERECT BARRIERS AS NECESSARY TO PROTECT OTHER AREAS FROM DUST AND DEBRIS. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES IN REGARDS TO PERSONAL AND PROPERTY SAFETY DURING DEMOLITION AND CONSTRUCTION.
- C. ANY OTHER AREAS DAMAGED DURING DEMOLITION AND CONSTRUCTION SHALL BE REPAIRED TO ORIGINAL CONDITION.
- D. REMOVE ALL TOOLS AND EQUIPMENT AND LEAVE JOB SITE CLEAN AT THE END OF EACH DAY. DISPOSE OF ALL DEBRIS PROPERLY.
- E. SMOOTH AND PREPARE SURFACES FOR NEW FINISH WHERE DEMOLITION OCCURS.
- F. FOR ALL AREAS TO BE DEMOLISHED, REMOVE ALL ATTACHMENTS, FASTENERS, SCRAPE SURFACES SMOOTH, FILL HOLES AND PATCH TO PREP FOR NEW WORK ACCORDING TO SPECS.
- G. ALL PARTITIONS TO BE TYPE "A1", UNLESS OTHERWISE NOTED. REFER TO SHEET A7.0 FOR PARTITION TYPES.
- H. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
- I. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT AND ACCESSORIES MOUNTED ON WALLS.
- J. VERIFY ALL (E) PARTITIONS TO REMAIN MEET CURRENT CODE REQUIREMENTS INCLUDING SEISMIC BRACING, IF NOT CORRECT AS REQUIRED.
- K. PROVIDE BLOCKING IN ALL WALLS TO RECEIVE MECHANISING SIGNAGE. COORDINATE WITH SIGNAGE VENDOR.



CITY OF WORTHINGTON  
AR 96-18  
DRAWING NO. CU 16-18  
ADP 08-18  
DATE 06/01/18



**CS 7790 ADVANCED FUNCTION  
BANK of AMERICA - DRIVE-UP ISLAND ATM  
WITH 13mm CEN L SAFE**

CITY OF WORTHINGTON  
AR 96-18  
DRAWING NO. CU 16-18  
ADP 08-18  
DATE 06/01/18

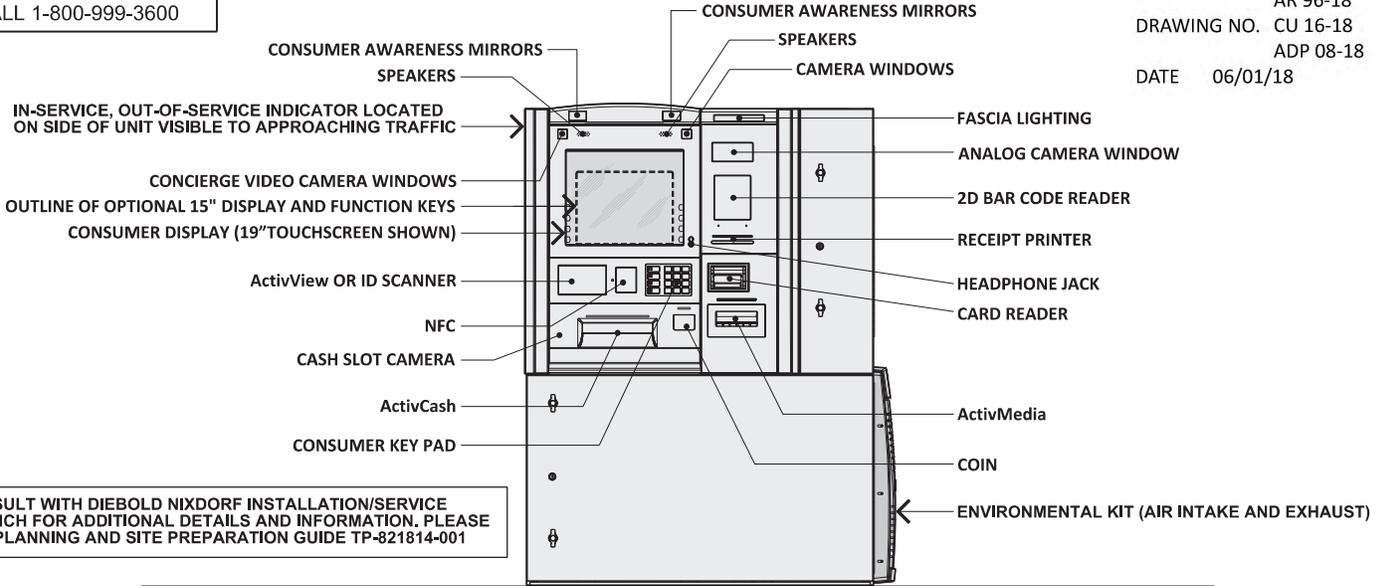
L1215 BA

CALL 1-800-999-3600

DIMENSIONS IN MILLIMETRES  
(DIMENSIONS IN INCHES)

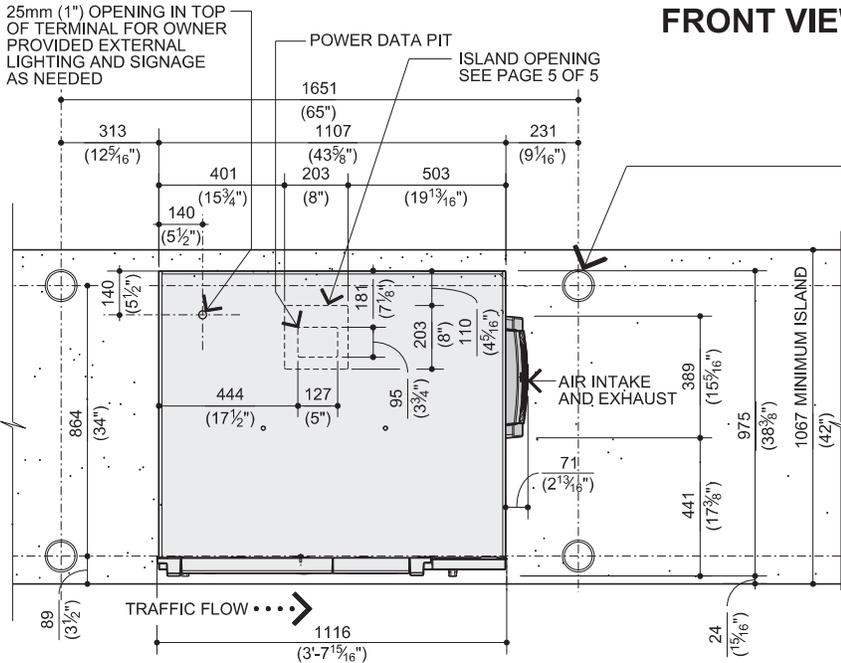


CONSULT WITH DIEBOLD NIXDORF INSTALLATION/SERVICE  
BRANCH FOR ADDITIONAL DETAILS AND INFORMATION. PLEASE  
SEE PLANNING AND SITE PREPARATION GUIDE TP-821814-001



**FRONT VIEW**

Unit to be used in conjunction with:  
- FRAME-R-TOP-D7790 (If Specified).  
- FRAME-R-UB-DU-D7790



(4) GUARD POST PIPES TO BE 102mm (4") DIA. FILLED WITH CONCRETE  
(ALL BY OWNER'S GENERAL CONTRACTOR). 00-051019-000C GUARD  
POST SLEEVE (OPTIONAL EXTRA) SLIPS OVER 102mm (4") TO 114mm (4 1/2")  
DIA. PIPE. MAXIMUM HEIGHT 1321mm (4'-4")

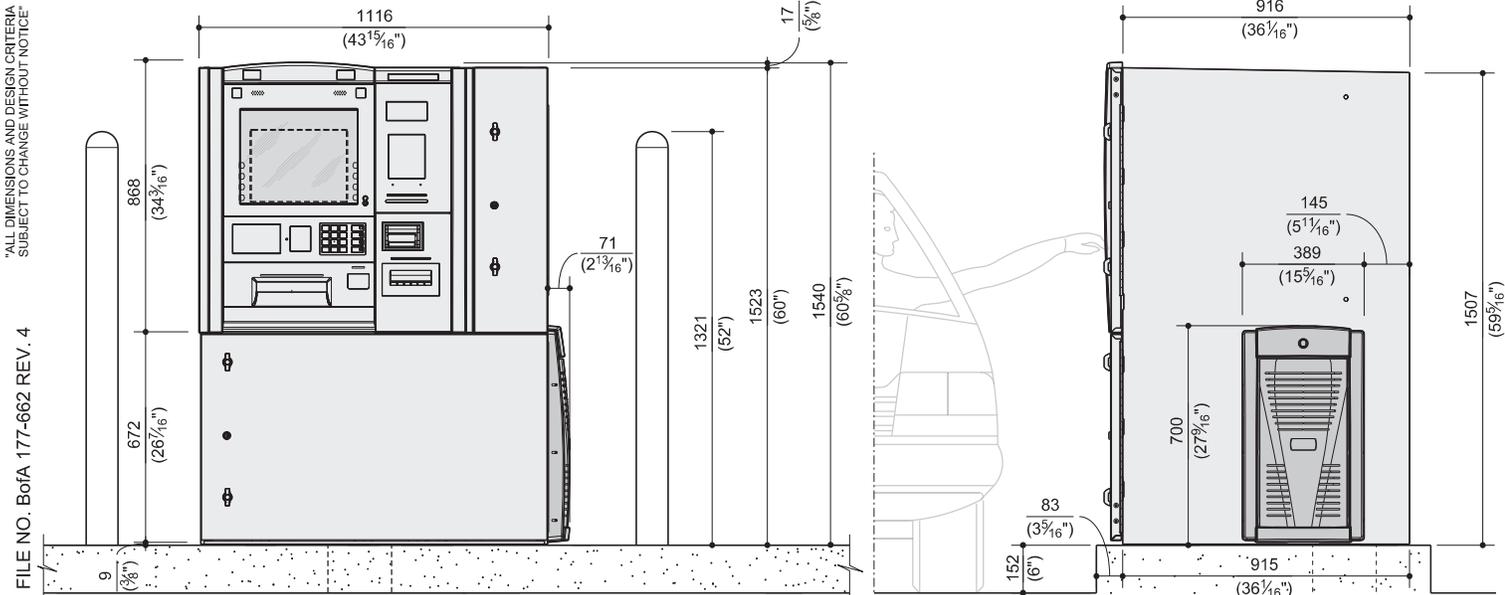
RECOMMENDED SIZE AND LOCATION FOR NEW CONSTRUCTION.  
EXISTING GUARD POST MAY OR MAY NOT NEED RELOCATED.  
LOCATION MUST NOT INTERFERE WITH SERVICE AREA REQUIREMENTS.

**NOTE:**

DIEBOLD NIXDORF ATMS ARE SPECIFICALLY DESIGNED TO MEET  
VARIOUS USER CRITERIA FOR DRIVE-UP APPLICATIONS  
INCLUDING REACH, PRIVACY AND SCREEN VIEW ABILITY.

THE CUSTOMER ACCEPTS ALL RESPONSIBILITY FOR ANY  
REDUCTION IN USER CONVENIENCE, VISIBILITY AND PRIVACY  
RISK ISSUES ASSOCIATED WITH USING DIEBOLD NIXDORF ATMS  
OUTSIDE OF THEIR INTENDED APPLICATIONS.

**PLAN VIEW**



**FRONT VIEW**

**SIDE VIEW**



### POWER REQUIREMENTS:

THE ATM REQUIRES SINGLE-PHASE THREE WIRE UNSWITCHED POWER. WIRING TO THE ATM MUST USE A THIRD-WIRE EARTH GROUND (CONDUIT GROUND IS NOT ACCEPTABLE). THE POWER SUPPLIED MUST BE AS SPECIFIED BELOW.

#### CHOOSE AND SUPPLY THE PROPER POWER FOR THE SITE:

- 100-127 VAC (+6%, -10%) AT 50 (±1%) Hz, SINGLE-PHASE
- 100-127 VAC (+6%, -10%) AT 60 (±1%) Hz, SINGLE-PHASE
- 200-240 VAC (±10%) AT 50 (±1%) Hz, SINGLE-PHASE
- 200-240 VAC (±10%) AT 60 (±1%) Hz, SINGLE-PHASE

POWER TO THE ATM IS TO BE A DEDICATED SERVICE AND MUST BE PROTECTED BY A SAFETY QUICK-DISCONNECT DEVICE TO BREAK LINE VOLTAGE (SUCH AS A CIRCUIT BREAKER AT THE ELECTRICAL SERVICE PANEL). THE QUICK DISCONNECT DEVICE (OR CIRCUIT BREAKER) MUST TURN OFF THE LINE VOLTAGE AT THE AMPERAGE SPECIFIED BELOW.

- 100-127 VAC SERVICE, DISCONNECT AT 30 AMPERES
- 200-240 VAC SERVICE, DISCONNECT AT 15 AMPERES

#### POWER USAGE:

MACHINE STATUS	(A)
IDLE (NO TRANSACTION) (NO HEATER)	280 WATTS
IDLE (NO TRANSACTION) (WITH HEATER)	1800 WATTS
CASH DEPOSIT	350 WATTS
CASH DISPENSE	320 WATTS

BAC Standard is 120V, 30A dedicated circuit with isolated ground.

#### TERMINAL CONFIGURATION:

- (A) ActivCore HIGH END, 19" SVD, ActivDispense, ActivMedia, ActivEdge CARD READER, 80mm RECEIPT PRINTER, BATTERY PACK, REAR DISPLAY, JOURNAL PRINTER, CONTACTLESS CARD READER, LOWER CONTROL CARD, 7" DISPLAY, AND TASK LIGHTS.

THE POWER USE DEPENDS ON THE NUMBER AND TYPE OF DEVICES PRESENT IN THE TERMINAL, AND THE TYPE OF TRANSACTION THE TERMINAL IS PERFORMING.

#### HEAT OUTPUT CONFIGURATION:

- (A) 955 - BTU/HR - IDLE (NO HEATER)
- (A) 6138 - BTU/HR - IDLE (WITH HEATER)
- 1194 - BTU/HR - CASH DEPOSIT
- 1092 - BTU/HR - CASH DISPENSE

### SPECIFICATIONS

#### OPERATING ENVIRONMENT:

- 35° C TO 50° C (-31° F TO 122° F)
- 15% TO 100% RELATIVE HUMIDITY.

#### NOTE:

IF THE AVERAGE DAILY MAXIMUM TEMPERATURE IN ANY ONE MONTH EXCEEDS 40° C (104° F), THE EXTREME ENVIRONMENTAL KIT (AIR CONDITIONER) IS STRONGLY RECOMMENDED.

#### CANOPY REQUIREMENT:

IT IS RECOMMENDED THE UNIT BE PLACED UNDER COVER/CANOPY FOR OPERATOR/SERVICE AND SUN PROTECTION.

#### WEIGHT OF UNIT:

1,293kg (2,850 LBS.)

#### ALARM PROTECTION:

THE UL-LISTED SAFE IS EQUIPPED WITH A BASIC ALARM SENSOR PACKAGE. THE BASIC PACKAGE INCLUDES A SAFE DOOR OPEN SWITCH, ALARM SHUNTING SWITCH, AND RATE-OF-RISE HEAT SENSOR.

#### RECOMMENDED ISLAND:

1066mm (3'-6") WIDE X 152mm (6") HIGH X 203mm (8") MIN. THICKNESS

#### PHYSICAL SECURITY:

##### CEN L SAFE

THE SAFE MEETS THE REQUIREMENTS FOR EN 1143-1 CEN-L RESISTANCE GRADE FOR ATM SAFES. TO MEET REQUIREMENTS OF CEN L, THE UNIT MUST BE ANCHORED TO A CONCRETE PAD OF 152mm (6") MIN. THICKNESS USING ALL (4) OF THE 203mm (8") LONG WEDGE ANCHORS PROVIDED (DIEBOLD NIXDORF PART NUMBER 29-016376-000E, HILTI PART NUMBER 282520). INSTALL ANCHORS IN ACCORDANCE WITH INSTALLATION TEMPLATE 41-026655 (ALSO PROVIDED).

Regardless if Topper is specified or not, rough-in for Topper power.

DIMENSIONS IN MILLIMETRES  
(DIMENSIONS IN INCHES)



THIRD ANGLE  
PROJECTION

### CONSUMER ACCESS DIMENSIONS

Highest Operable Point for this device is 58" about the bottom of the unit, which is 2.75" below the top of the monitor.

	HEIGHT	DEPTH
(A) TOP OF 19" CONSUMER DISPLAY	1541mm (60 <sup>1</sup> / <sub>16</sub> "	83mm (3 <sup>1</sup> / <sub>16</sub> "
(B) BOTTOM OF CONSUMER DISPLAY	1240mm (48 <sup>1</sup> / <sub>16</sub> "	69mm (2 <sup>3</sup> / <sub>16</sub> "
(C) ActivView OR ID SCANNER	1127mm (44 <sup>3</sup> / <sub>8</sub> "	71mm (2 <sup>13</sup> / <sub>16</sub> "
(D) EPP KEY	1137mm (44 <sup>3</sup> / <sub>4</sub> "	74mm (2 <sup>7</sup> / <sub>8</sub> "
(E) ActivCash	958mm (37 <sup>1</sup> / <sub>16</sub> "	74mm (2 <sup>7</sup> / <sub>8</sub> "
(F) 2D BARCODE SCANNER (OPTION)	1391mm (54 <sup>3</sup> / <sub>4</sub> "	71mm (2 <sup>13</sup> / <sub>16</sub> "
(G) RECEIPT PRINTER	1242mm (48 <sup>1</sup> / <sub>16</sub> "	54mm (2 <sup>1</sup> / <sub>8</sub> "
(H) HEADPHONE JACK	1242mm (48 <sup>1</sup> / <sub>16</sub> "	41mm (1 <sup>5</sup> / <sub>8</sub> "
(I) CARD READER	1119mm (44 <sup>1</sup> / <sub>16</sub> "	71mm (2 <sup>13</sup> / <sub>16</sub> "
(J) ActivMedia	987mm (38 <sup>7</sup> / <sub>8</sub> "	41mm (1 <sup>5</sup> / <sub>8</sub> "
(K) COIN	968mm (38 <sup>1</sup> / <sub>8</sub> "	41mm (1 <sup>5</sup> / <sub>8</sub> "

CITY OF WORTHINGTON

AR 96-18

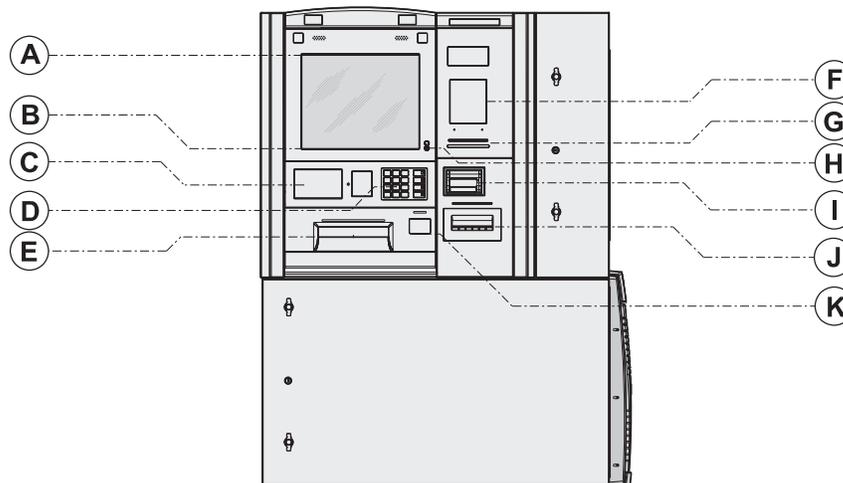
DRAWING NO. CU 16-18

ADP 08-18

DATE 06/01/18

HEIGHT - FROM DRIVE LEVEL

DEPTH - FROM FRONT EDGE OF ISLAND



CALL 1-800-999-3600

CITY OF WORTHINGTON  
AR 96-18  
DRAWING NO. CU 16-18  
ADP 08-18  
DATE 06/01/18

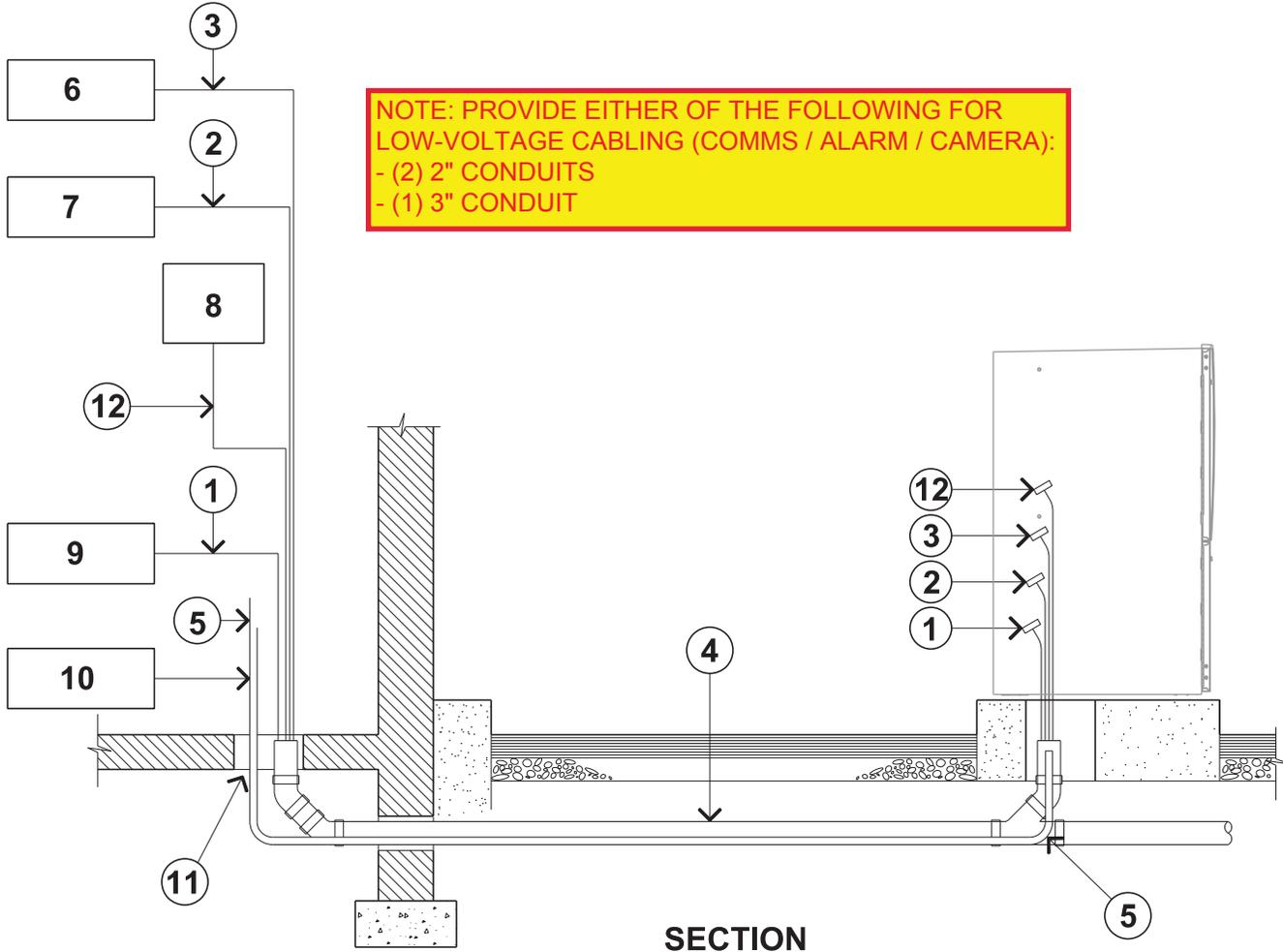
DIMENSIONS IN MILLIMETRES  
(DIMENSIONS IN INCHES)



PAGE 3 OF 5

"ALL DIMENSIONS AND DESIGN CRITERIA  
SUBJECT TO CHANGE WITHOUT NOTICE"

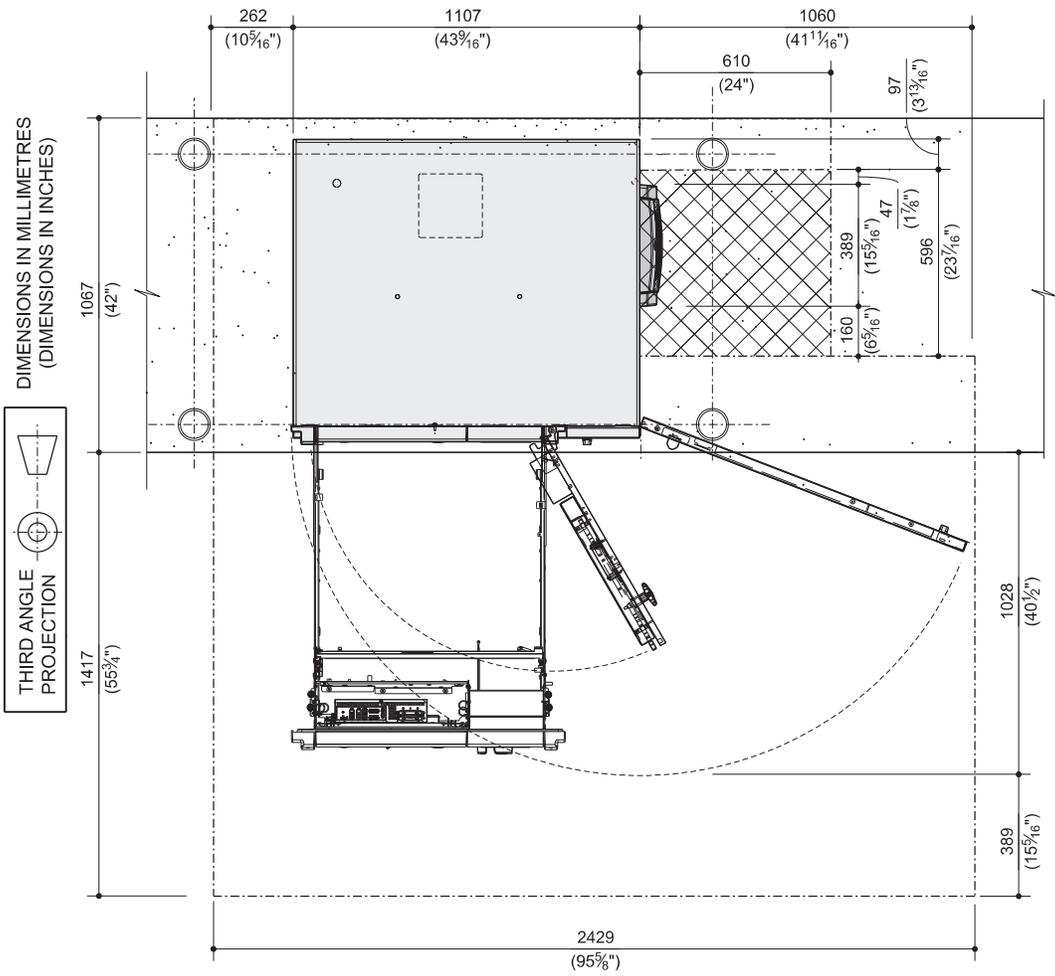
FILE NO. BofA 177-662 REV. 4



1. COMMUNICATIONS CABLE-DIEBOLD TO FURNISH (OPTIONAL AND EXTRA) RJ-45 CABLE TO BE INSTALLED BY THE OWNER.
2. VIDEO SURVEILLANCE SYSTEM CABLE-FURNISHED AND INSTALLED BY OWNER.
3. ALARM CABLE-TO CONFORM TO GRADE A REQUIREMENTS, ALARM CABLE MUST BE HOME RUN FROM THE ATM BACK TO THE ALARM CONTROL CABINET, FURNISHED AND INSTALLED BY OWNER.
4. 102mm (4") DIAMETER PVC PIPE-FURNISHED AND INSTALLED BY OWNER.
5. ELECTRICAL POWER CONDUIT-FURNISHED AND INSTALLED BY OWNER.
6. ALARM.
7. VIDEO SURVEILLANCE SYSTEM.
8. OPTIONAL REMOTE STATUS INDICATOR (RSI).
9. TO NETWORK
10. ELECTRICAL CONDUIT TO BUILDINGS ELECTRICAL PANEL.
11. FLOOR OPENING FOR CABLES (RECOMMENDED TO BE IN THE ELECTRICAL EQUIPMENT ROOM).
12. AFTER HOUR DEPOSITORY CABLING.
13. RSI CABLING - FURNISHED BY DIEBOLD AND INSTALLED BY OWNER.



# CS 7790 ADVANCED FUNCTION DRIVE-UP ISLAND ATM SERVICE POSITION AND SERVICE AREAS



**MINIMUM SERVICE AREA FOR ENVIRONMENTAL KIT**

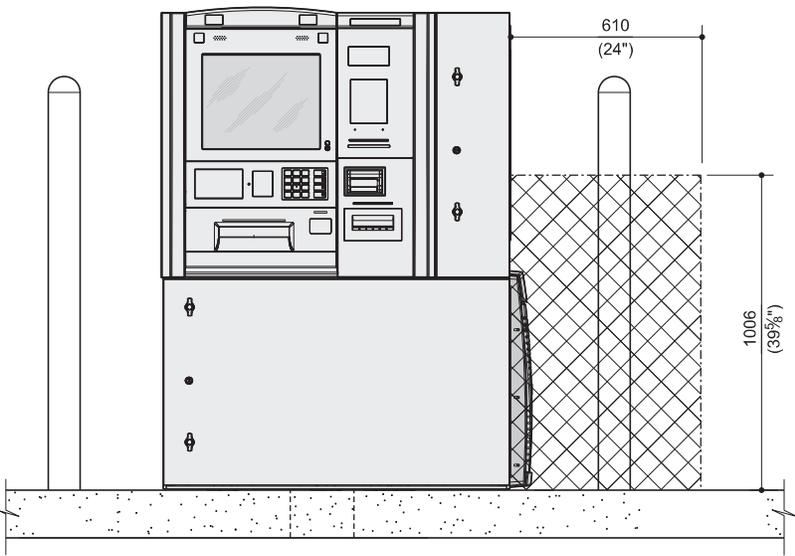
**PLAN VIEW  
SERVICE AREA**

CITY OF WORTHINGTON  
AR 96-18  
DRAWING NO. CU 16-18  
ADP 08-18  
DATE 06/01/18

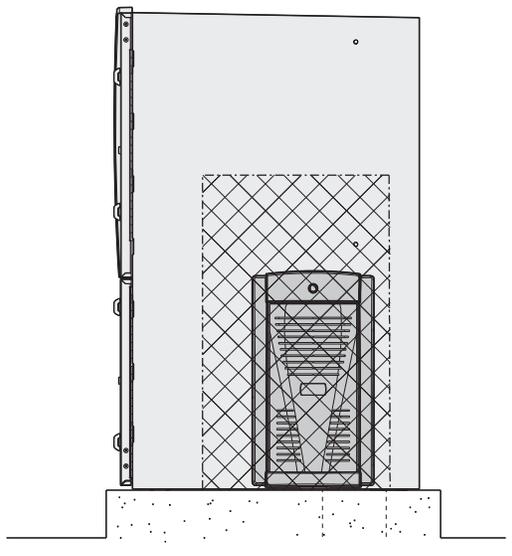
**PAGE 4 OF 5**

\*ALL DIMENSIONS AND DESIGN CRITERIA  
SUBJECT TO CHANGE WITHOUT NOTICE\*

FILE NO. Bofa 177-662 REV. 4



**FRONT VIEW**



**SIDE VIEW**



# ISLAND REQUIREMENTS

## NOTES:

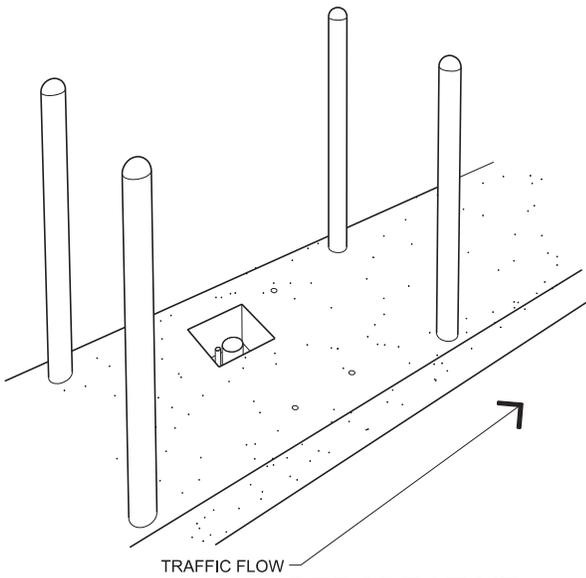
### NEW CONSTRUCTION:

- OWNER'S E.C. TO FURNISH AND INSTALL (1) 19mm (3/4") RIGID CONDUIT FOR ELECTRICAL POWER. (SEE POWER REQUIREMENTS)
- OWNER'S E.C. TO FURNISH AND INSTALL 102 mm (4") P.V.C. PIPE (RECOMMENDED METHOD FOR ROUTING COMMUNICATION CABLE, EXPRESS BUS CABLE, ALARM CABLE, AND VIDEO CABLE).  
(ALTERNATE METHOD) OWNER'S ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL (1) 25mm (1") RIGID CONDUIT FOR ALARM CABLE AND (1) 38mm (1 1/2") RIGID CONDUIT FOR COMMUNICATION CABLE, EXTERNAL OPTIONS CABLE, AND VIDEO CABLE.
- PLEASE CONTACT THE DIEBOLD NIXDORF INSTALLING BRANCH IF CONSIDERING ATTACHMENT OF A REMOTE DESKTOP MONITOR/KEYBOARD TO THIS PRODUCT.
- OWNER'S INSTALLER TO DRILL (4) 19mm (3/4") DIA. X 203mm (8" MIN.) DEEP HOLES IN ISLAND CONCRETE SLAB (RECOMMENDED COMPLETELY THROUGH ISLAND SLAB WHEN POSSIBLE) (TEMPLATE PROVIDED FOR LOCATING HOLES, PART NO. 41-026655) AND SECURE UNIT TO ISLAND WITH (4) 19mm (3/4")-10 X 203mm (8") LONG WEDGE ANCHORS (DIEBOLD NIXDORF PART NUMBER 29-016376-000E, HILTI PART NUMBER 282520) SUPPLIED WITH UNIT.
- ISLAND TO BE FLAT AND LEVEL IN AREA OF UNIT.
- ISLAND CONSTRUCTION MUST SUPPORT WEIGHT OF UNIT 1,293 kg (2,850 LBS.).
- OWNER'S INSTALLER TO SET LEVEL, SECURE UNIT TO CONCRETE ISLAND AND CAULK AROUND BASE.

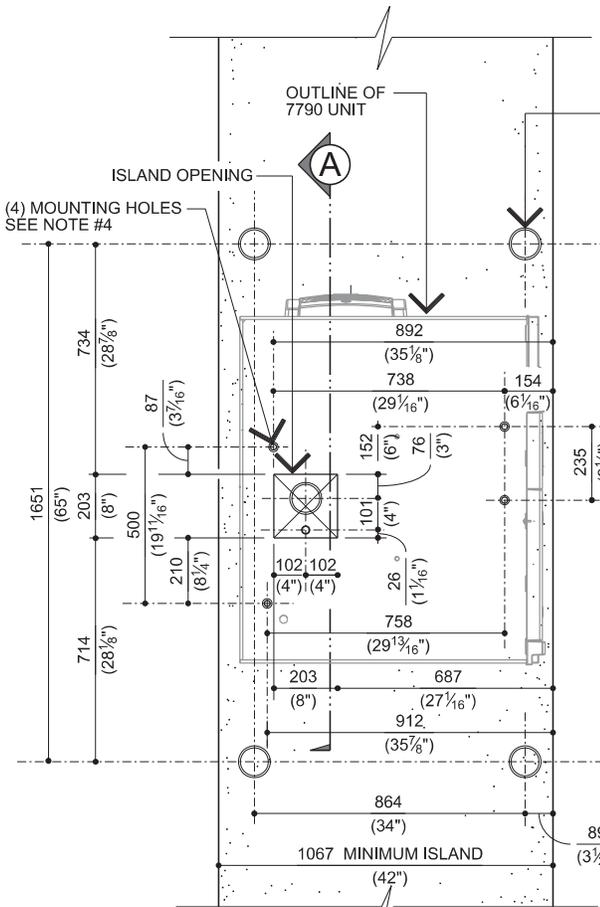
### EXISTING CONSTRUCTION:

- EXISTING ELECTRICAL CONDUIT, PNEUMATIC TUBE AND/OR P.V.C. PIPE MUST BE RE-ROUTED TO ALIGN WITH REQUIRED ISLAND OPENING. EXISTING PNEUMATIC TUBE OR P.V.C. PIPE MAY BE USED TO ROUTE COMMUNICATION CABLE, EXPRESS BUS CABLE, ALARM CABLE, AND VIDEO CABLE.
- EXISTING BUMPER GUARDS ON ISLAND MAY REQUIRE RELOCATION.

DIMENSIONS IN MILLIMETRES  
(DIMENSIONS IN INCHES)



### PERSPECTIVE

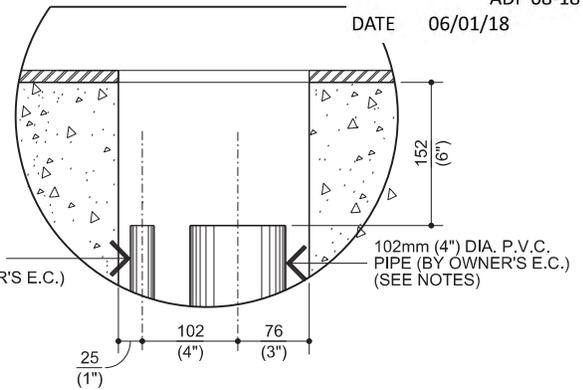


### PLAN VIEW

- GUARD POST PIPES TO BE 102mm (4") DIA. FILLED WITH CONCRETE (ALL BY OWNER'S GENERAL CONTRACTOR). 00-051019-000C GUARD POST SLEEVE (OPTIONAL EXTRA) SLIPS OVER 102mm (4") TO 114mm (4 1/2") DIA. PIPE. MAXIMUM HEIGHT 1321mm (4'-4").
- RECOMMENDED SIZE AND LOCATION FOR NEW CONSTRUCTION. EXISTING GUARD POST MAY OR MAY NOT NEED RELOCATED. LOCATION MUST NOT INTERFERE WITH SERVICE AREA REQUIREMENTS.

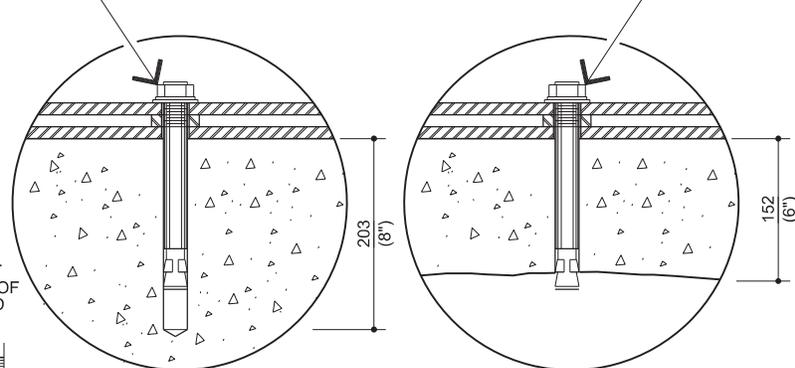
Refer to Bank of America standards for Universal Island site-prep details and bollard locations. Details will include pad/pit locations.

CITY OF WORTHINGTON  
AR 96-18  
DRAWING NO. CU 16-18  
ADP 08-18



### SECTION "A"

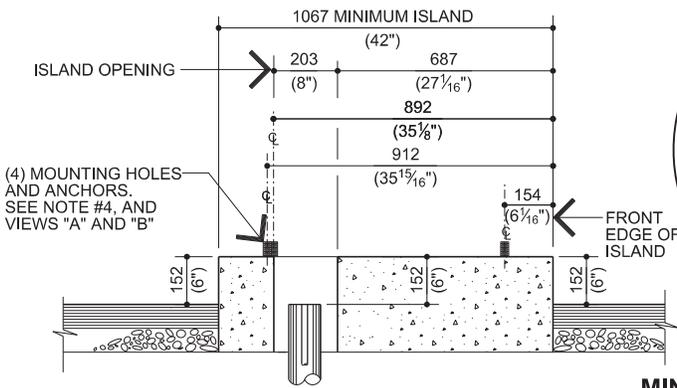
OWNER'S INSTALLER TO DRILL (4) 19mm (3/4") DIA. X 203mm (8" MIN.) DEEP HOLES IN ISLAND CONCRETE SLAB (RECOMMENDED DRILLING COMPLETELY THROUGH ISLAND SLAB WHEN POSSIBLE (A TEMPLATE USED TO LOCATE THE HOLES, DIEBOLD NIXDORF PART NUMBER 41-026655 IS PROVIDED) AND TO BE SECURED TO THE CONCRETE ISLAND WITH (4) 19mm (3/4")-10 X 203mm (8") LONG WEDGE ANCHORS (SUPPLIED WITH UNIT, DIEBOLD NIXDORF PART NUMBER 29-016376-000A, HILTI PART NUMBER 282520).



PAGE 5 OF 5

"ALL DIMENSIONS AND DESIGN CRITERIA SUBJECT TO CHANGE WITHOUT NOTICE"

FILE NO. Bofa 177-662 REV. 4



### SECTION

2645

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DATE 06/01/18

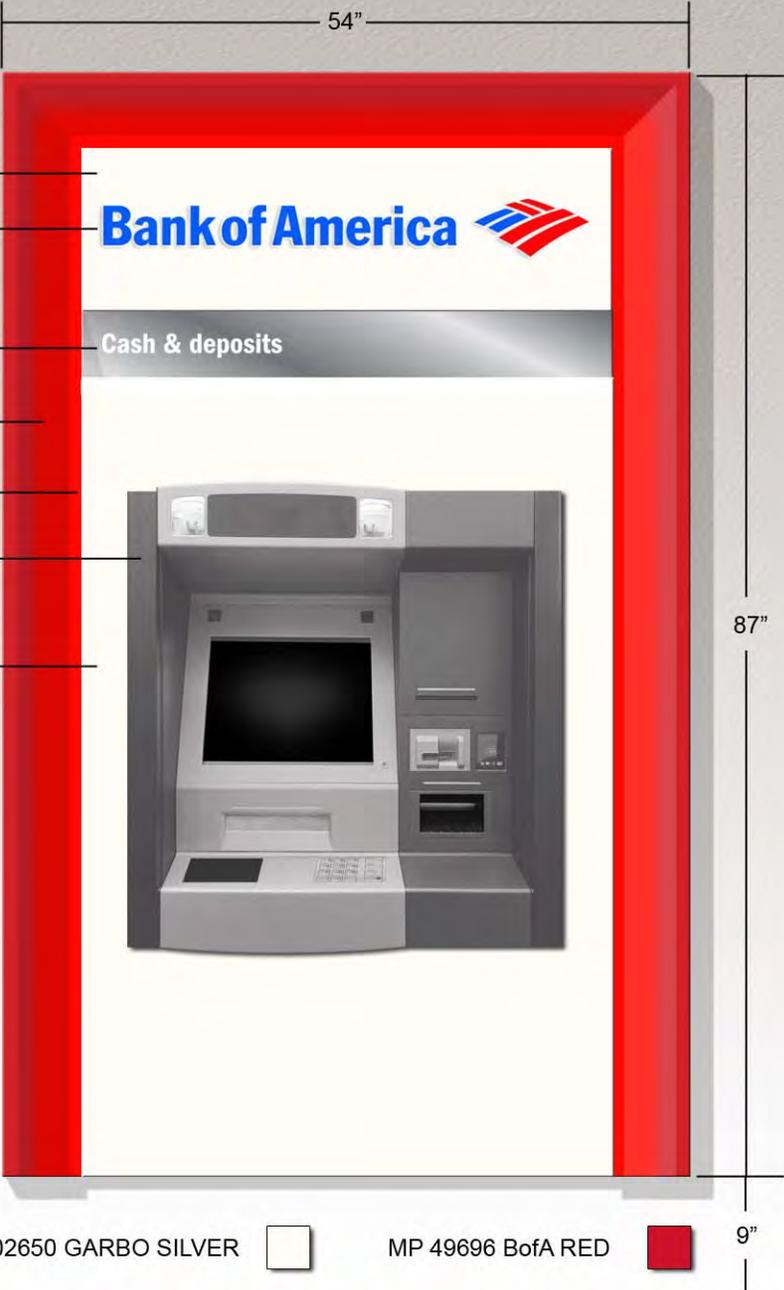
CITY OF WORTHINGTON  
AR 96-18  
DRAWING NO. CU 16-18  
ADP 08-18  
DATE 06/01/18











Sign header painted  
"Garbo Silver" high gloss  
Backlit / routed push thru  
"Bank of America Logo"

Mirrored way finding panel  
w/ backlit lettering

6" Aluminum perimeter frame  
painted "Bank of America Red Stipple"

Red LED perimeter halo lighting

ATM shown for placement reference only  
Actual device may vary

ATM Surround  
aluminum construction  
painted "Garbo Silver"  
high gloss

MP 02650 GARBO SILVER



MP 49696 BofA RED



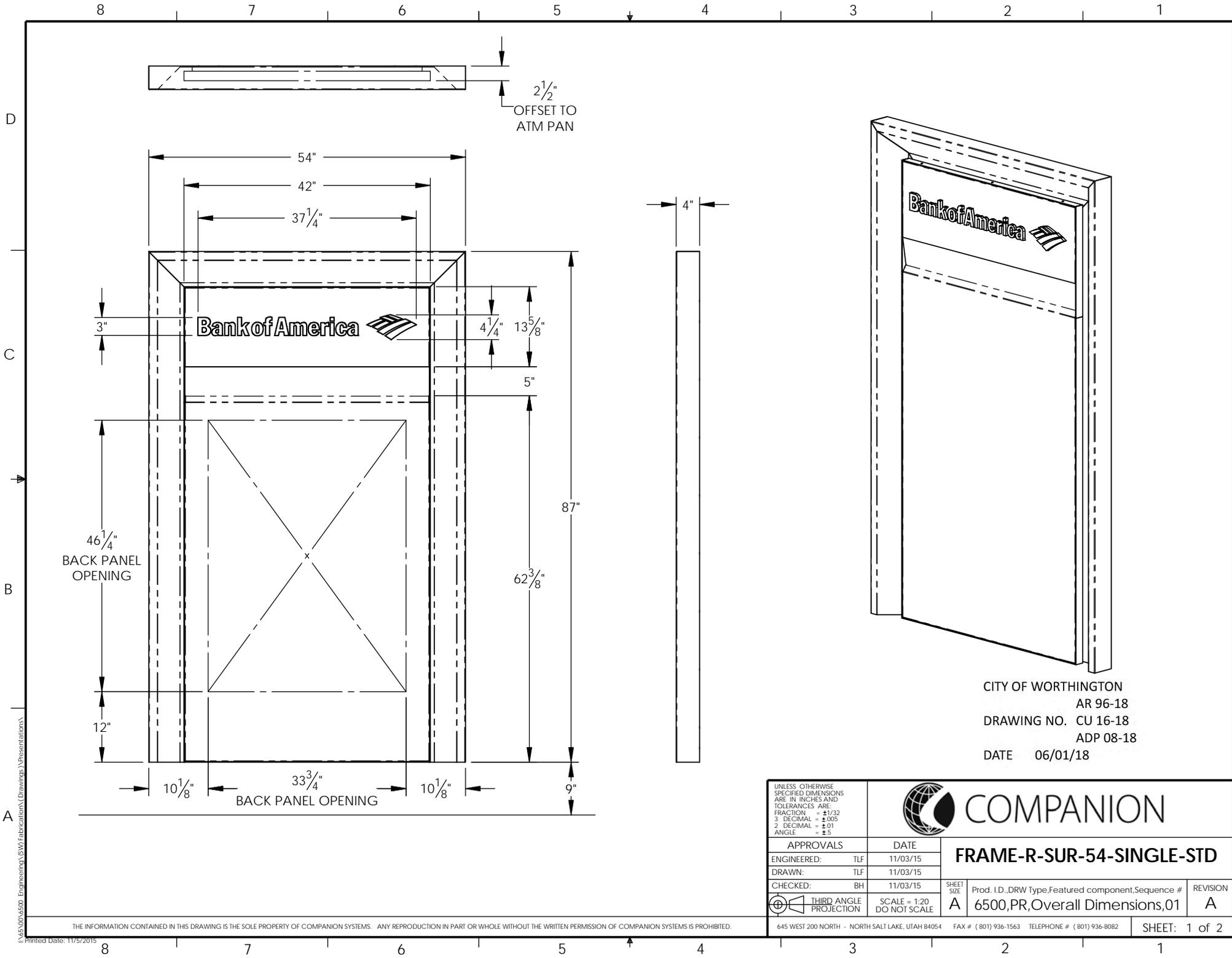
9"

CITY OF WORTHINGTON  
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**Bank of America** FRAME-R-SUR-54-SINGLE-STD  
Series 6500 Surround  
shown with a Diebold 7750 ATM.  
November 05, 2015  
\\b\bofa\6500

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 ADP 08-18  
 DATE 06/01/18

<small>UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES AND TOLERANCES ARE:          FRACTION = ±1/32          3 DECIMAL = ±.005          2 DECIMAL = ±.01          ANGLE = ±5</small>											
<table border="1"> <tr> <th>APPROVALS</th> <th>DATE</th> </tr> <tr> <td>ENGINEERED: TLF</td> <td>11/03/15</td> </tr> <tr> <td>DRAWN: TLF</td> <td>11/03/15</td> </tr> <tr> <td>CHECKED: BH</td> <td>11/03/15</td> </tr> </table>		APPROVALS	DATE	ENGINEERED: TLF	11/03/15	DRAWN: TLF	11/03/15	CHECKED: BH	11/03/15	<b>FRAME-R-SUR-54-SINGLE-STD</b>	
APPROVALS	DATE										
ENGINEERED: TLF	11/03/15										
DRAWN: TLF	11/03/15										
CHECKED: BH	11/03/15										
 THIRD ANGLE PROJECTION	SCALE = 1:20 DO NOT SCALE	SHEET SIZE <b>A</b>	Prod. I.D., DRW Type, Featured component, Sequence # 6500, PR, Overall Dimensions, 01								
645 WEST 200 NORTH - NORTH SALT LAKE, UTAH 84054 FAX # (801) 936-1563 TELEPHONE # (801) 936-8082			REVISION <b>A</b>								

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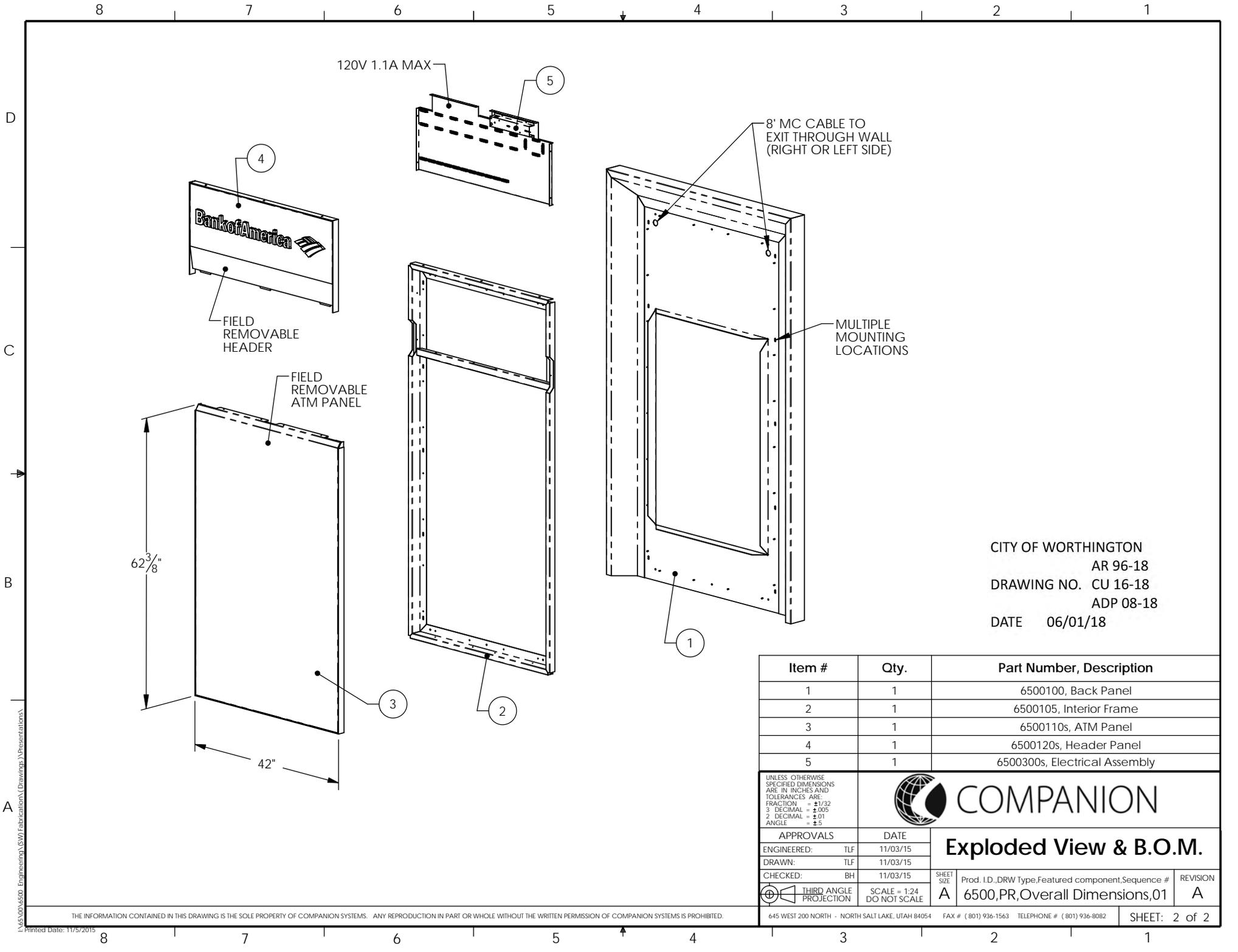
I:\6500\6500\_Engineering\6500\_Fabrication\Drawings\Presentations\

Printed Date: 11/25/2015

8 7 6 5 4 3 2 1

D  
C  
B  
A

8 7 6 5 4 3 2 1



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 ADP 08-18  
 DATE 06/01/18

Item #	Qty.	Part Number, Description
1	1	6500100, Back Panel
2	1	6500105, Interior Frame
3	1	6500110s, ATM Panel
4	1	6500120s, Header Panel
5	1	6500300s, Electrical Assembly

UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES AND TOLERANCES ARE:  
 FRACTION = ±1/32  
 3 DECIMAL = ±.005  
 2 DECIMAL = ±.01  
 ANGLE = ±5

**COMPANION**

**Exploded View & B.O.M.**

APPROVALS	DATE	SHEET SIZE	Prod. I.D., DRW Type, Featured component, Sequence #	REVISION
ENGINEERED: TLF	11/03/15			
DRAWN: TLF	11/03/15	A	6500, PR, Overall Dimensions, 01	A
CHECKED: BH	11/03/15			
THIRD ANGLE PROJECTION	SCALE = 1:24 DO NOT SCALE			

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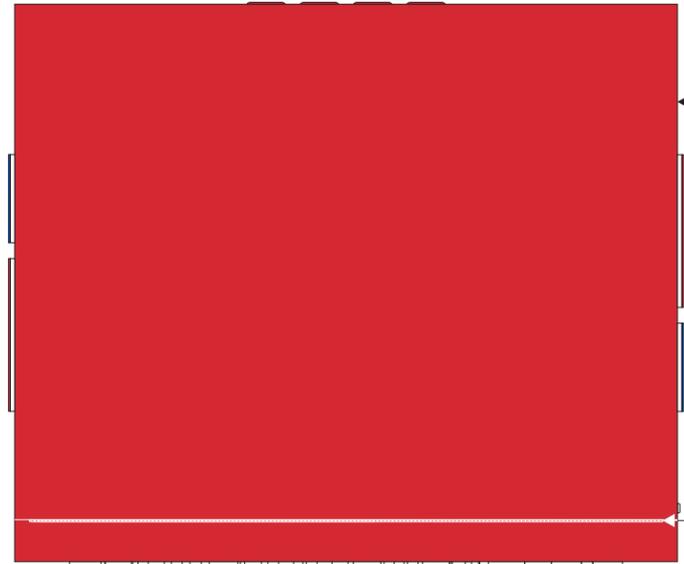
**Project Title**  
**BANK OF AMERICA**

**Date** 05.21.15  
**AGI EoR** M. SMITH  
**Lead Drafter**  
**Drawn By** MPK/GLM  
**Project Mgr.** M. BENTON

**General Sign Specifications**

Interior       Exterior  
 Single Faced       Double Faced  
 Non-Illuminated  
 Illuminated  
                                 120 Volts      \_\_\_\_\_ Amps(+/-)

**Location** \_\_\_\_\_  
**Windload** \_\_\_\_\_

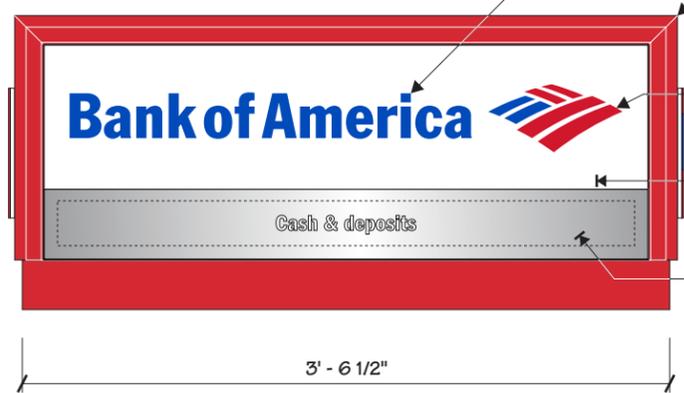
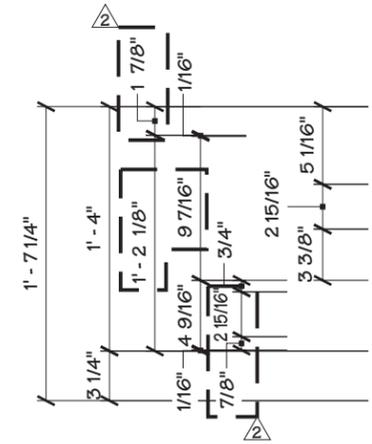
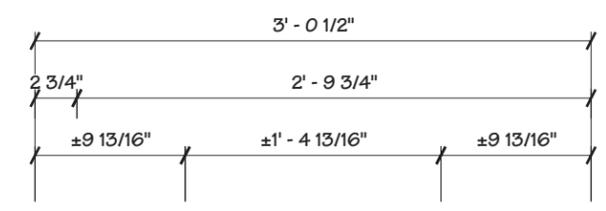
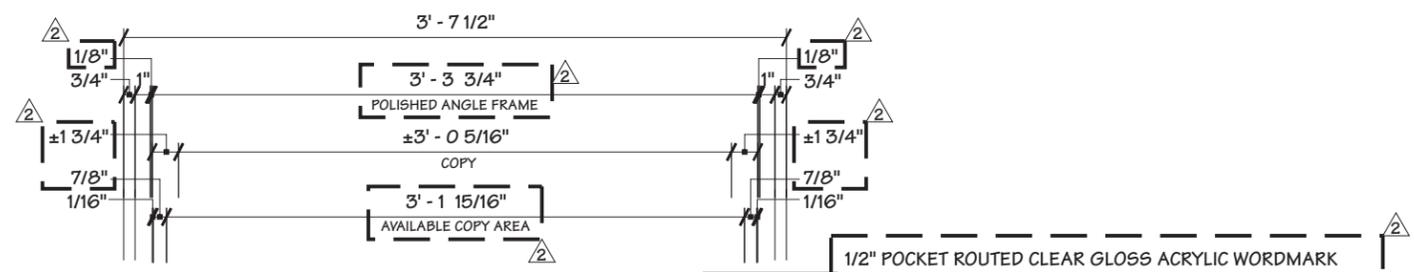


ALUM. CLADDING IS **PAINTED MAP #MP49696 'RED'**  
**W/ FINE STIPPLE FINISH ON ALL EXPOSED SURFACES**

ALUM. PIANO HINGE CONTINUOUS ACROSS  
 TOP **PAINTED MAP #49696 'RED' W/ FINE STIPPLE FINISH**  
 -SET PIANO HINGE IN 1" ON EACH SIDE

**3 PLAN VIEW**  
 1 1" = 1' - 0"

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 DATE 06/01/18



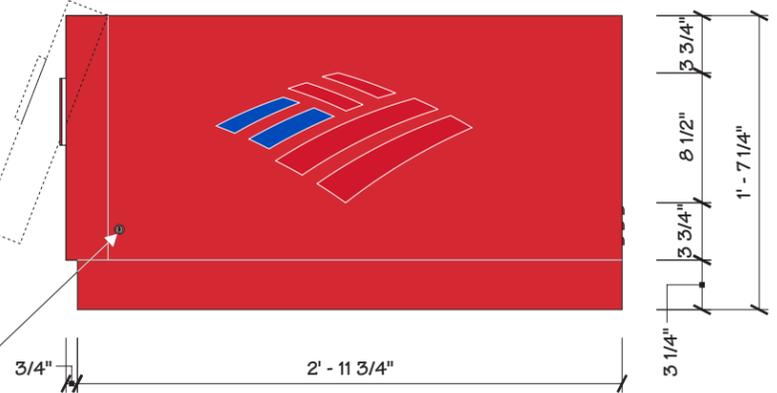
1/2" POCKET ROUTED CLEAR GLOSS ACRYLIC WORDMARK  
 W/ #2114 'BLUE' ACRYLIC GLUED TO SURFACE

.090" FABRICATED ALUM. FRAME **PAINTED MAP #MP49696 'RED' W/ FINE STIPPLE FINISH ON ALL EXPOSED SURFACES**

1/2" POCKET ROUTED CLEAR GLOSS ACRYLIC FLAGSCAPE  
 W/ #2114 'BLUE' & #2793 'RED' ACRYLIC GLUED TO SURFACE

1/8" ALUM. FACE **PAINTED MAP 'GARBO SILVER' FULL GLOSS W/ CLEAR GLOSS COAT** W/ ROUTED OUT GRAPHICS

.118 PLASKOLITE FABBACK CLEAR ACRYLIC MIRROR PANEL  
 W/ AR COATING & SECOND SURFACE ETCHED BACKLIT GRAPHICS  
 OUT OF MIRRORED BACKGROUND W/ **3M #3635-70 DIFFUSER FILM**  
 -COPY AREA IS SHOWN DOTTED IN, DO NOT PRINT BOX



**1 FRONT ELEVATION**  
 1 1" = 1' - 0"

**2 SIDE VIEW**  
 1 1" = 1' - 0"

STAINLESS STEEL DOUBLE BITTED CAMLOCK  
 (COMP #29058)

Drawing Revisions	Change
Drawn By	GLM
Date	07.13.15
Change	COLORS, STIPPLE / POLY PAN ANGLE, FLANGE / NO OUTLET, FAN / MESH
Drawn By	GLM
Date	07.28.15
Change	VINYL / BASE / FLANGE / STUD MNT PANEL / POLISHED ANGLE / GRAPHIC

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<b>Code</b>	<b>6828</b>	<b>Type</b>	<b>C</b>
<b>Sign Type</b>	<b>FRAME-R-TOP-D7790</b>	<b>PG #:</b>	<b>1</b>







