



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION
-AGENDA-**

Thursday, July 26, 2018 at 7:00 P.M.

Louis J. R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
*6550 North High Street
Worthington, Ohio 43085*

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the July 12, 2018 meeting
4. Affirmation/swearing in of witnesses

B. Architectural Review Board

1. Design Modifications – **529 High St.** (Jeanne Lennon/Lennonheads) **AR 53-18**
(Amendment to AR 44-17 & AR 06-18)
2. Rear Patio, Fence, Walkway – **688 Hartford St.** (Marcus W. Hitt) **AR 63-18**
(Amendment to AR 95-17)
3. Front Porch Modifications – **565 Evening St.** (Romano and Juliet Klepec) **AR 64-18**
4. Rear Porch Addition – **232 E. Granville Rd.** (Suncraft Corporation/Fortman) **AR 65-18**
5. Paint – **753 High St.** (Worthington Presbyterian Church/Kingsley Ray House) **AR 66-18**
6. Wall Sign – **693 ½ High St., Unit 102** (Lynn Winegardner/W Glow Bar) **AR 68-18**

7. Shed, EV Charging Stations, Bollard – **80 E. Wilson Bridge Rd.** (McDonald's USA, LLC) **AR 69-18** (Amendment to AR 26-18 & AR 15-18)

8. Signage & Awnings – **918 High St.** (Tracey Diehl/CVS) **AR 67-18**

C. Municipal Planning Commission

1. **Amendment to Development Plan**
 - a. Signage – **918 High St.** (Tracey Diehl/CVS) **ADP 07-18**

2. **Conditional Use Permit**
 - a. Vocational Instruction in I-1 – **438 E. Wilson Bridge Rd.** (Carney Ranker Architects/ResCare) **CU 10-18**

3. **Wilson Bridge Corridor – Final Plan**
 - a. Multi-family Residential – **181 E. Wilson Bridge Rd.** (Oxford Circle LLC) **WBC 01-18**

D. Other

E. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: July 20, 2018

SUBJECT: Staff Memo for the Meeting of July 26, 2018

B. Architectural Review Board – New

1. Design Modifications – **529 High St.** (Jeanne Lennon/Lennonheads) **AR 53-18** (Amendment to AR 44-17 & AR 06-18)

Findings of Fact & Conclusions

Background & Request:

This 3400 square foot classically detailed commercial structure was constructed in the early 1970's, and is currently home to Lennonheads Salon & Spa. Approval was granted by the ARB to construct additions on the north and west sides of the building in June of 2017. In January of 2018 the plans were modified with a revised rear addition.

The owner is now asking to amend the previous approval, as construction costs were going to be considerably higher than the architects estimate. More modest changes are now proposed.

Project Details:

1. The front addition is no longer proposed with gables added at both ends and additional enclosed space. Instead the owner would like to construct a gable above the entrance toward the center of the building. A matching gable would be added to the rear, slightly offset from the front, and the rear addition would extend from that gable to the west 25', being 4' deep. The area is needed for circulation inside the salon.
2. As previously approved, the owner would like to install a black standing seam metal roof, and paint the existing brick white. Also, new board and batten siding painted white is proposed for the gables, and would be used for the rear addition.
3. The eastern 2/3 of the existing covered porch would now be re-used, but would have a sloped standing seam metal roof rather than the existing flat roof. Exposed black metal

brackets are proposed to help support the new roof, and would extend to the columns. It appears the columns would be, or look like, wood.

4. On the east side, a stained barn door is proposed.
5. In front of the western 1/3 of the building sidewalk would be removed to allow landscaping to be added.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Construction of an addition to a commercial or institutional building should be approached in the same way as one for an existing home. Such a project involves important design considerations, since an addition can have a major impact on neighboring properties. Include the following considerations when planning an addition to a commercial or institutional building.

- Use exterior materials traditionally used on commercial and institutional buildings in Worthington. These most commonly include brick; frame construction is less common.
- The addition should be subordinate to the main building. This does not necessarily mean that the addition must be smaller than the original, but it should be designed in a way that it does not overwhelm and dominate the original.
- Some architectural review boards require that additions be designed so that they are easily distinguished from the original building. While this is acceptable in Worthington, the Architectural Review Board does not require it. Matching the original building's design elements in an addition is acceptable.
- Generally, additions should be located as far as possible to the rear of the original building. There may be some instances, however, where building an addition on the front of the original building may be a preferable option. This would especially be true when an addition could replace a front parking lot.
- Paint only surfaces that have been painted before. Stone surfaces were seldom painted originally; painted brick surfaces tend to be more common on commercial buildings than residential. Poor weather resistance or damage to a wall were the usual reasons for painting brick, though sometimes it was just to change the building's look. While unpainted brick or stone should not be painted, if such a surface has been painted in the past, consider re-painting rather than removing the old paint. Avoid using too many colors on a building. Consider using light and dark shades of the same color when choosing body and trim colors.
- While the architecture is of prime importance in a commercial district such as Worthington's, landscaping of building sites is also important.

Recommendation:

Staff feels the wood columns and barn door are not appropriate for this building and not typical for commercial buildings in Worthington. White columns may be acceptable.

Motion:

THAT THE REQUEST BY JEANNE LENNON TO AMEND CERTIFICATES OF APPROPRIATENESS AR 44-17 & AR 06-18 WITH DESIGN MODIFICATIONS AT 529 HIGH ST., AS PER CASE NO. AR 53-18, DRAWINGS NO. AR 53-18, DATED JUNE 14, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Rear Patio, Fence, Walkway – **688 Hartford St.** (Marcus W. Hitt) **AR 63-18** (Amendment to AR 95-17)

Findings of Fact & Conclusions

Background & Request:

This house is a Cape Cod that was built in 1938 and is a contributing building in the Worthington Historic District. This property is 43' wide and extends roughly 252' to the east. The owners are in the process of constructing a rear addition; replacing the siding and windows; renovating the garage; constructing a shed; replacing existing fencing; and adding brick to the front porch and drive.

This request is for approval to install patio space instead of a deck; modify the fence style; and replacing the front walkway.

Project Details:

1. The owners would like to install a patio to the rear of the addition instead of the previously approved deck. The patio is proposed behind the house and garage, and would have 20" high retaining/seating walls framing the east side. Materials include Armortec 3-piece ledgestone design (sample needed) and limestone quarry blend pavers.
2. Replacement of 40 feet of chain link fence was approved along the south property line near the garage, with the new fence to match the neighbors' fence to the south. Now the owner would like to install a fence to match the picket fence he installed on the north side of his property. The proposed fence would have 3 3/4" dog eared pickets with 4" spacing between pickets.
3. In addition to repairing the front porch and steps, and facing them with brick, the owner would now like to replace the walkway to the front porch with matching brick.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Decks and patios should be limited to the rear of buildings. Patios may be constructed of concrete, stone or brick. Consider the style of the house when designing decks and patios, since some styles and some designs are not compatible.

Compatibility of design and materials, exterior detail and relationships, and window treatment are standards of review in the Architectural District ordinance.

Recommendation:

Staff is recommending approval of this application, if the Armortec material is suitable for the proposed application.

Motion:

THAT THE REQUEST BY MARCUS W. HITT TO AMEND CERTIFICATE OF APPROPRIATENESS #95-17 BY ADDING A PATIO, MODIFYING FENCING, AND REPLACING THE BRICK WALKWAY AT 688 HARTFORD ST., AS PER CASE NO. AR 63-18, DRAWINGS NO. AR 63-18, DATED JULY 12, 2018 BE APPROVED BASED ON

THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Front Porch Modifications – 565 Evening St. (Romano and Juliet Klepec) AR 64-18

Findings of Fact & Conclusions

Background & Request:

This English Cottage style home was constructed in 1939 and has its main entrance through a screened porch on the north side of the house, set back from the front part of the house. The owners would like to remove the screens and install new columns and railings.

Project Details:

1. The existing opening to the porch is not centered on the step and is framed to the soffit. The new railing would be centered on the step, and only columns would extend to the roof structure. The railing is proposed with square newels and ballusters.
2. A new 9 ½” soffit is proposed to enclose the headers, which would allow placement of the house address on the front.
3. New materials would be Cedar or pressure treated finished wood.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

From about 1915 on, porches generally were simplified and more integrated into the design of the house. Simple square or tapered columns were common. New porches (located where one is missing or there has not been a porch in the past) should be built in a simple design. Look at original porches on similar buildings -- height, materials, roof slope, and width -- and use these to develop a design. Avoid ornamentation such as spindles and scrollwork unless they were traditionally used on the porches of similar buildings. Design and materials should be traditional, and compatible with the existing structure.

Recommendation:

Staff is recommending *approval* of this application, as the proposed porch changes are appropriate for this house.

Motion:

THAT THE REQUEST BY ROMANO AND JULIET KLEPEC FOR A CERTIFICATE OF APPROPRIATENESS TO MODIFY THE FRONT PORCH ROOF AT 565 EVENING ST. AS PER CASE NO. AR 64-18, DRAWINGS NO. AR 64-18, DATED JULY 12, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Rear Porch Addition – **232 E. Granville Rd.** (Suncraft Corporation/Fortman) **AR 65-18**

Findings of Fact & Conclusions

Background & Request:

This property is 50-feet wide and 260-feet deep, and is part of the Griswold Heirs Subdivision that was originally platted in 1896. The structure was recently converted from a single-story 860 sq. ft. house to a two-story 2320 square foot house, and a new 480 sq. ft. 2-car garage was constructed on the site.

The new homeowners would like to add a covered porch to the rear of the house.

Project Details:

1. A roughly 29' wide x 13' deep porch is proposed to the rear of the house. The structure is proposed 4" west of the northeast corner of the house so as to be 6' from side property line as is required by Code for additions to houses on existing lots of record.
2. The porch is proposed with a gabled roof over most of the area, and a nested gable over a 13' wide x 4'7" deep extension on the east side. Also proposed on the east side are a fireplace, and steps going down to the yard. Additional steps are shown heading to the rear at the middle of the porch.
3. Materials for the porch would include: cement board with battens to side the gables and chimney; Miratec wrapped columns and headers; white aluminum fascia; and pine vertical skirting. Clarification is needed regarding the roofing, railing and flooring materials. Wood stairs are called out on the plan.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.

Recommendation:

Staff is recommending *approval* of the application after the following are considered/modified:

- Siding on chimneys is not preferable in the Architectural Review District.
- Additional information is needed regarding the roofing, railing and flooring materials.
- Placement of the west end of the deck in front of a first floor window seems awkward.

Motion:

THAT THE REQUEST BY SUNCRAFT CORPORATION, INC. ON BEHALF OF CRAIG AND KARA FORTMAN FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT A COVERED REAR PORCH AT 232 E. GRANVILLE RD. AS PER CASE NO. AR 65-18, DRAWINGS NO. AR 65-18, DATED JULY 13, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

5. Paint – 753 High St. (Worthington Presbyterian Church/Kingsley Ray House) AR 66-18

Findings of Fact & Conclusions

Background & Request:

Historic records indicate the brick structure at 753 High St. was constructed in 1826 for Dr. Kingsley Ray and his wife Mary. A framed structure was added in 1856 on the south side of the house. Around 1870, the building reportedly served as the post office for a time. Other framed additions were built in the late nineteenth and early twentieth century to allow the structure to accommodate two residences. The earlier south side addition was mostly removed at the time of that construction.

The Worthington Presbyterian Church purchased the building in 1965 and rented out the property for 25 years after which time the structure was vacant. The church demolished most of the framed additions in the early 1990's to allow for expansion of the church, leaving only the original brick building with the second story framed addition above. In January of 2017, approval was given by the ARB to remove the second story addition and install a new roof on the building.

This is a request to paint the building a different color.

Project Details:

1. Typically the ARB does not review painting a structure, but because the color was specifically talked about by the ARB, and this building is a prominent historic structure on the Village Green, staff felt Board review and an opportunity for public comment were warranted.
2. The building was painted the current blue-green color sometime in the early 1990's. Prior to that, documentation shows the brick structure and former additions were painted white.
3. The applicant is proposing to paint the main body of the house Rookwood Terra Cotta (SW2803); the exterior wood trim Renwick Beige (SW 2805); and the front door Rook Dark Brown (SW 2808).

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Color is a major design element with significant impact upon a building's character. In Worthington some colors are more appropriate than others, depending upon a building's age, style, and setting. The city has a flexible policy giving building owners freedom in color selection but recommends avoiding colors inappropriate for Worthington's architecture.

In the past, color use varied with time period. Early- and mid-19th century buildings often were painted white, but fairly bright colors such as red, blue, yellow, dark green and even orange were used, sometimes as body colors for buildings and sometimes as trim. After about 1860, typical colors included greens, reds, oranges, and olives that were fairly dark and rich. The body color was usually lighter, with trim painted in darker compatible colors; sometimes the opposite was true. Color patterns were simple, usually with only two different colors used for body and trim. Traditionally, bright colors were not used in Worthington.

In the years between about 1880 and 1900, when architectural designs became more complex and ornamental, color followed suit. Three colors on a single building became more common, and there was a re-introduction of lighter colors such as pale yellow or light green that had seen less use during the 1870-1880 period. When combined with darker colors, this created a more varied visual effect that complemented the generally more complex building designs. Blues and grays saw some use as trim colors but generally were not used as body colors.

After about 1900, architectural design entered a period of reaction to the heavy, ornate compositions of the late 19th century. Architects used simpler, plainer designs and turned to the classical forms and ornamentation of the past. In the Colonial Revival and other styles of this period, colors tended to be lighter and cooler, including creams, yellows, grays, and white.

This trend generally continues today. People often prefer lighter rather than darker colors for both body and trim. Indeed, the brighter colors sometimes used in the past often do not seem “right” for today’s tastes. Even on older buildings that might have used brighter colors in the past, lighter color schemes can be appropriate.

In many cases, the colors of unpainted brick walls are the base colors, and trim colors should be selected to be compatible with them. In general, on buildings with dark red brick walls, darker trim colors such as maroon or dark green are appropriate, while for lighter tan or buff-colored brick, and for stone of similar color, consider yellow, cream, or white trim colors. One long tradition in Worthington has been the use of white or cream-colored trim on red-brick houses. On more recent buildings follow these same rules of thumb, depending on the basic wall material color.

Recommendations - Before re-painting, research original paint colors. It is possible to chip or scrape down through paint layers to expose earlier colors. Once historic paint layers are exposed, match current color chips for color selection (most paint stores and manufacturers have “historic” paint palettes designed for older buildings). If original colors can’t be discovered or are unacceptable, then consider alternate colors chosen according to the time-period guidelines above or from color palettes developed for use on historic buildings.

Recommendation:

Re-painting the Kingsley Ray house the same color, or going back to white, would be the easiest choices for paint color as both have been used on the structure. The proposed Terra Cotta shade seems like an attempt to look like natural brick, which would be a difficult look to recreate on a painted brick building. Additional research, as recommended in the Design Guidelines, may be warranted.

Motion:

THAT THE REQUEST BY THE WORTHINGTON PRESBYTERIAN CHURCH FOR A CERTIFICATE OF APPROPRIATENESS TO PAINT THE KINGSLEY RAY HOUSE AT 753 HIGH ST. AS PER CASE NO. AR 66-18, DRAWINGS NO. AR 66-18, DATED JULY 13, 3018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

6. Wall Sign – 693 ½ High St., Unit 102 (Lynn Winegardner/W Glow Bar) AR 68-18

Findings of Fact & Conclusions

Background & Request:

This commercial building was constructed in the early 20th century and has mainly housed retail on the first floor, with a mix of personal services and office on the second floor. The upstairs spaces at 693 ½ have housed a number of users, many of whom have had signage at the first floor level by the entry door.

This applicant is proposing location of a wall sign by the north entrance to the upstairs space.

Project Details:

1. A 10” x 22” wall sign is proposed east of the blue entry door, and below the existing College Bound Advantage sign which is the same size.
2. The new sign would be constructed of sandblasted HDU, and would identify “W glowbar”. The proposed sign would have a white background with a yellow raised circle with a “W” and black and yellow raised text.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. Use of traditional sign materials such as painted wood, or material that looks like painted wood, is the most appropriate material for projecting and wall signs.

Recommendation:

Staff is recommending *approval* of the proposed sign. The material will look like wood, and be in character with the building and Old Worthington.

Motion:

THAT THE REQUEST BY LYNN WINEGARDNER FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL A WALL SIGN AT 693 ½ HIGH ST., AS PER CASE NO. AR 68-18, DRAWINGS NO. AR 68-18, DATED JULY 13, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

7. Shed, EV Charging Stations, Bollard – **80 E. Wilson Bridge Rd.** (McDonald's USA, LLC)
AR 69-18 (Amendment to AR 26-18 & AR 15-18)

Findings of Fact & Conclusions

Background & Request:

McDonald's has operated at this location since 1979 and looks substantially as approved by the ARB. The drive-thru was added in 1982, and other minor site, signage and lighting modifications have been made over the years. The property is about 1.58 acres in area.

A proposal to demolish the existing building and construct a new restaurant with a drive-thru was approved at the March 22, 2018 ARB/MPC meeting, and lighting was approved on April 26, 2018.

This application is a request for approval of a shed and EV charging stations.

Project Details:

1. A 10' x 17' shed is proposed adjacent to the east side of the dumpster enclosure to store outdoor maintenance equipment. Brick to match the building and the enclosure is proposed for the walls. The roof material has not yet been identified and a sketch has been requested. Parking and landscaping were revised to accommodate the structure.
2. Two EV charging stations are proposed on the south side next to the shed. Specifications and proposed signage are included in the packet. The stations would be 19" wide x 5" deep with adjustable height up to 60", and include a touch screen display with advertising opportunities. Two 18" high x 12" wide green and white signs would be installed to mark the spaces.
3. A bollard to match the others proposed for the site would be at the northeast corner of the shed.
4. Variances would be needed for the shed, charging stations, and bollard in the required side yard; changeable copy on the charging station displays; and likely the height of the directional signs. Application has been made to the BZA.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Sustainability can be achieved by ensuring the economic, environmental and social concerns of Worthington are addressed in a balanced manner. The City of Worthington and its Architectural Review Board are interested in encouraging sustainable design and building practices, while preserving the character and integrity of the Architectural Review District.

Wilson Bridge Corridor

Equipment: Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence or landscaping. Such equipment shall be completely screened from view. Materials shall be consistent with those used in the building and/or site. Equipment located on buildings shall match the color of the building.

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan identifies the High Street Corridor (Extents Area) as a place where consistent site design should be encouraged such as landscape screening and interior planting of surface parking areas, and the location of large parking areas should be to the rear of the site. The corridor could accommodate redevelopment at a higher density, with such projects meeting the needs of the City, providing green setbacks and meeting the Architectural Design Guidelines. The plan recommends promoting a high quality physical environment, encouraging the City to continue to emphasize strong physical and aesthetic design, and high-quality development. Also recommended is encouraging the private market to add additional commercial office space within the City.

Recommendations:

Staff is recommending *approval* of this application as the proposed items are appropriate for this site. Use of the displays on the charging stations should be limited to customers paying for their use, rather than continual advertising.

Motion:

THAT THE REQUEST BY MCDONALD'S USA, LLC TO AMEND CERTIFICATES OF APPROPRIATENESS #AR 15-18 & AR 26-18 BY ADDING A SHED, EV CHARGING STATIONS AND A BOLLARD TO THE APPROVED PLANS FOR THE NEW RESTAURANT AT 80 E. WILSON BRIDGE RD., AS PER CASE NO. AR 69-18, DRAWINGS NO. AR 69-18, DATED JULY 13, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

8. Signage – **918 High St.** (Tracey Diehl/CVS) **AR 67-18**

&

C. Municipal Planning Commission

1. Amendment to Development Plan

a. Signage & Awnings – **918 High St.** (Tracey Diehl/CVS) **ADP 07-18**

Findings of Fact & Conclusions

Background & Request:

CVS Pharmacy was approved in 2007 with the signage that is there today, including wall signs in the sign bands facing High St. and North St. and above the rear entrance, and directional signs for the pharmacy drive thru. Although originally proposed to be aluminum, the wall signs were required to be routed wood as part of the approval.

In 2008, CVS submitted applications for additional signs facing High St. on the southern part of the building, and wanted to add a sign on the south side of the building pointing to the drive thru. The request met with resistance and was tabled until finally withdrawn by staff.

The applicant is now requesting approval to replace the existing signs, install additional wall signs, and replace the awnings.

Project Details:

1. Replacement of the three existing routed wood wall signs is proposed with 2” deep aluminum pans in Bone white with a red “heart” shaped logo and lettering (painted or vinyl?). The existing signs are 3’ high x 18’3” wide; the proposed signs would be 3’ high x 19’ wide. Due to the location of “pharmacy” extending lower than “CVS” in the proposed signs, the lettering height would be 2’ 4 ¾” total rather than the 2’ height for the current lettering. The proposed font is bolder than the existing lettering.
2. Minute clinic signs that are 42” wide x 29 ½” high with a red background and white logo and lettering are proposed to be mounted on the outside of the High St. window adjacent to the entry, and on the window north of the rear entry.
3. The existing sign on the south side of the pharmacy canopy consists of 9” tall red individually mounted letters. Proposed to replace that sign is an internally illuminated 20 ½” high x 10’4” wide cabinet sign. The sign would have a light background and red lettering. A clearance sign would be installed below the cabinet sign. Also proposed for the drive-thru column is a red acrylic sign that says “full service only” with an arrow in white. The other existing directional signs at the pharmacy drive-thru would apparently be removed.
4. An 18” high x 24” wide red aluminum sign is proposed for the entry door on the south side of the building identifying “receiving entrance” in white.
5. An 18 9/16” high x 14 ½” wide sign is proposed to the left of both entrances made of aluminum, and red and white vinyl. Apparently the sign would have changeable inserts for the hours. Removal of some internal signs is proposed.
6. Variances required with the proposed signage:
 - Additional area for the replacement wall signs.
 - Additional minute clinic wall signs.
 - Excessive directional signage area.
 - Changeable copy for the proposed “hours” signs.
7. Replacement of the burgundy awnings with red awnings is proposed. The proposed material has not been identified, but a painted color is shown on the sheet.

Land Use Plan:

Worthington Design Guidelines and Architectural District Ordinance

- The Worthington Design Guidelines recommend signs be efficient - try to use as few and as small signs as are necessary to get the business message across to the public.
- Use of traditional sign materials such as painted wood, or material that looks like painted wood, is the most appropriate material for projecting and wall signs. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve.

- Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.
- Signage, including the appropriateness of signage to the building, is a standard of review per the Architectural District ordinance.

Development Plan Amendment Ordinance

When an applicant wishes to make modifications following approval of a Final Development Plan, and variances are included, the modification must be approved by the City Council.

Staff Analysis:

- In order to match the development, the wall signs should be routed wood (or look like routed wood), or the use of individual letters in a material that looks like wood could be considered. The size of the wall signs should not exceed the size of the existing signs.
- Signs mounted to the outside of windows are not typical in Worthington. Internal signs would be a more appropriate location for Minute Clinic signs.
- Internally illuminated cabinet signs are not appropriate for Old Worthington, and not preferred for the Architectural Review District. Also on the pharmacy canopy, the sign identifying “full service only” does not seem necessary.
- If a sign is really needed for the receiving entrance, it may be more appropriate without the CVS name and logo.
- The signs to identify the hours of business are not appropriately designed to be on the exterior of a building.
- Replacement awnings are needed, but should be the same shade and material as the existing.

Recommendations:

Staff is recommending *denial* of these applications as the proposed signs and awnings do not meet the Design Guidelines and are not in keeping with the Development Plan for the site. Replacement of the existing wall signs with something comparable in size and materials would be appropriate. Additional signs to advertise services should not be allowed on the exterior of the building. Replacement awnings are needed, but should be the same shade and material as the existing.

ARB Motion:

THAT THE REQUEST BY TRACEY DIEHL ON BEHALF OF CVS PHARMACY FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL SIGNAGE AND AWNINGS AT 918 HIGH ST. AS PER CASE NO. AR 67-18, DRAWINGS NO. AR 67-18, DATED JULY 13, 2018, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

MPC Motion:

THAT THE REQUEST BY TRACEY DIEHL ON BEHALF OF CVS PHARMACY TO AMEND THE DEVELOPMENT PLAN FOR 918 HIGH ST. BY INSTALLING SIGNAGE AND AWNINGS AS PER CASE NO. ADP 07-18, DRAWINGS NO. ADP 07-18, DATED JULY 13, 2018, BE RECOMMENDED TO CITY COUNCIL FOR APPROVAL BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Conditional Use Permit

- a. Vocational Instruction in I-1 – **438 E. Wilson Bridge Rd.** (Carney Ranker Architects/ ResCare) **CU 10-18**

Findings of Fact & Conclusions

Background & Request:

This building is part of the Rush Creek development and is located on the western side of the property. The building has two stories and was constructed in the early 1980's. The 11.7 acre property is in the I-1 Zoning District.

This is a request for a Conditional Use Permit to allow vocational training in the building.

Project Details:

1. A company called ResCare is planning to locate at this building. ResCare provides social services to people with disabilities.
2. The space would largely be used as an office, with areas to provide daily living support services and vocational training.
3. Hours of operation are cited as normal business hours. The number of trainees and mode of transportation have not been identified, but parking and room in the facility should be ample to accommodate the business according to the applicant.
4. No exterior changes to the building or site are proposed.

Land Use Plans:

Worthington Conditional Use Permit Regulations

The following basic standards apply to conditional uses in any "C" or "I" District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission.

Worthington Codified Ordinances

1123.77 Vocational Instruction.

“Vocational instruction” means the professional training/instruction on site of persons in small groups, typically less than 100 total, usually related to the proper operation of equipment, including business, commercial, industrial, and/or communications technology equipment and computers.

Recommendation:

Staff is recommending *approval* of this application. There should be minimal effect on traffic patterns; public facilities; sewerage and drainage facilities; and utilities. No safety or health considerations or environmental hazards have been identified.

Motion:

THAT THE REQUEST BY CARNEY RANKER ARCHITECTS FOR A CONDITIONAL USE PERMIT TO OPERATE A VOCATIONAL INSTRUCTION BUSINESS IN THE I-1 ZONING DISTRICT AT 438 E. WILSON BRIDGE RD., AS PER CASE NO. CU 10-18, DRAWINGS NO. CU 10-18, DATED JULY 13, 2018, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS, AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Wilson Bridge Corridor – Final Plan

- a. Multi-family Residential – **181 E. Wilson Bridge Rd. (Oxford Circle LLC) WBC 01-18**

Findings of Fact & Conclusions

Background & Request:

City Council adopted Wilson Bridge Road Corridor (WBC) zoning in 2016 to reflect the planning working that was done for the corridor. Last year approval was granted to rezone this property as WBC-1 – Medium Density Residential to match the zoning district created and recommended for this property as part of the corridor planning. Single family residential properties are located east, west and south of the property. The property to the west was designated for professional office and the parcel to the east was to be medium density residential per the WBC zoning. Commercial property is to the north.

The property consists of two parcels totaling approximately +/- 2.05 acres on the south side of E. Wilson Bridge Rd. just east of the center of the block. The vacant properties are lots 16 & 17 of the Northhigh Acres subdivision, which was created in 1923. The parcels are identified by numbers 100-002477 (Lot #16) & 100-002478 (Lot #17). Lot #16 is also known as 181 E. Wilson Bridge Rd. as there was a house on the lot from about 1995 – 2011. Lot #17 has always been vacant. The parcels would be combined as part of this request to develop multi-family residential.

A Preliminary Plan to develop the property was approved at the MPC’s June 28th meeting. The applicant is now asking for a recommendation to the City Council of approval of the Final Plan.

Modifications since the Preliminary Plan approval are shown below in bold.

Project Details:

1. Site Layout.

- Two buildings are proposed for the site at the north and south ends with parking between.
- The northern structure (Building 1) would be located ~32’ from the street, and parallel to the street. **The existing right-of-way line is 10.1’ from the back of curb, and the city is requesting an additional 15’ of right-of-way for future location of a recreation path. The setback of Building 1 from the new property line would be about 7’.** Sidewalk and steps are proposed along the front of the building to provide access to the individual units. Building 1 is proposed about 40’ from the west property

- line and 25' from the east property line. Variances would be required for the building to be closer than 50' from an "R" District for the proximity to the side property lines. If the corridor had all been rezoned to match the WBC districts, variances would not be needed.
- The southern structure (Building 2) is proposed 50' from the south property line, and ~14' from the east and west property lines. Sidewalk is proposed around the entire building, with walkways to each unit entrance. Variances would be required for the building to be closer than 50' from an "R" District for the proximity to the side property lines. If the corridor had all been rezoned to match the WBC districts, variances would not be needed. The rear setback meets the requirement.
 - West of Building 1 would be a 25' wide drive entrance that is wider than the 30' at the curb line allowed by Code in residential districts, and the 45' width allowed in all other districts. If the drive is not narrowed a variance would be needed. The drive would continue to form a rectangular loop between the buildings that allows 22' wide two-way access to 58 parking spaces. The proposed parking is adjacent to the buildings' sidewalks; 30' from the west property line; and on both sides of the northern and eastern parts of the drive. A 7-car garage is proposed about 25' from the east property line.
 - Sidewalk would connect from the southern building along the west side of the parking to the front property line. The area inside the rectangle would also have sidewalk and house the mail boxes for the units.
 - Bicycle racks are proposed at the northeast corner of Building 1, and the northwest corner of Building 2.
 - Two benches are proposed in front of and centered on Building 1.
 - Screening for the "R" properties to the south is proposed with existing and proposed landscape material. A combination of Spruce trees 6' – 7' tall at planting and grasses are proposed to be added near the property line, and 6 healthy trees would remain south of the building. **A 6' high solid cedar privacy fence is proposed along the south property line.**
 - Trees to be preserved on the site total 404 caliper inches. In addition to the trees on the south side, trees would be retained in the parking lot island, and along the east and west property lines. Many of the trees slated for removal (±1688 caliper inches) are in poor condition. New trees (343 caliper inches) are proposed for planting along the east property line, in parking lot islands, and in the tree lawn. A variance is requested from the provision requiring \$150 payment for each caliper inch of tree lost and not replaced.
 - Shrubs, perennials and grasses are also proposed in planting beds adjacent to the buildings, parking lot, and drive entrance.
 - A trash dumpster enclosure is proposed south of the garage. The exact location and screening of other mechanical equipment has not been identified, but is called out as being located to the rear of buildings and screened with walls, fences or landscaping.
 - Coverage with impervious surface would be on 1.157 acres of the 2 acre property.
 - Utilities are available to the site from main lines in Wilson Bridge Rd.
 - **The Fire Department has reviewed an exhibit demonstrating access to the site with the ladder truck, and a fire flow test shows adequate water flow for the hydrants.**

2. Buildings.

- The buildings would have 16 dwelling units each, or 16 units per acre. A variance would be needed to exceed the number of units by 2 per acre.
- **Floor plans show Building 1 would have 4 two-bedroom units at the ends and 4 one-bedroom units in the middle of each floor. For Building 2, the end units would have three bedrooms and the center units would have two bedrooms.**
- Renderings of the buildings and garage have been presented, but all building elevations have not been submitted. Both residential buildings are proposed to be 2 stories in height, with all units being a single level. All units would have a separate entry door, with 8 on each side of the buildings.
- Both buildings would have a gabled roof, with various gabled elements to break up the facades. Some units are proposed with patios or balconies, all of which would have matching railings.
- Materials would consist of Hardiplank board and batten and lap siding, cement board shake siding, brick and asphalt shingles. The windows appear to be double-hung in a 6 over 6 pattern, and would have shutters. Six-panel entry doors and divided light patio doors are proposed. More detail of the materials is needed.
- The garage structure would be a one-story building with a gabled roof. The rendering indicates 7 matching garage doors and an additional wider door at the south end, likely for storage of equipment. The garage is proposed with Hardiplank lap siding and a brick water table. The proposed dumpster enclosure south of the garage appears to be brick with metal doors.

3. Lighting.

- Four pole lights are shown on the north side of Building 1. The poles and **Maxim Lighting 3008** fixtures would be black, **with the poles being 5' in height. The same style of pole and lights are proposed south of Building 2 and near the front drive entrance.**
- **The other proposed fixtures would be Delmar Star Power Optical System mounted on 12' poles. Location of the lights would be mainly between the buildings.**

4. Sign.

- A 16'8" wide by 4'5" tall brick wall is proposed in front of Building 1 at the west end. The wall would have a limestone cap with a rock faced edge, and the brick would be painted to match the lap siding color on the buildings.
- Halo lit cast aluminum 1'6" and 1' high capital letters would identify "Granby Place".

5. Public Spaces.

The applicant shows total building area of ±36,275 square feet, thus requiring 8 Public Space Amenities. The following Public Space Amenities have been identified:

- 3 Bicycle racks
- 4 Decorative light poles
- 2 Benches

Land Use Plans:

Chapter 1181 - Wilson Bridge Corridor Districts

Final Plan Requirements.

- A. Upon determination by the Municipal Planning Commission that the proposed WBC application as shown by the preliminary plan conforms to the requirements of this Chapter and all applicable requirements of this Zoning Ordinance, the proponents shall prepare and submit a Final Plan, which plan shall incorporate any changes or modifications required or suggested by the Commission. At the time of filing the Final Plan for review by the Municipal Planning Commission, the applicant shall pay a fee of \$200, no part of which shall be refundable.
- B. The Final Plan submittal shall include the following:
 1. An updated construction schedule;
 2. All items required in the Preliminary Plan, revised as necessary to meet the approval;
 3. Proposed final design and location of Structures, Accessory Structures, streets, drives, Sidewalks or Recreation Paths, parking, entry features, site lighting, landscaping, screening and other features as required by the City;
 4. Evidence that the applicant has sufficient control over the land to undertake the proposed development; and
 5. Covenants and other restrictions which will be imposed upon the use of the land, Buildings, and Structures, and a copy of any bylaws.
- C. For any development involving the extension of utilities, the owner shall also submit conceptual utility drawings containing the following information:
 1. The pipe size, slope, manholes and location of the sanitary sewer system;
 2. The size, shape and slope for all pipes, channels and basins of the storm sewer system with accompanying storm drainage calculations;
 3. The size and location of water lines and fire hydrants; and
 4. Street or drive grades, cross sections, elevations and contours at two foot intervals.
 5. If a conceptual utility plan is required, the applicant shall pay a fee of \$100.00 per acre for each acre in the development; however, such fee shall not be less than \$300.00 for the purposes of reviewing such utility plans.
- D. If the final plan is found to comply with requirements set forth in this Chapter and other applicable provisions of this Zoning Ordinance, the Commission shall submit such plan with its report and recommendations to the City Council which shall hold a public hearing on the WBC plan.
- E. Following a public hearing, the Council may approve by Ordinance the final plan as submitted by the Commission or may approve modification of the plan if the modification is consistent with the intent and meaning of this Chapter and is in substantial conformity with the Final Plan as approved by the Commission.

Preliminary Plan Requirements:

- a. A legal description and vicinity map showing the property lines, streets, existing Zoning, and land uses within 300' of the area proposed for development; Included
- b. Names and addresses of owners, developers and the registered land surveyor, engineer or architect who made the plan; Included
- c. Date, north arrow and total acreage of the site; Included
- d. A topographical survey of all land included in the application and such other land adjoining

the subject property as may be reasonably required by the City. The topographical survey shall show two foot contours or contours at an interval as may be required by the Municipal Planning Commission to delineate the character of the land included in the application and such adjoining land as may be affected by the application. Elevations shall be based on North American Vertical Datum of 1988 (NAVD88). Included

- e. Existing Structures, parking and traffic facilities, Easements and public Rights-of-Way on the subject property as well as within 300' of the proposed area; Included
- f. Existing sanitary and storm sewers, water mains, culverts and other underground facilities within the tract and in the vicinity, indicating pipe size, grades and exact locations; Included
- g. The location of Natural Features and provisions necessary to preserve and/or restore and maintain them to maintain the character of the surrounding neighborhood and community. Included
- h. A tree preservation plan showing all existing trees 6" caliper or larger; Included
- i. A preliminary grading plan; Included
- j. Preliminary design and location of Structures, Accessory Structures, streets, drives, traffic patterns, Sidewalks or Recreation Paths, parking, entry features, site lighting, landscaping, screening, Public Space Amenities and other features as required by the City; Included
- k. The proposed provision of water, sanitary sewer and surface drainage facilities, including engineering feasibility studies or other evidence of reasonableness of such facilities; Included
- l. Parcels of land intended to be dedicated or temporarily reserved for public use, or reserved by deed covenant, and the condition proposed for such covenants and for the dedications; Not applicable
- m. Proposed Easements; Not applicable
- n. Proposed number of Dwelling Units per acre; Included
- o. Proposed uses, including area of land devoted to each use; Included
- p. Proposed phasing of development of the site, including a schedule for construction of each phase; Needed
- q. Homeowners or commercial owners' association materials; Not applicable
- r. A written narrative describing the project; Included
- s. Any additional information as required by the Municipal Planning Commission and the City Council.

1181.05 WBC Development Standards:

(a) Site Layout.

(1)Setbacks. Buildings and parking should be set back to provide a buffer between the sidewalk and building, with some variations in the Building Setback Line encouraged throughout the WBC.

- A. Buildings 50,000 square feet in area or less shall be located between 5' and 20' from adjacent Right-of-Way Lines. Buildings greater than 50,000 square feet in area shall be located at least 20' from adjacent Right-of-Way lines.
- B. Buildings located along High Street north of Wilson Bridge Road shall be located at least 50' from the adjacent Right-of-Way lines.
- C. Buildings on properties abutting properties in "R" districts shall not be located closer than 50' to the property line. Parking facilities and access drives on properties

abutting properties in "R" districts shall not be located closer than 25' to the property line.

- D. Setback areas in front of retail uses shall be primarily hardscaped, and may be used for outdoor dining and other commercial activities. Residential units with individual entries may include landscaping, walkways, porches, raised planters, walls and fences.
 - E. As building height increases, the buildings should consider the relationship between the setback, the street corridor, and the building height. A variety of techniques will be implemented to mitigate any potential "canyon/tunneling" effect along the corridor, such as the use of floor terracing, changes in building massing, insertion of a green commons, recessed seating and dining areas, and lush landscaping.
- (2) Right-of-Way Dedication. Dedication of Right-of-Way may be required to accommodate public improvements.
 - (3) Screening. All development on parcels abutting properties in "R" districts shall be permanently screened in the setback area with the combination of a solid screen and landscape screening. The solid screen shall consist of a wall or fence at least 6' in height and maintained in good condition without any advertising thereon. Supporting members for walls or fences shall be installed so as not to be visible from any other property which adjoins or faces the fences or walls. This shall not apply to walls or fences with vertical supporting members designed to be identical in appearance on both sides.

Landscape screening shall consist of one of the following options at a minimum:

- A. One large evergreen tree with an ultimate height of 40' or greater for every 20 linear feet, plus one medium evergreen tree with an ultimate height of 20' to 40' for every 10 linear feet. Evergreen trees shall be at least 6' in height at the time of planting. Shrubs and ornamental grasses shall be incorporated into the setback area as to complement the tree plantings. A minimum of one shrub or ornamental grass, at least 24" in height, shall be provided for every 5 linear feet. Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.
 - B. One large deciduous tree with an ultimate height of 50' or greater for every 25 linear feet, plus one medium deciduous tree with an ultimate height of 20' to 40' for every 15 linear feet. Shrubs and ornamental grasses shall be incorporated into the setback area as to complement the tree plantings. A minimum of one shrub or ornamental grass, at least 24" in height, shall be provided for every 5 linear feet. Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.
- (4) Equipment. Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence or landscaping. Such equipment shall be completely screened from view. Materials shall be consistent with those used in the building and/or site. Equipment located on buildings shall match the color of the building.
 - (5) Tract Coverage. A maximum of 75% of the property shall be covered with impervious surfaces.
 - (6) Pedestrian Access. Sidewalks with a minimum width of 5', Recreation Paths with a minimum width of 10', or a combination of both shall be provided along all Rights-of-

Way. Pedestrian connections from Sidewalks, Recreation Paths and parking lots to building entrances shall be provided.

(b) Buildings. Building design should enhance the character of the WBC. A diversity of architectural styles is encouraged to provide visual interest and add to the overall appeal of the corridor.

(1) Design.

- A. A principal building shall be oriented parallel to Wilson Bridge Road, or as parallel as the site permits, and should have an operational entry facing the street.
- B. The height of a building shall be a minimum of 18' for flat roof buildings measured to the top of the parapet, or 12' for pitched roof buildings measured to the eave. Maximum building height shall be per Section 1181.06 of the Code. Building Frontage that exceeds a width of 50' shall incorporate articulation and offset of the wall plane to prevent a large span of blank wall and add interest to the facade. To avoid a potential "canyon/tunneling" effect along the corridor, the use of floor terracing, changes in building massing, insertion of a green commons, recessed seating and dining areas, and lush landscaping will be required.
- C. Extensive blank walls that detract from the experience and appearance of an active streetscape should be avoided.
- D. Details and materials shall be varied horizontally to provide scale and three-dimensional qualities to the building.
- E. Entrances shall be well-marked to cue access and use, with public entrances to a building enhanced through compatible architectural or graphic treatment.
- F. When designing for different uses, an identifiable break between the building's ground floors and upper floors shall be provided. This break may include a change in material, change in fenestration pattern or similar means.
- G. Where appropriate, shade and shadow created by reveals, surface changes, overhangs and sunshades to provide sustainable benefits and visual interest should be used.
- H. Roof-mounted mechanical equipment shall be screened from view on all four sides to the height of the equipment. The materials used in screening must be architecturally compatible with the rooftop and the aesthetic character of the building.

(2) Materials.

- A. Any new building or redevelopment of a building façade should include, at a minimum, 75% of materials consisting of full set clay bricks, stone, cultured stone, wood or fiber cement board siding. Samples must be provided.
- B. Vinyl siding and other less durable materials should not be used.
- C. Long-lived and sustainable materials should be used.
- D. The material palette should provide variety and reinforce massing and changes in the horizontal or vertical plane.
- E. Especially durable materials on ground floor façades should be used.
- F. Generally, exterior insulation finishing systems (EIFS), are not preferred material types.
- G. A variety of textures that bear a direct relationship to the building's massing and structural elements to provide visual variety and depth should be provided.

- H. The color palette shall be designed to reinforce building identity and complement changes in the horizontal or vertical plane.
- (3) Windows and Doors.
- A. Ground-floor window and door glazing shall be transparent and non-reflective. Above the ground floor, both curtain wall and window/door glazing shall have the minimum reflectivity needed to achieve energy efficiency standards. Non-reflective coating or tints are preferred.
 - B. Walls adjacent to the primary building frontage, shall have the pattern of window glass continued from the primary building frontage a minimum distance of 10'.
 - C. Windows and doors shall be recessed from the exterior building wall, except where inappropriate to the building's architectural style.
 - D. For a primary building frontage of a commercial use, a minimum of 30% of the area between the height of 2' and 10' above grade shall be in clear window glass that permits a full, unobstructed view of the interior to a depth of at least 4'.
- (c) Landscaping. There shall be landscaping that complements other site features and creates relief from buildings, parking areas and other man-made elements.
- (1) Natural Features: Natural Features shall not be removed, damaged, altered or destroyed without approval per the procedures in Section 1181.07. All healthy trees 6" caliper or larger shall be retained, or replaced with total tree trunk equal in diameter to the removed tree, and this shall be documented as part of an approved Natural Features preservation plan and/or landscape plan. In the event the Municipal Planning Commission determines that full replacement would result in the unreasonable crowding of trees upon the Lot, or that such replacement is not feasible given site conditions, a fee of \$150.00 per caliper inch of trees lost and not replaced on such property shall be paid in cash to the City for deposit in the Special Parks Fund. Such deposits shall be used for reforestation on public property.
 - (2) Drought tolerant, salt tolerant, non-invasive, low maintenance trees and shrubs should be utilized.
 - (3) Deciduous trees shall be a minimum of 2" caliper at the time of installation; evergreen trees shall be a minimum of 6' in height at the time of installation; and shrubs shall be a minimum of 24" in height at the time of installation.
 - (4) Street trees shall be provided.
 - (5) Parking lot landscaping shall be required per the provisions in Chapter 1171.
 - (6) Seasonal plantings should be incorporated into the landscape plan.
 - (7) The approved landscape plan must be maintained across the life of the development.
- (d) Lighting. All exterior lighting shall be integrated with the building design and site and shall contribute to the night-time experience, including façade lighting, sign and display window illumination, landscape, parking lot, and streetscape lighting.
- (1) The average illumination level shall not exceed 3 footcandles. The light level along a property line shall not exceed 0 footcandles.
 - (2) The height of parking lot lighting shall not exceed 15' above grade and shall direct light downward. Parking lot lighting shall be accomplished from poles within the lot, and not building-mounted lights.
 - (3) For pedestrian walkways, decorative low light level fixtures shall be used and the height of the fixture shall not exceed 12' above grade.

- (4) Security lighting shall be full cut-off type fixtures, shielded and aimed so that illumination is directed to the designated areas with the lowest possible illumination level to effectively allow surveillance.
- (e) Signs.
 - (1) General.
 - A. All new signs, including sign face replacement, shall be subject to the provisions herein.
 - B. The provisions in Chapter 1170 shall apply to all signs in the WBC unless otherwise stated in this section.
 - C. Exterior lighting fixtures are the preferred source of illumination.
 - (2) Freestanding Signs
 - A. There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.
 - B. Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10'. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.
 - C. Freestanding signs may include the names of up to eight tenants of that parcel.
 - D. Light sources shall be screened from motorist view.
- (f) Parking.
 - (1) Design. Surface parking shall be located to the rear or side of the buildings on the site. If parking is located on the side of the building, parking shall not exceed 2 rows of parking with a drive aisle between, shall not exceed 60' of street frontage, shall be located no closer to the Right-of-Way than the building, and shall be screened from view from the Right-of-Way.
 - (2) Non-residential Uses. Parking shall be adequate to serve the proposed uses, but shall in no case exceed 125% of the parking requirement in Section 1171.01.
 - (3) Residential Uses. There shall not be less than one parking space per Dwelling Unit.
 - (4) Bicycle Parking. Bicycle parking should be provided and adequate to serve the proposed uses.
 - (5) Structured Parking. Structured parking shall be permitted and encouraged within the WBC, and shall meet all other standards as outlined in this chapter.
- (g) Public Spaces. A minimum of one Public Space Amenity as approved by the Municipal Planning Commission shall be required for every 5,000 square feet of gross floor area of multi-family dwellings, commercial or industrial space that is new in the WBC. Public Space Amenities are elements that directly affect the quality and character of the public domain such as:
 - (1) An accessible plaza or courtyard designed for public use with a minimum area of 250 square feet;
 - (2) Sitting space (e.g. dining area, benches, or ledges) which is a minimum of 16 inches in height and 48 inches in width;
 - (3) Public art;
 - (4) Decorative planters;
 - (5) Bicycle racks;
 - (6) Permanent fountains or other Water Features;
 - (7) Decorative waste receptacles;

- (8) Decorative pedestrian lighting; and
- (9) Other items approved by the Municipal Planning Commission.

WBC-1 – Medium Density Residential:

An area along the WBC that allows for medium density residential housing, offering a variety of housing styles and pricing options that complement the residential and architectural patterns and styles in the City.

- (1) Permitted Uses: Multi-family dwellings, Home Occupations, Public uses, Essential services and Accessory uses.
- (2) Maximum Building Height: Three stories except buildings on the south side of Wilson Bridge Road between Westview Drive and McCord Park should be limited to 2 ½ stories and 30’.
- (3) Density: The maximum number of dwelling units allowed per acre for development within the WBD-1 shall be 14, with a desired number between 10 and 14 dwelling units.

Staff Analysis:

- As the Wilson Bridge Corridor Districts chapter of the Code was planned and adopted, it was anticipated the entire corridor would be rezoned at the same time. The adjacent properties to the east and west were purchased with full knowledge of the plan for the corridor, so this developer should not have to meet setback and screening requirements for being adjacent to “R” districts on those sides.
- Clarification is needed regarding how the placement of a 12” storm sewer on the south side of Building 2 might impact the existing and/or proposed vegetation.
- The proposed materials are appropriate. Building elevations and material samples are needed.
- A variance to waive the tree replacement fee is reasonable given the quality of the trees and the amount of pervious surface for the development. The proposed retention of some existing trees and the planting of new is satisfactory.
- The request for a variance to exceed the allowable number of dwelling units by 2 units/acre is not substantial.
- The width of the driveway is appropriate for Fire Department access.

Recommendation:

Staff is recommending the Municipal Planning Commission discuss this request and make a recommendation to the City Council at its July 26th or September 13th meetings. Final review of building elevations and materials is needed.

Motion:

THAT THE REQUEST BY OXFORD CIRCLE LLC FOR APPROVAL OF A FINAL PLAN TO DEVELOP THE PARCELS AT 181 E. WILSON BRIDGE RD. AS MEDIUM DENSITY RESIDENTIAL, AS PER CASE NO. WBC 01-18, DRAWINGS NO. WBC 01-18, DATED JULY 13, 2018, BE RECOMMENDED TO THE CITY COUNCIL FOR APPROVAL BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED

**IN THE LAND USE PLANS, AND ON THE FINDINGS OF FACT AND CONCLUSIONS
IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 53-18
Date Received	6-14-18
Fee	\$ 2.00 pd
Meeting Date	6-28-18
Filing Deadline	
Receipt #	65411

Amend AR 44-17 c AR 06-18

1. Property Location 529 HIGH ST

2. Present/Proposed Use SALON

3. Zoning District C-14

4. Applicant JEANNE LENNON

Address 1682 GLENN AVE

Phone Number(s) 614-436-6688

5. Property Owner JEANNE LENNON

Address SAME

Phone Number(s) 614-668-6688

6. Project Description REVISION TO FRONT DOORS & WINDOWS

7. Project Details:

a) Design _____

b) Color BLACK & WHITE

c) Size NO CHANGE

d) Approximate Cost \$100,000 Expected Completion Date 9-30-18

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Jeanne Lennon
 Applicant (Signature)

6-14-18
 Date

 Property Owner (Signature)

 Date

ABUTTING PROPERTY OWNERS
FOR
529 High St.

Bryan David Fletcher	Jessica Ann Hemmelgarn	36 W. South St.	Worthington, OH 43085
First Financial Bank		547 High St.	Worthington, OH 43085
Jonathan & Laura Knape		544 High St.	Worthington, OH 43085
Generick Holdings LLC		11 Abbey Woods	Pittsford, NY 14534-2843
U A Group Ltd		510 High St.	Worthington, OH 43085
Rutherford Funeral Home, Inc.		515 High St.	Worthington, OH 43085
William & Rosanne Yang		41 W. South St.	Worthington, OH 43085



Orange frog Design Group LLC.

411 Meditation Lane
Columbus, OH 43235
p: 614.578.1707

July 16, 2018

City of Worthington – Architectural Review Board
Attn: Lynda Bitar
374 Highland Avenue
Worthington, Ohio 43085

Re: Lennonheads – Architectural Review Board Statement

Dear Lynda,

This statement letter is an addition to the ARB plan submission for the Lennonheads Salon & Spa. The previously approved design had to be modified due to budget constraints and space limitations. The North additions have been eliminated due to the budget constraints. The approved South addition remains the same size and in the same location. A new South addition, 4'-0" +/- x 25'-0" +/-, is needed in the salon area only. The current design did NOT account for circulation between the back to back salon stations. The additional 4'-0" will provide a needed circulation path.

The previously approved design elements are being maintained.

- Black standing seam metal roof
- Painting the existing brick white
- Board and batten siding in the existing gable roofs
- Black aluminum storefront system

With the budget constraints and the previously approved pallet of materials the Agrarian Style was selected. The owner wants a clean and current design. The revised design is utilizing part of the existing covered porch. The portion that is remaining will have a low slope standing seam metal roof with new 8x8 square stained columns and beam. The connection between the column and beam will utilize exposed black metal brackets. To signify the entry a new gable roof has been added at the entry location. The new gable will match the existing roof pitch. The gable end will match the existing gables with board and batten siding. In this design the West end of the covered porch will be removed. Part of the sidewalk in the same area will also be removed to allow for landscaping to soften the unarticulated wall. This wall cannot have any opening due to the function behind it. The East elevation will have the existing door system replaced with black aluminum storefront. A stained barn door will be added. The West elevation of the building will remain with no changes.

Sincerely,

Matthew D. Lones, AIA NCARB

Orange frog Design Group

Principal

Cc: File

C:\OFDGI\Lennonheads BZA Statement 18-7-16doc

529 High St.



100-000314 04/22/2017

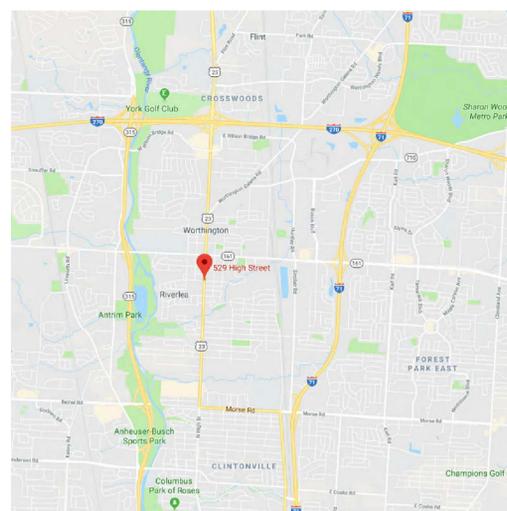


Orange frog Design Group
411 Meditation Lane
Columbus, Ohio 43235
P 614.578.1707

LENNONHEADS - ADDITION/ RENOVATION

529 HIGH STREET WORTHINGTON, OHIO 43085

LOCATION MAP



CITY OF WORTHINGTON

DRAWING NO. AR-53-18

DATE 07/16/18

PROJECT INFORMATION

ISSUED FOR:	CONCEPTUAL DESIGN
DATE OF ISSUE:	7.16.2018
PROJECT NUMBER:	2018-23

COVER SHEET

A000



CITY OF WORTHINGTON
DRAWING NO. AR-53-18
DATE 07/16/18

SITE PLAN





CITY OF WORTHINGTON

DRAWING NO. AR-53-18

DATE 07/16/18

CONCEPTUAL VIEW LOOKING SOUTHWEST





CITY OF WORTHINGTON

DRAWING NO. AR-53-18

DATE 07/16/18

CONCEPTUAL VIEW LOOKING SOUTHWEST





CITY OF WORTHINGTON

DRAWING NO. AR-53-18

DATE 07/16/18

CONCEPTUAL VIEW LOOKING SOUTHEAST





CITY OF WORTHINGTON

DRAWING NO. AR-53-18

DATE 07/16/18



Orange frog Design Group

411 MEDITATION LANE COLUMBUS, OHIO 43235

PROJECT: LENNONHEADS WORTHINGTON, OH

CONCEPTUAL VIEW LOOKING WEST

7.16.2018



CITY OF WORTHINGTON

DRAWING NO. AR-53-18

DATE 07/16/18

CONCEPTUAL VIEW LOOKING NORTHEAST





CITY OF WORTHINGTON

DRAWING NO. AR-53-18

DATE 07/16/18

CONCEPTUAL VIEW LOOKING NORTHWEST





City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case # AR 63-18
Date Received 7-12-2018
Fee \$13.00 pd
Meeting Date 7-26-18
Filing Deadline _____
Receipt # 65561

1. **Property Location** 688 Hartford Street

2. **Present/Proposed Use** Residential

3. **Zoning District** R-10

4. **Applicant** Marcus W. Hitt

Address 688 Hartford Street, Worthington, OH 43085

Phone Number(s) 937.541.5428

5. **Property Owner** Marcus Hitt; Rebecca Hitt

Address 688 Hartford Street, Worthington, OH 43085

Phone Number(s) 937.541.5428

6. **Project Description** Rear patio, fence, new bricks for front walkway

garage maintenance and upgrades; storage shed; fence replacement; and masonry finishes

7. Project Details:

a) **Design** paver patio, cedar fence, clay bricks

b) **Color** (see supporting documents)

c) **Size** Patio is 650 square feet, including rear walkway

d) **Approximate Cost** \$13,000 **Expected Completion Date** September 2018

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.


Applicant (Signature)

7/12/18
Date


Property Owner (Signature)

7/12/18
Date

ABUTTING PROPERTY OWNERS
FOR
688 Hartford St.

Robert & Lynne Browning
Daniel & Colby Srsic
Jeffrey & Elizabeth McClellan
Glenn Laine & Garneta Aber
Donald Mutti
Daniel & Rachel Gibson

686 Hartford St
694 Hartford St.
695 Hartford St.
707 Morning St.
689 Hartford St.
701 Morning St.

Worthington, OH 43085
Worthington, OH 43085

Hitt Architecture Review Board Application

688 Hartford Street

July 12, 2018

Submitted by:

Marcus W. Hitt
Rebecca M. Hitt

OVERVIEW OF SUPPORTING DOCUMENTS

- | | |
|---------------------------------|--------|
| 1) Statement of support | page 2 |
| 2) Patio Project | page 3 |
| 3) South Side Replacement Fence | page 3 |
| 4) Bricks in front walkway | page 4 |

CITY OF WORTHINGTON

DRAWING NO. AR 63-18

DATE 07/12/18

688 Hartford St.



100-000587 04/25/2017

STATEMENT OF SUPPORT

We have amended our original property renovation plans approved December 2018, specific to two items:

- 1) **Rear deck approved as part of two-story renovation plans** – proposing paver patio to replace deck (work has not yet started)

- 2) **South Side Replacement Fence** – Originally proposed replacing chain link fence with fencing similar to southern neighbor's fence. Given our change in plans to include a patio that spans the width of the property, aesthetically it makes sense to replace the chain link fence (already removed) with the same facing the already exists on our norther property line.

We've partnered with Natural Grove Landscape and Patio to complete the patio project:

- o Contact(s): Sean Stauffer

In addition, we are proposing a new item:

- 3) **Replace bricks in front walkway** – Replace bricks in front walkway to match style of

CITY OF WORTHINGTON

DRAWING NO. AR 63-18

DATE 07/12/18

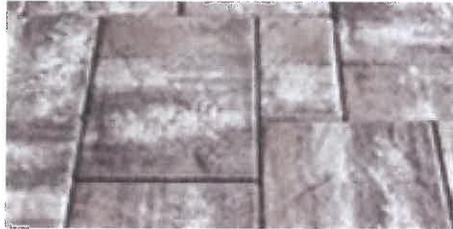
1. PATIO PROJECT

Plan includes 650 square feet of paver patio, including patio section, walkway, steps up to back patio door, and sitting wall to retain grade.

Sitting wall will be approximate 20 inches high.

Design drawing is attached.

Design includes Cambridge Amortec 3-piece ledgestone design, limestone quarry blend pavers



Limestone Quarry Blend

Design drawing is attached.

2. SOUTH SIDE REPLACE FENCE

Planning to install dog-eared style pickets rather than originally proposed gothic-style pickets.

Below are key details

- Installation length: 28 feet
- Material: Cedar wood
- Style: dogeared-style pickets
- Pickets:
 - Height: 4 feet
 - Width: 3.75 inches
 - Width apart: 4 inches
- Other materials: 4" x 4" posts, 7 feet apart; 2" x 4" beams to hold pickets

CITY OF WORTHINGTON

DRAWING NO. AR 63-18

DATE 07/12/18

Replace this chain link fence on south property line near



Match new fence to this style, which exists on the majority of the north property line



3. BRICKS IN FRONT WALKWAY

- Bricked space will remain the same as the existing walkway
- Materials
 - Style: Regular clay bricks
 - Color: Red
 - Brick Size: 4.875" x 7.875" x 2.25"

BRICKS

Samples of brick types / colors.



View of existing bricks



CITY OF WORTHINGTON

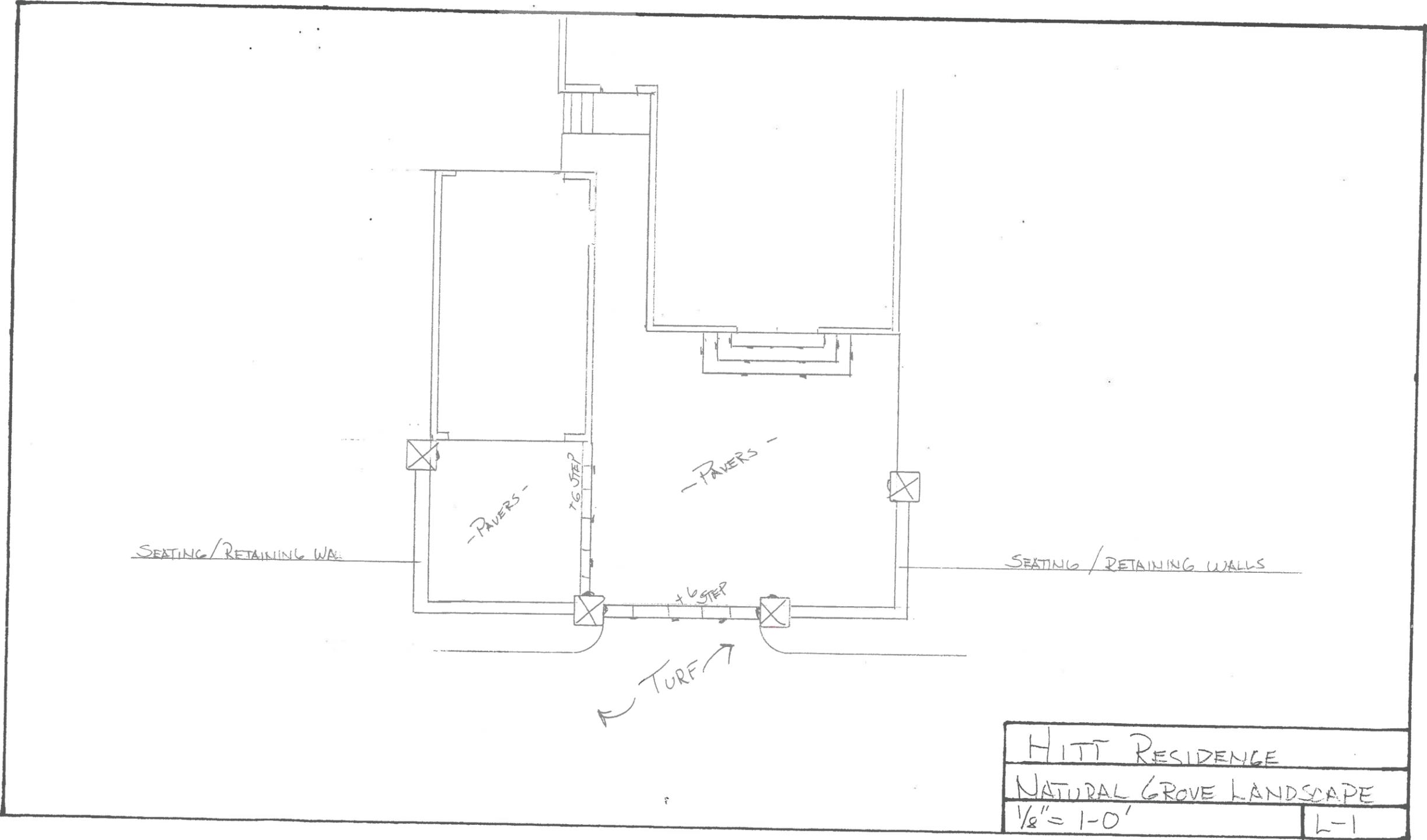
DRAWING NO. AR 63-18

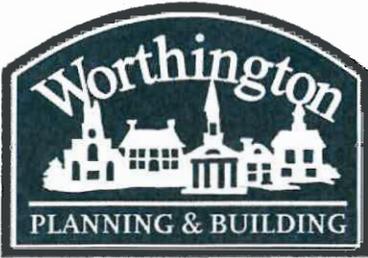
DATE 07/12/18

CITY OF WORTHINGTON

DRAWING NO. AR 63-18

DATE 07/12/18





City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR-04-18
Date Received	7-12-18
Fee	\$3.00
Meeting Date	7-26-18
Filing Deadline	7-13-18
Receipt #	05563

1. Property Location 565 Evening Street, Worthington, OH 43085
2. Present/Proposed Use Residential
3. Zoning District _____
4. Applicant Romano and Juliet Klepec
 Address 565 Evening Street, Worthington, OH 43085
 Phone Number(s) 513-967-6975
5. Property Owner Romano and Juliet Klepec
 Address 565 Evening Street, Worthington, OH 43085
 Phone Number(s) 513-967-6975
6. Project Description Remove existing screened-in porch framing and railing. Install new columns and railings; build new soffit for street address.
7. Project Details:
 - a) Design smooth wood cedar columns, railings and soffit.
 - b) Color white
 - c) Size 8x8 base columns, 6x6 posts, railings per code.
 - d) Approximate Cost \$3,000 Expected Completion Date 9-30-18

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Romano Klepec
 Applicant (Signature)

7-5-18
 Date

Romano Klepec
 Property Owner (Signature)

7-5-18
 Date

ABUTTING PROPERTY OWNERS
FOR
565 Evening St.

Spencer Budros and Kathryn Britton
Susan Kerr
Martha Knotter and Mark Loudenslagel
Samuel and Mary Musgrove
Todd Bradham

571 Evening St.
555 Evening St.
567 Welling Way.
562 Evening St.
570 Evening St.

Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085

**Romano & Juliet Klepec
Supporting Statement
July 13th, 2018**

We have been in our home for over seven years and recently have discovered some termite damage on one of the railing posts. The existing railings and vertical members were built many years ago to have integrated screens. There were never any screens or screen door prior to us purchasing the home in 2011. The existing screen frame construction was poorly built with untreated 2x4's and 1x1's that are a constant painting maintenance issue.

We are proposing demo and remove existing railings and non-bearing screen frame structure to build higher quality cedar or pressure treated finished wood columns and railing system that is in keeping with the English Cottage style of the home. A new column enclosure around the existing structural column on the front corner of the porch would be installed along with similar styled ½ columns on the ends of the railings against the existing brick chimney and back wood siding wall corner. We would especially like to center the new front railing entry opening over the center of the existing concrete step. Currently the porch entry opening is off center from the center of the step. Lastly, we are wanting to enclose the existing beams/headers with a taller 9-1/2" soffit so that new address numbers would be installed centered over the concrete step as well. It is difficult to see our address on the current low balusters with cars parked on the driveway.

We plan to begin demolition and construction once we receive your approval.

Thank you for your sincere consideration.

Romano & Juliet Klepec

565 Evening St.



100-000163 04/20/2017



PROPOSED PORCH REDENERING



EXISTING PORCH PHOTOS



565 EVENING STREET VIEW

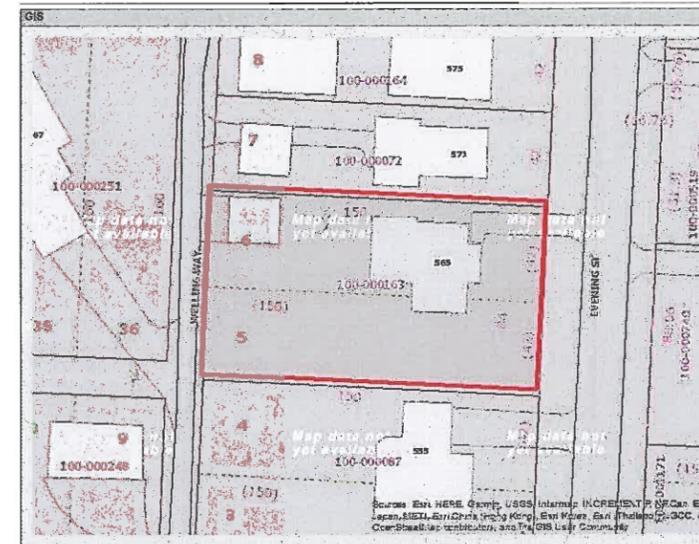
CITY OF WORTHINGTON

DRAWING NO. AR 64-18

DATE 07/12/18

Clarence E. Mingo, II
Franklin County Auditor

MAP(GIS)			
Parcel ID	Map Routing No	Owner	Location
10000016300	100N066 09400	KLEPEC ROMANO L	565 EVENING ST



Disclaimer:
This drawing is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this drawing are notified that the public primary information source should be consulted for verification of the information contained on this drawing. The county and the mapping companies assume no legal responsibilities for the information contained on this drawing. Please notify the Franklin County GIS Division of any discrepancies.

The information on this web site is prepared for the real property inventory within this county. Users of this data are notified that the public primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

565 EVENING STREET SITE PLAN

ROMANO AND JULIET KLEPEC PORCH REMODEL
565 EVENING STREET, WORTHINGTON, OH 43085

DESIGNED BY:
ROMANO KLEPEC

SITE PLAN,
EXISTING PHOTOS,
PORCH RENDERING

SHEET #

A-1

1 of 2

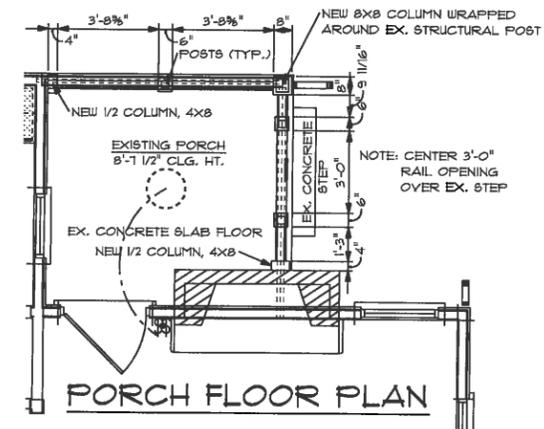
Approved By: _____ Date: _____
Owner: _____ Date: _____



NORTH ELEVATION



EAST ELEVATION



PORCH FLOOR PLAN

CITY OF WORTHINGTON

DRAWING NO. AR 64-18

DATE 07/12/18

CITY OF WORTHINGTON

DRAWING NO. AR 64-18

DATE 07/12/18

FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION ANY VARIATIONS SHOULD BE REPORTED TO THE PM & DC

Scale: 1/4" = 1' (unless otherwise noted)

REVISION	DATE	DESCRIPTION

DESIGNED BY:
ROMANO KLEPEC

PORCH PLAN
AND EXTERIOR
ELEVATIONS

SHEET #

A-2

ROMANO AND JULIET KLEPEC PORCH REMODEL
565 EVENING STREET, WORTHINGTON, OH 43085

Approved By:

Owner: _____ Date: _____



4465 SR 557
Charm OH 44617
1-800-362-6682
330-893-2251
www.keimlumber.com

Description: Porch Post

Customer Name: Dave Fox Remodeling

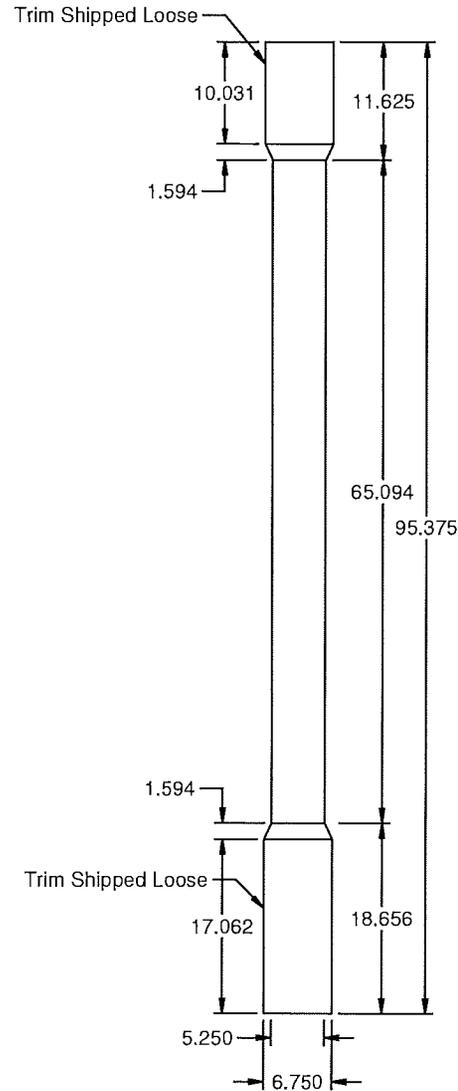
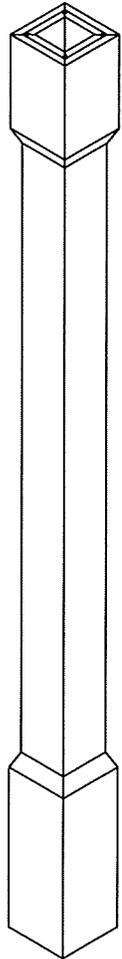
Job Name: Klepec

Page # 1 of 1

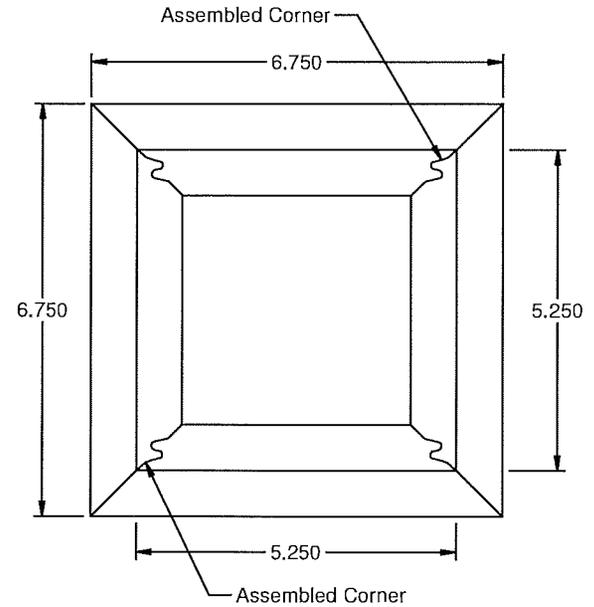
Drawn By: merviny

Date: 7/16/2018

Order#:



To be shipped in 2 pcs assembled



CITY OF WORTHINGTON

DRAWING NO. AR 64-18

DATE 07/12/18



4465 SR 557
Charm OH 44617
1-800-362-6682
330-893-2251
www.keimlumber.com

Description: Porch Post Half

Customer Name: Dave Fox Remodeling

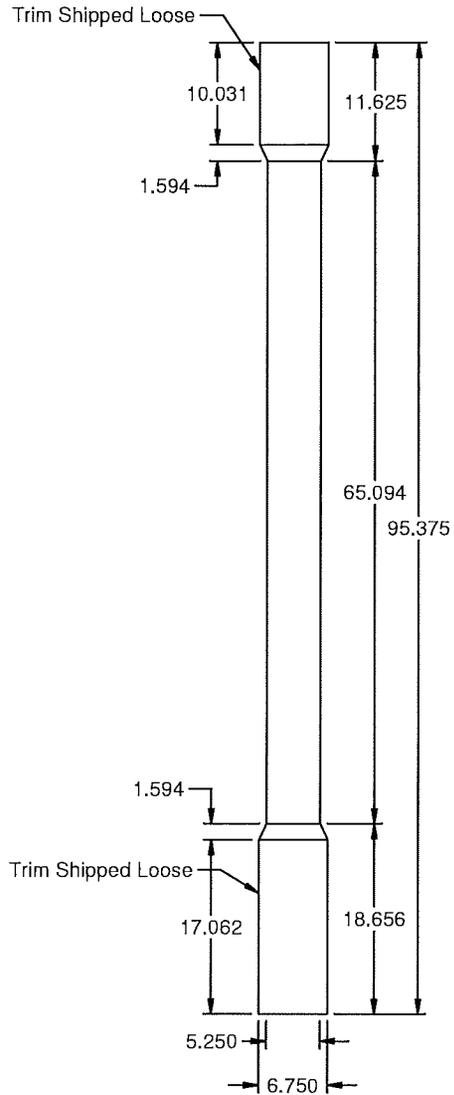
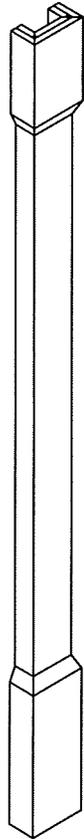
Job Name: Klepec

Drawn By: merviny

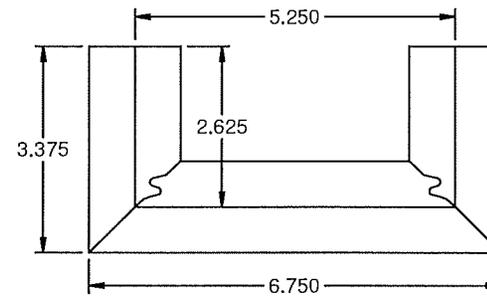
Date: 7/16/2018

Page # 1 of 1

Order#:



Assembled



CITY OF WORTHINGTON

DRAWING NO. AR 64-18

DATE 07/12/18



4465 SR 557
Charm OH 44617
1-800-362-6682
330-893-2251
www.keimlumber.com

Description: Newels

Customer Name: Dave Fox Remodeling

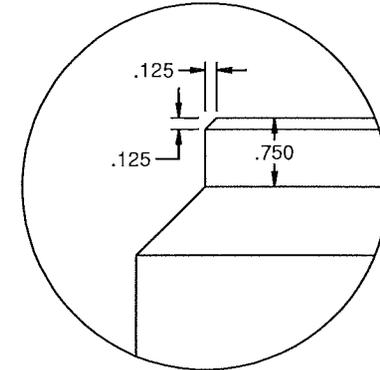
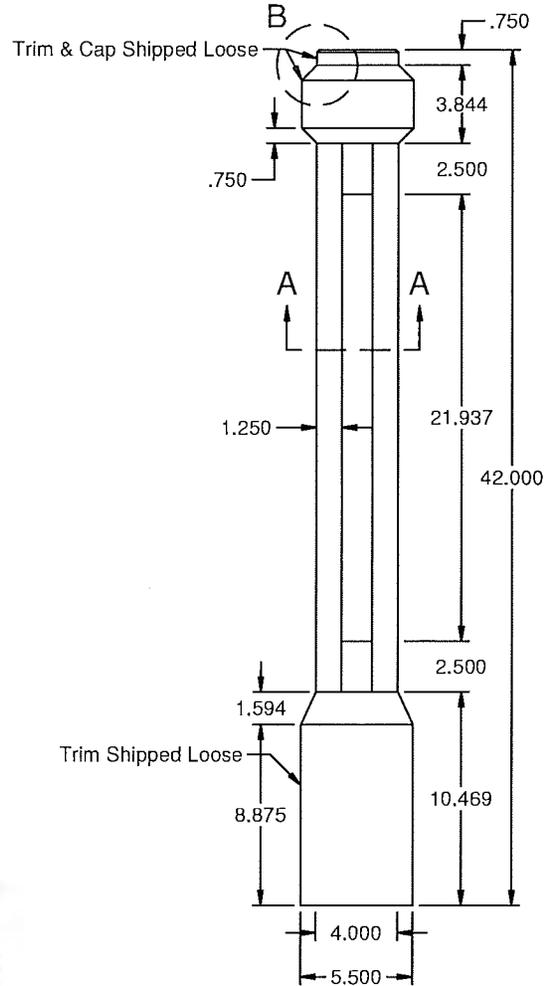
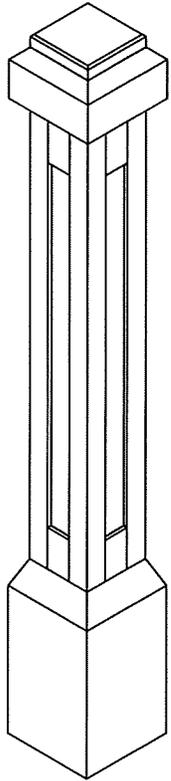
Job Name: Klepec

Page # 1 of 1

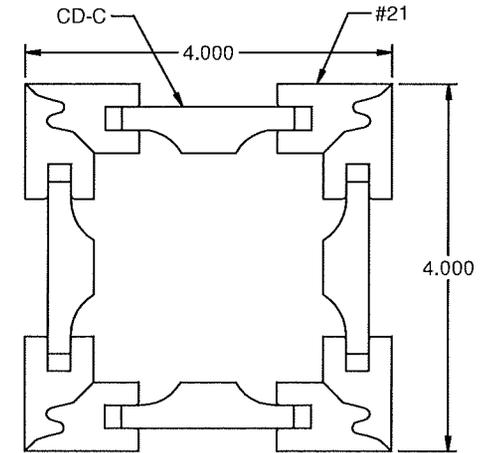
Drawn By: merviny

Date: 7/17/2018

Order#:



DETAIL B

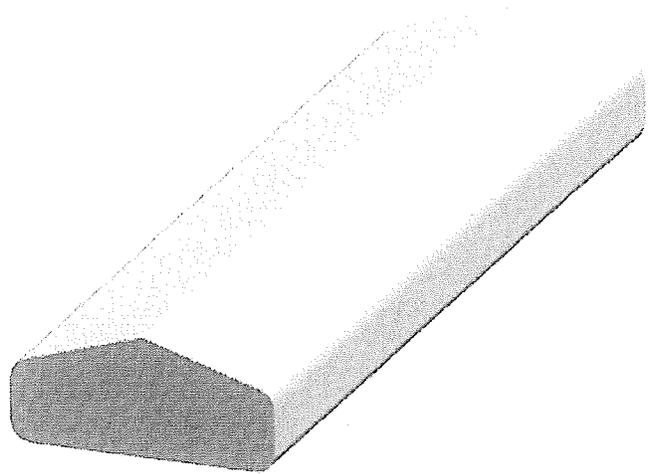


SECTION A-A

CITY OF WORTHINGTON

DRAWING NO. AR 64-18

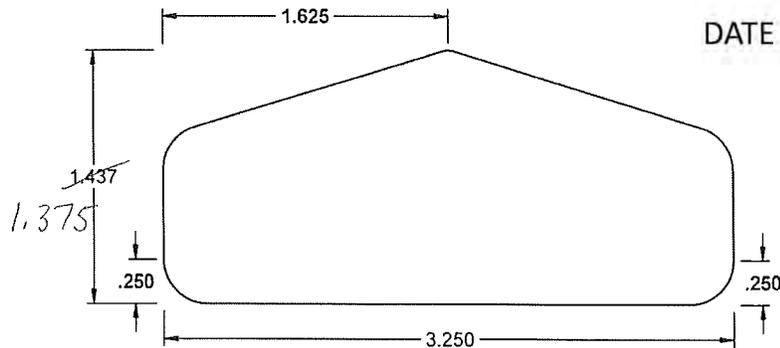
DATE 07/12/18



CITY OF WORTHINGTON

DRAWING NO. AR 64-18

DATE 07/12/18



Profile Number:	<u>KL 1973</u>	Overall Size:	<u>1.437 x 3.250</u>
Description:	<u>Special Handrail</u>		
Temp. No. Right:	<u>91</u>	Temp. No. Left:	<u>91</u>
Temp. No. Top:	<u>3257</u>	Temp. No. Bottom:	<u>S</u>
Remarks:			
Drawn By:	<u>kristinab</u>	Date:	<u>9/3/2008</u>
Name:	<u>S & K Trim</u>	Revised Date:	<u>11/11/2010</u>



4465 SR 557
 Charm OH 44617
 1-800-362-6682
 www.keimlumber.com



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application ..

Case # AR-05-18
Date Received 7-13-18
Fee _____
Meeting Date 7-20-18
Filing Deadline 7-13-18
Receipt # _____

1. **Property Location** 232 E. Dublin-Granville Road
2. **Present/Proposed Use** Single Family Home - Add open porch on rear of house
3. **Zoning District** R-10
4. **Applicant** Suncraft Corporation, Inc. - James Knox
Address 122 W. Johnstown Road Columbus, OH 43230
Phone Number(s) (614)475-0000p (614)475-0986f
5. **Property Owner** Fortman, Craig/Kara
Address 232 E. Dublin-Granville Road
Phone Number(s) (419)303-7578
6. **Project Description** Add 29'x13' open porch on rear of house
7. **Project Details:**
- a) **Design** Open porch with treated pine decking
- b) **Color** Posts-painted to match house/railing cedar w/alum. ballusters
Facia-to match house / shingle to match house
- c) **Size** 29'x13'
- d) **Approximate Cost** \$ 34,138.00 **Expected Completion Date** Fall 2018

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Suncraft Corp., Inc. by  7/10/18
Applicant (Signature) **Date**

 7/10/18
Property Owner (Signature) **Date**

ABUTTING PROPERTY OWNERS
FOR
232 E. Granville Rd.

Earl N Metz Tr.	226 E. Granville Rd.	Worthington, OH 43085
Craig Eugene Hackman & Diane Marsicano	242 E. Granville Rd.	Worthington, OH 43085
Martin & Mary Walsh	219 E. Granville Rd.	Worthington, OH 43085
Gary & Kathryn Schmidt	263 Franklin Ave.	Worthington, OH 43085
Daniel & Kathryn Kort	253 Franklin Ave.	Worthington, OH 43085
Richard & Karen Altomare	281 Franklin Ave.	Worthington, OH 43085
Walter & Laurie McEnergy	397 Pingree Dr.	Worthington, OH 43085

SUNCRAFT
DESIGN/BUILD

City of Worthington
Division of Building Regulation
374 Highland Avenue
Worthington, OH 43085

Re: Porch Addition
232 E. Dublin-Granville Road

This letter is in reference to new open porch addition on the rear of the house located at 232 E. Dublin-Granville Road.

The homeowner is requesting permission to build an open porch on the back of his house to enjoy the nice Worthington weather. He has contracted with Suncraft Corporation, Inc. to build this addition for him.

If there is any further information or attention needed for this approval, please feel free to contact me.

Thank you,



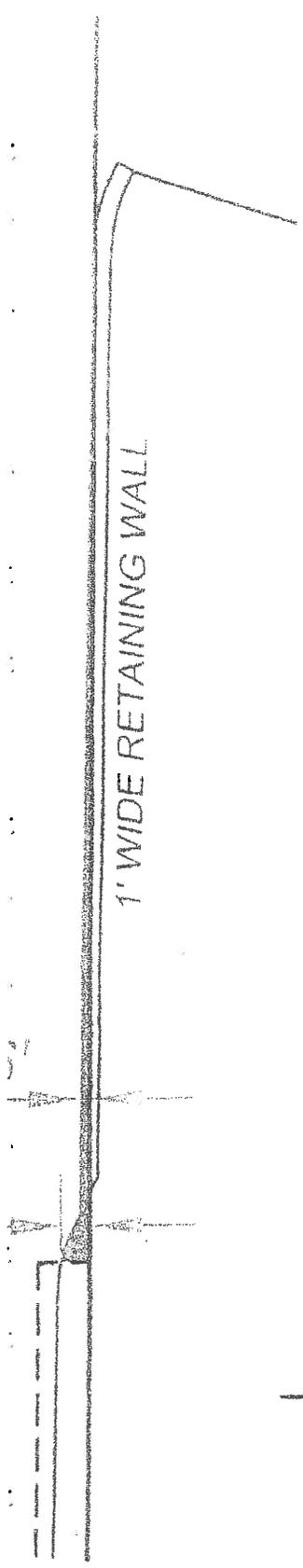
James Knox
Permit Coordinator
Suncraft Corporation, Inc.
122 W. Johnstown Road
Columbus, OH 43230
(614)475-0000
jim@suncraftdesignbuild.com

232 E. Granville Rd.



ENCROACHMENT
DETAIL

50.00' (PLAT)
50.16' (SURVEY)



1' WIDE RETAINING WALL

3' X 85' INGRESS /
EGRESS EASEMENT
O.R.V. 15896 - 106

IRON PIN
FOUND

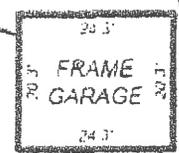


10.2' X 11.8'
FRAME SHED
(NO. FND.)

IRON PIN
FOUND

260.00' (PLAT) 259.65' (SURVEY)

1' WIDE RETAINING WALL
CONCRETE DRIVE



20' 3"
70' 3"
24' 3"
20' 3"
FRAME
GARAGE

PORCH

16' ±



2
STORY
FRAME
232

5.7'

PORCH 4" FROM
END OF HOUSE

40.5'

260.00' (PLAT) 259.53' (SURVEY)

165' ±

IRON PIN
FOUND

50.00' (PLAT)
50.16' (SURVEY)

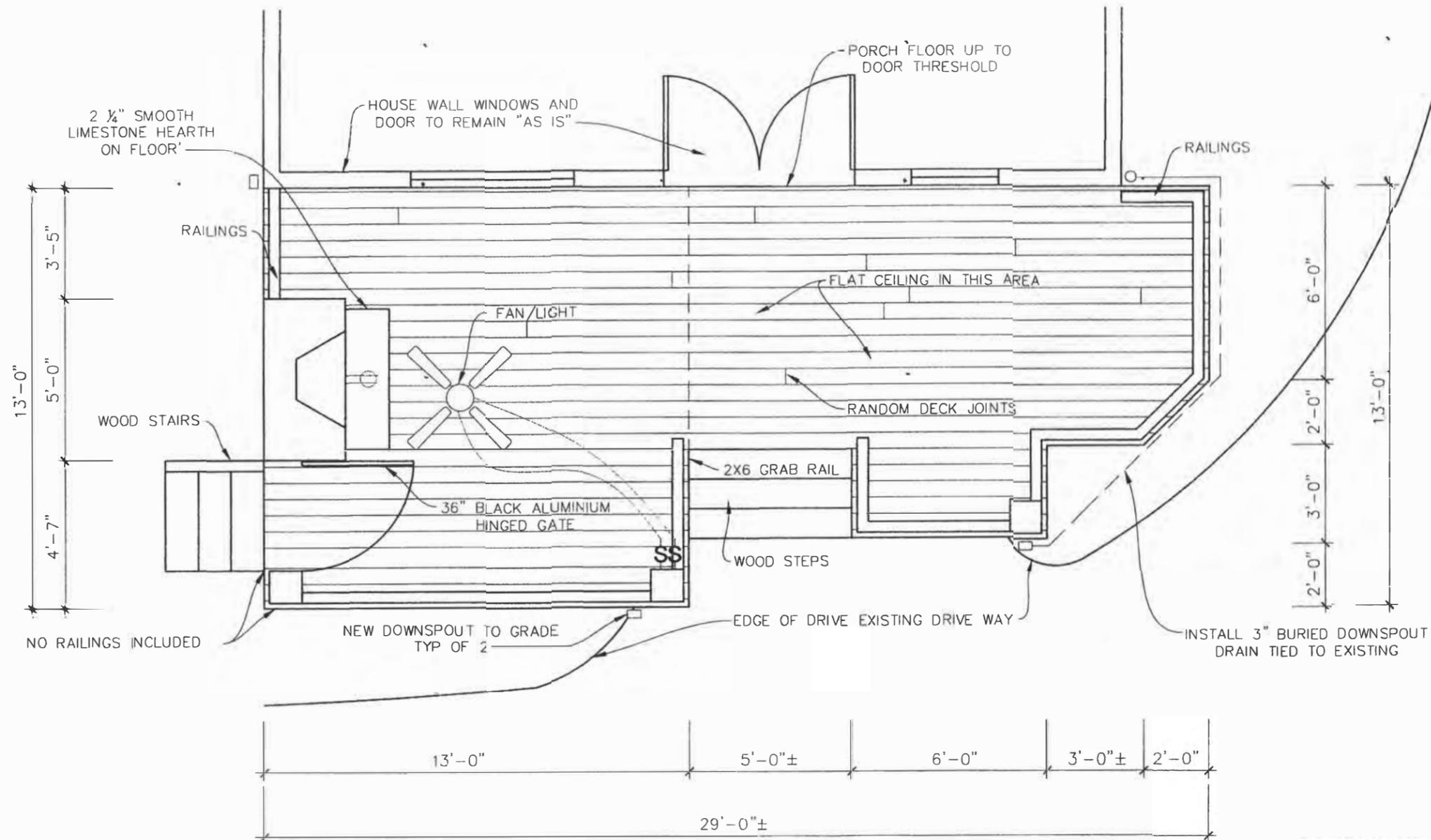
CITY OF WORTHINGTON
DRAWING NO. AR-65-18
DATE 07/13/18

N
1" = 30'

FORTMAN, CRAIG / KARA
232 E. DUBLIN-GRANVILLE RD.
WORTHINGTON, OH 43085
PARCEL# 100 - 000423
PINGREE DRIVE

E. DUBLIN
GRANVILLE ROAD

SUNCRAFT
FORTMAN 18124



NO PAINTING, STAINING,
CAULKING, OR NAIL
HOLE FILLING INCLUDED

PLAN VIEW

CITY OF WORTHINGTON

DRAWING NO. AR-65-18

DATE 07/13/18



Fortman, Craig / Kara

232 E Dublin-Granville Rd., Worthington OH 43085

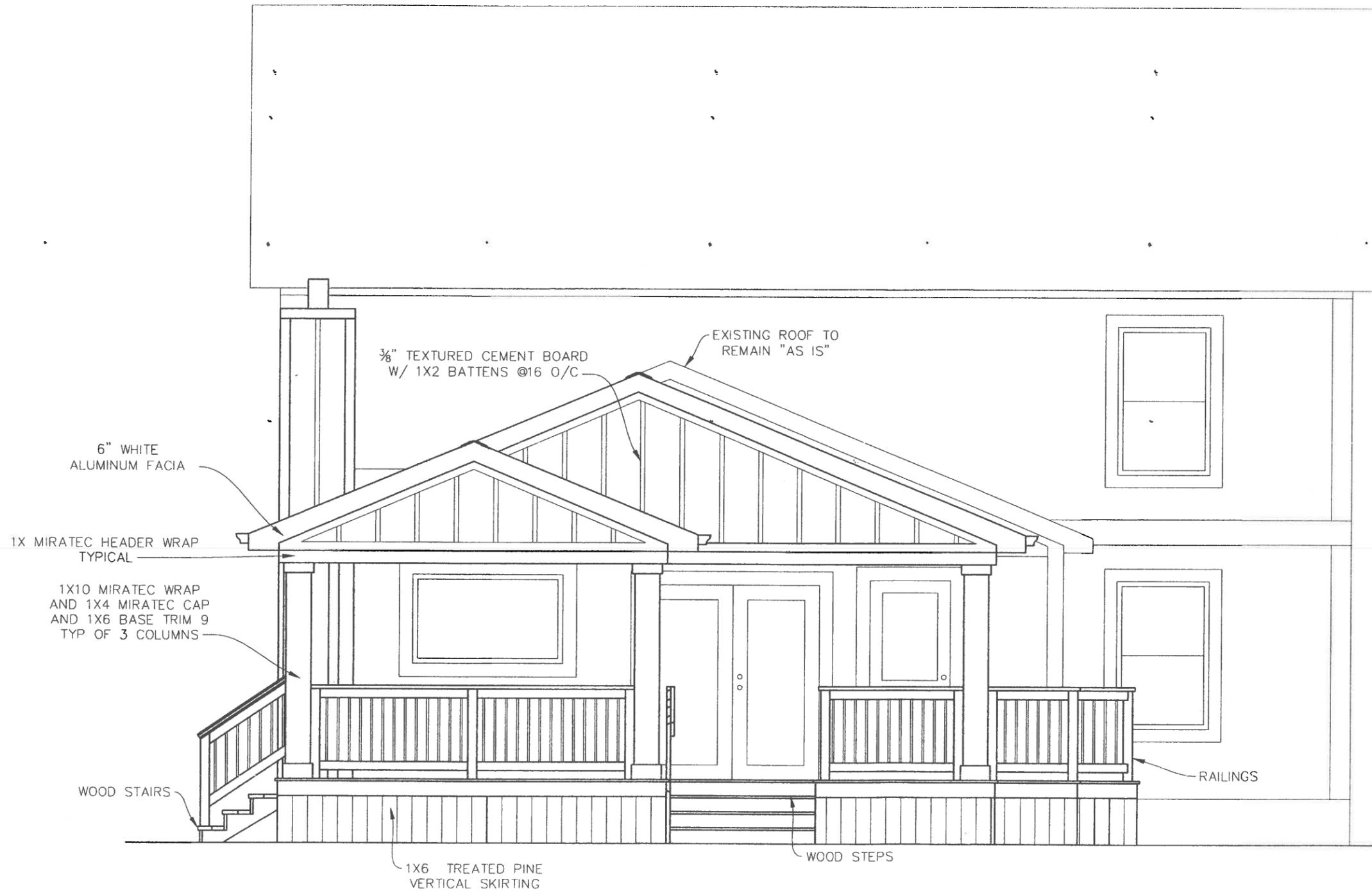
Suncraft Corporation, Inc.
122 West Johnstown Road
Columbus, OH 43230
Phone: (614) 475-0000
Fax: (614) 475-0986

COPYRIGHT
Suncraft Corporation, Inc. retains the common law copyright to the material appearing herein. This drawing is the property of Suncraft Corp., Inc. and is not to be used for any purpose other than construction by Suncraft Corp., Inc.. All drawings and written material appearing herein constitute the original and unpublished work of Suncraft Corp., Inc. and the same may not be copied, used or disclosed without the written consent of Suncraft Corp., Inc.

DESIGNER	ER
SCALE	1/4" = 1'-0"
DATE	6-21-18
CHECKED	
REVISED	

APPROVED _____ DATE _____
APPROVED _____ DATE _____

<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PERMIT	
<input checked="" type="checkbox"/> CONSTRUCTION	
CONTRACT - PLAN#	SHEET #
18124	1 / 3



NO PAINTING, STAINING,
CAULKING, OR NAIL
HOLE FILLING INCLUDED

FRONT ELEVATION

CITY OF WORTHINGTON
DRAWING NO. AR-65-18
DATE 07/13/18



Fortman, Craig / Kara
232 E Dublin-Granville Rd., Worthington OH 43085

- PRELIMINARY
- PERMIT
- CONSTRUCTION

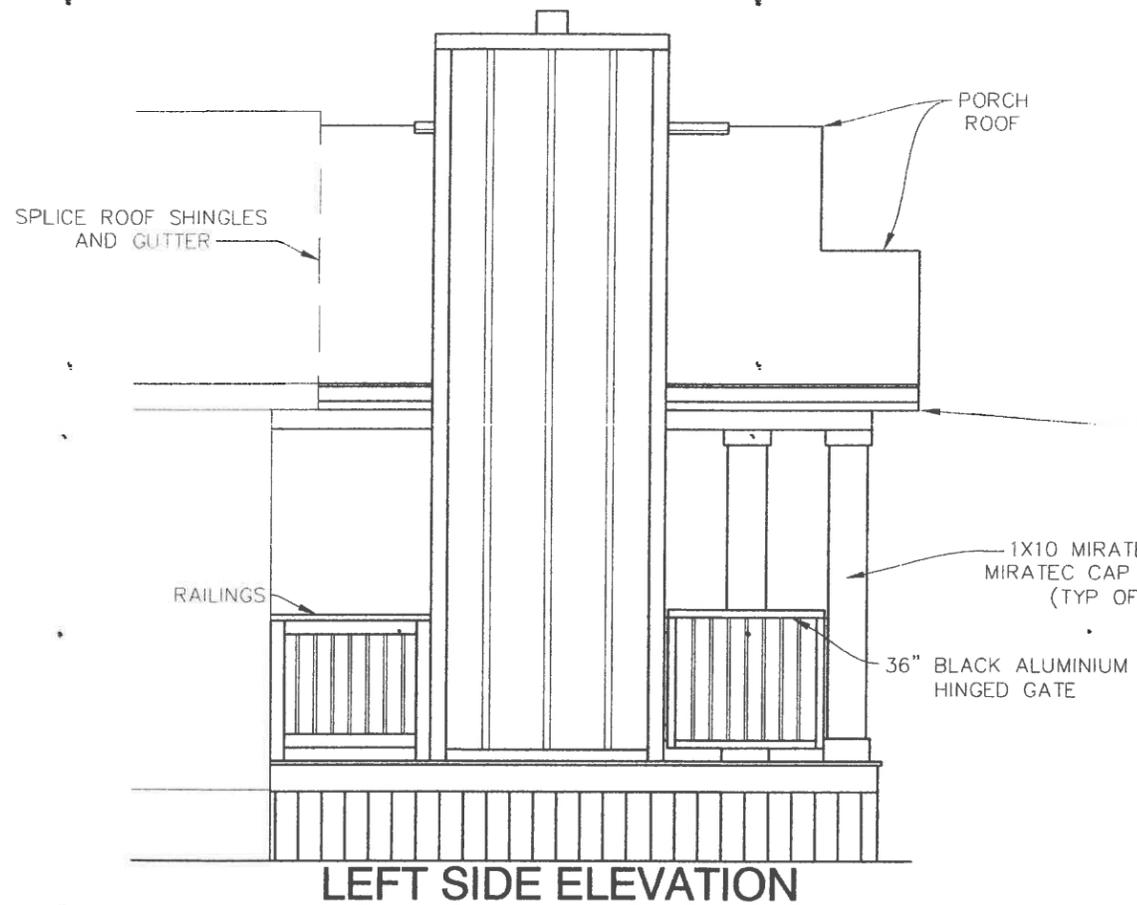
CONTRACT - PLAN # 18124 SHEET # 2 / 3

Suncraft Corporation, Inc.
122 West Johnstown Road
Columbus, OH 43230
Phone: (614) 475-0000
Fax: (614) 475-0986

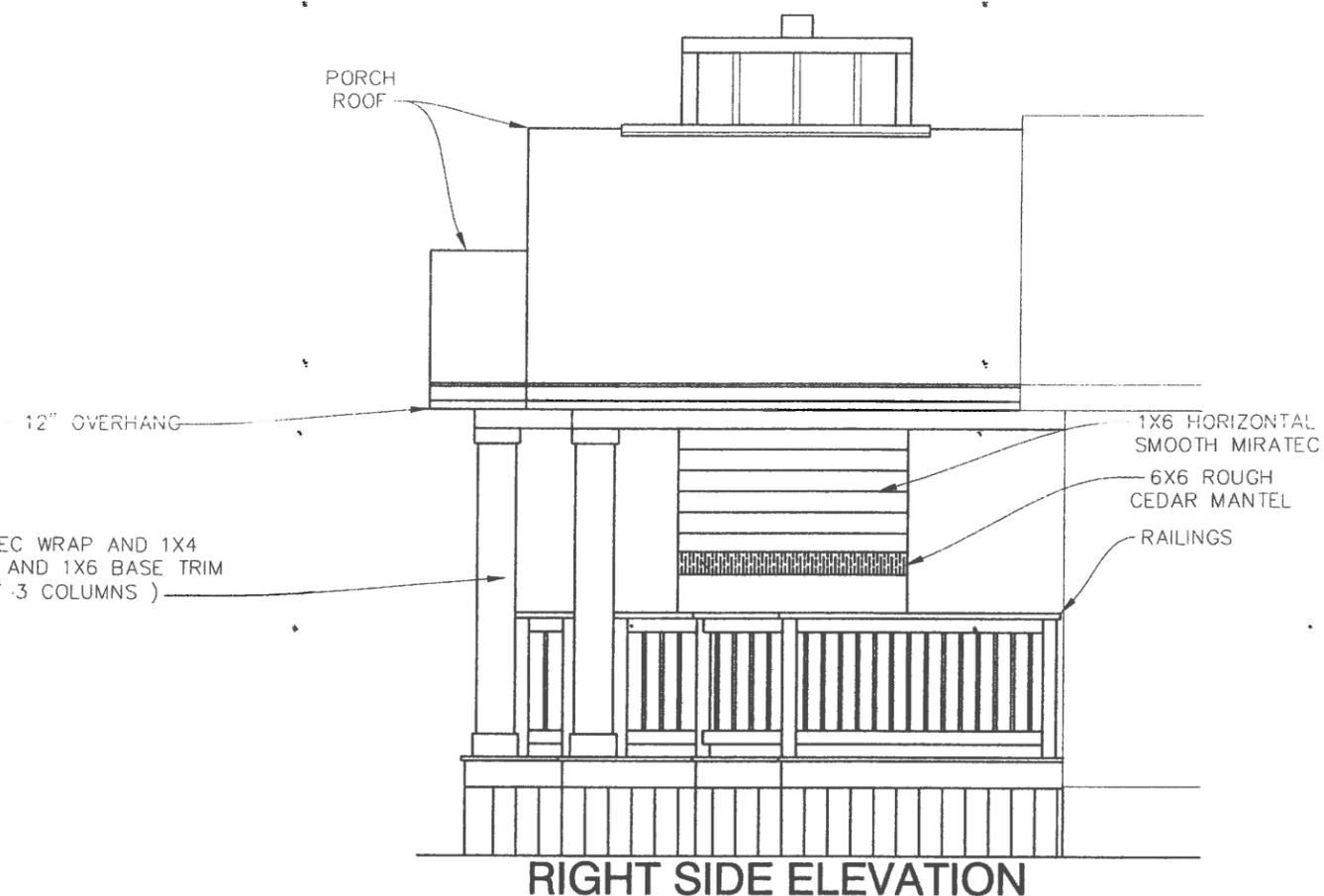
COPYRIGHT
Suncraft Corporation, Inc. retains the common law copyright to the material appearing herein. This drawing is the property of Suncraft Corp., Inc. and is not to be used for any purpose other than construction by Suncraft Corp., Inc. All drawings and written material appearing herein constitute the original and unpublished work of Suncraft Corp., Inc. and the same may not be copied, used or disclosed without the written consent of Suncraft Corp., Inc.

DESIGNER ER
SCALE 1/4" = 1'-0"
DATE 6-21-18
CHECKED
REVISED

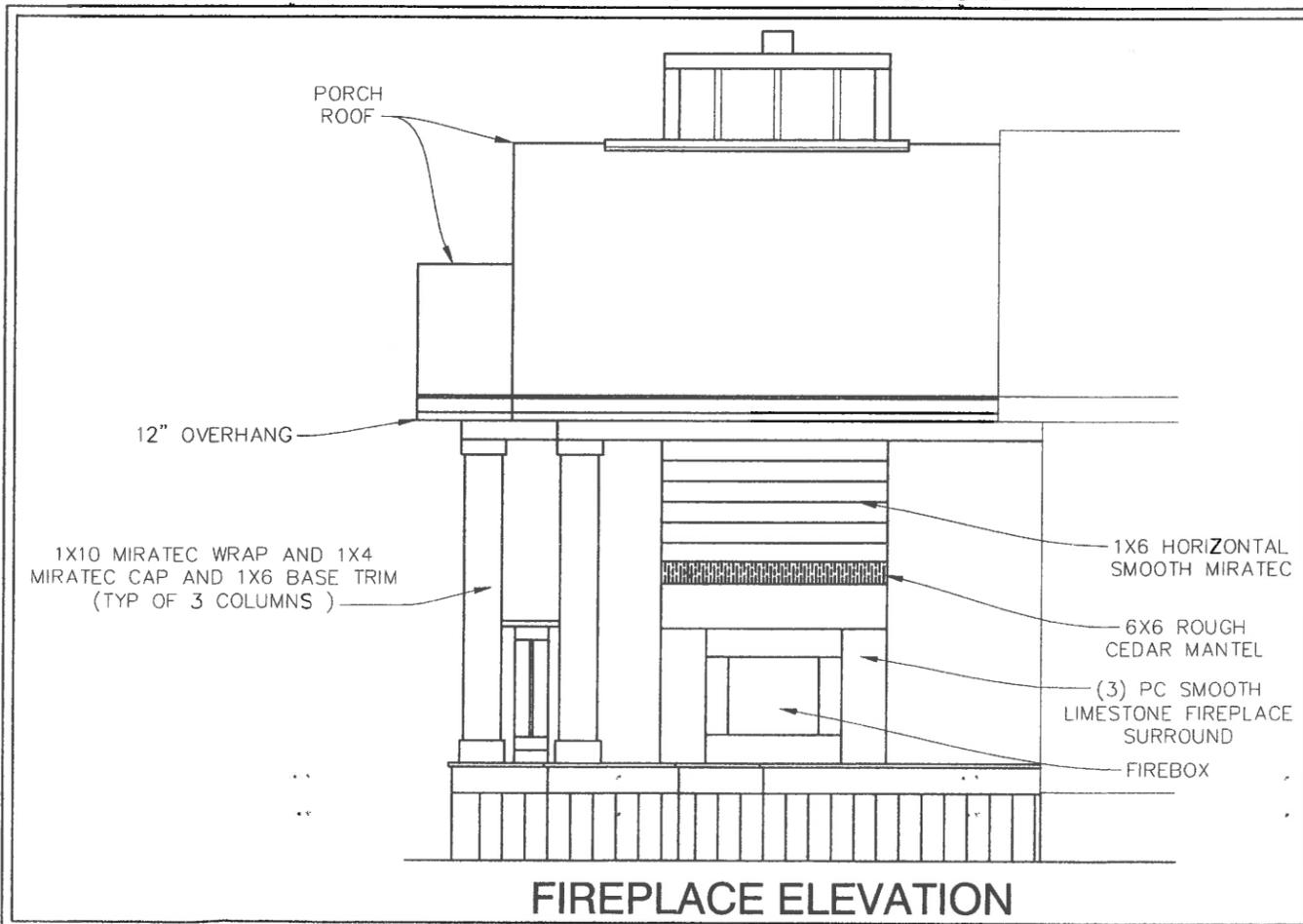
APPROVED _____ DATE _____
APPROVED _____ DATE _____



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



FIREPLACE ELEVATION

CITY OF WORTHINGTON
 DRAWING NO. AR-65-18
 DATE 07/13/18

NO PAINTING, STAINING,
 CAULKING, OR NAIL
 HOLE FILLING INCLUDED

SUNCRAFT DESIGNED RIGHT. BUILT RIGHT.	DESIGNER	ER
	SCALE	1/4" = 1'-0"
Suncraft Corporation, Inc. 122 West Johnstown Road Columbus, OH 43230 Phone: (614) 475-0000 Fax: (614) 475-0986	DATE	6-21-18
	CHECKED	
Fortman, Craig / Kara 232 E Dublin-Granville Rd., Worthington OH 43085	REVISED	
	APPROVED	DATE
<input type="checkbox"/> PRELIMINARY <input type="checkbox"/> PERMIT <input checked="" type="checkbox"/> CONSTRUCTION	APPROVED	DATE
CONTRACT - PLAN #	SHEET #	
18124	3 / 3	

COPYRIGHT Suncraft Corporation, Inc. retains the common law copyright to the material appearing herein. This drawing is the property of Suncraft Corp., Inc. and is not to be used for any purpose other than construction by Suncraft Corp., Inc. All drawings and written material appearing herein constitute the original and unpublished work of Suncraft Corp., Inc. and the same may not be copied, used or disclosed without the written consent of Suncraft Corp., Inc.



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR-106-18
Date Received	7-13-18
Fee	\$4.00
Meeting Date	7-26-18
Filing Deadline	7-13-18
Receipt #	105571

1. Property Location 753 High Street Worthington, Ohio 43085
2. Present/Proposed Use _____
3. Zoning District S1
4. Applicant Worthington Presbyterian Church
 Address 773 High Street Worthington Ohio 43085
 Phone Number(s) 614-397-3493
5. Property Owner Worthington Presbyterian Church
 Address 773 High Street Worthington Ohio 43085
 Phone Number(s) 614-397-3493
6. Project Description Paint the Kingsley Ray House Residence

7. Project Details:

- a) Design Brick Building Aric 1826
- b) Color Multiple Colors for exterior body, trim, and front door locations.
- c) Size Complete Residence
- d) Approximate Cost 3500.00 Expected Completion Date ASAP

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

DEM Muller
 Applicant (Signature)

7-13-18
 Date

DEM Muller
 Property Owner (Signature)

7-13-18
 Date

ABUTTING PROPERTY OWNERS
FOR
753 High St.

Christine Lahue	28 W. Dublin-Granville Rd.	Worthington, OH 43085
Judith Hinkle	44 W. Dublin-Granville Rd.	Worthington, OH 43085
David Guntrip and Amanda Helter	64 W. Dublin-Granville Rd.	Worthington, OH 43085
Daniel & Rachel Gibson	701 Morning St.	Worthington, OH 43085



WORTHINGTON PRESBYTERIAN CHURCH

On The Village Green

773 High Street, Worthington, Ohio 43085-4171

614-885-5355

www.worthingtonpresbyterian.com

July 12, 2018

Dear Members of the Worthington Architectural Review Board,

The governing board of Worthington Presbyterian Church has authorized exterior painting of the building located at 753 High Street, also known as the Kingsley Ray House. The original structure is believed to have been built in 1826. This project will help to preserve it.

We are seeking your approval of paint colors. While our research is still underway, we are ready at this point to propose the following colors from the Sherwin Williams American Heritage Historic Color Pattern:

Main body of home: Rookwood Terra Cotta – SW 2803
Exterior wood trim: Renwick Beige – SW 2805
Front Door: Rook Dark Brown – SW 2808

We believe these colors would reflect the earth tones common to the early 19th century era and preserve the beauty of this home. We also consulted the closest neighbor to 753, David and Christine Lahue (28 W Dublin-Granville Rd). Mrs. Lahue expressed that she was neutral on the color and pleased that the structure was going to be painted.

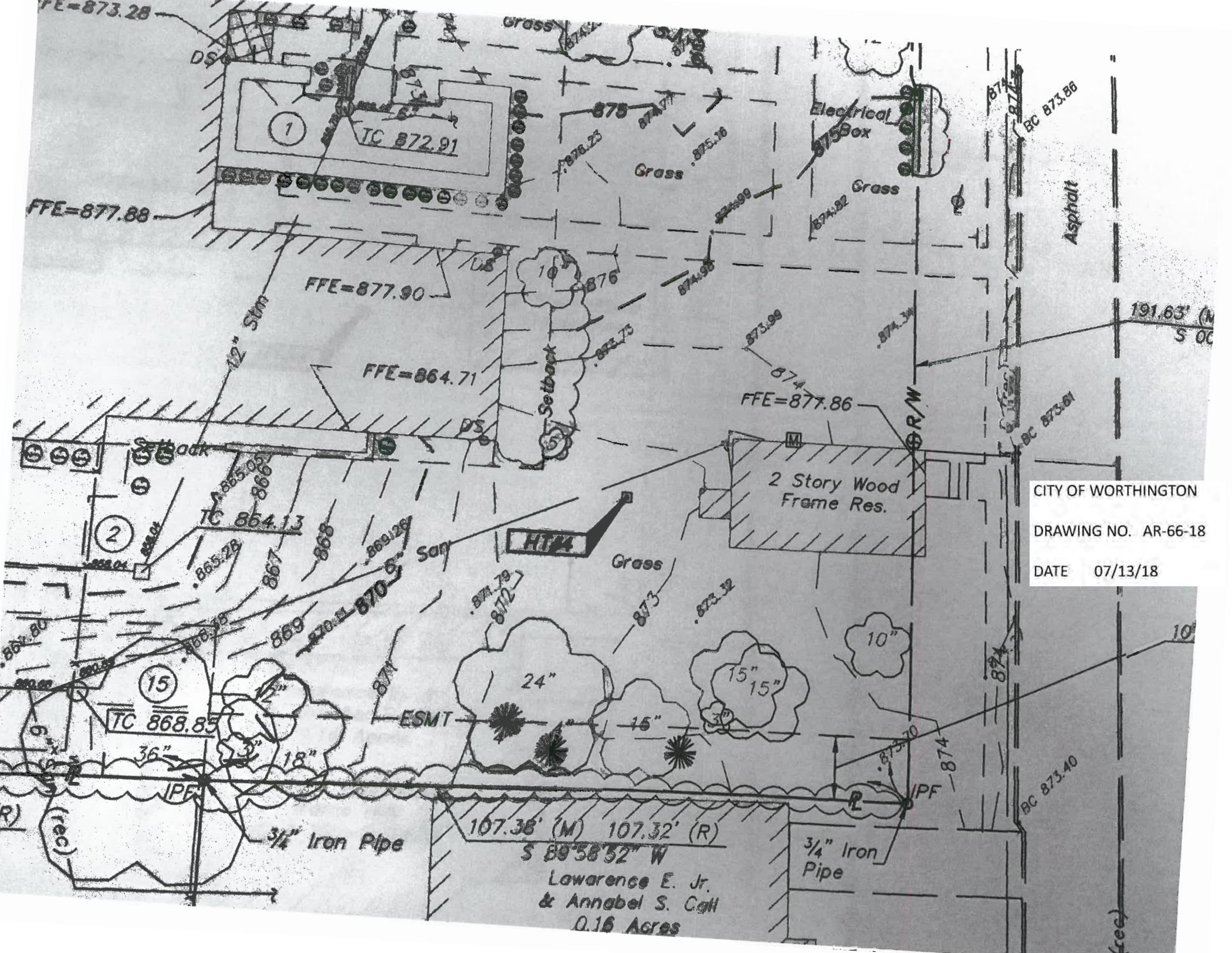
This project follows a major re-roofing project in 2017 and supports our effort to ensure the house is protected from the elements. Our membership is eager to complete this project in the summer of 2018, so the citizens and visitors of Worthington may enjoy this home's beauty as a part of the Village Green.

Sincerely yours,

Dave Matthias
Business and Facilities Manager
Phone: 614-885-5355 Ext. 117
Cell Phone: 614-397-3493

753 High St.





CITY OF WORTHINGTON
 DRAWING NO. AR-66-18
 DATE 07/13/18

107.38' (M) 107.32' (R)
 S 89°58'32" W
 Lawrence E. Jr.
 & Annabel S. Galt
 0.16 Acres

191.63' (M)
 S 00°

Asphalt

3/4" Iron Pipe

3/4" Iron Pipe

FFE=877.86

FFE=877.90

FFE=864.71

FFE=877.88

1

TC 872.91

DS

Electrical Box

Grass

Grass

10'

Setback

2 Story Wood Frame Res.

HT4

Grass

TC 864.13

TC 868.85

15

2

24"

15" 15"

10"

ESMT

IPF

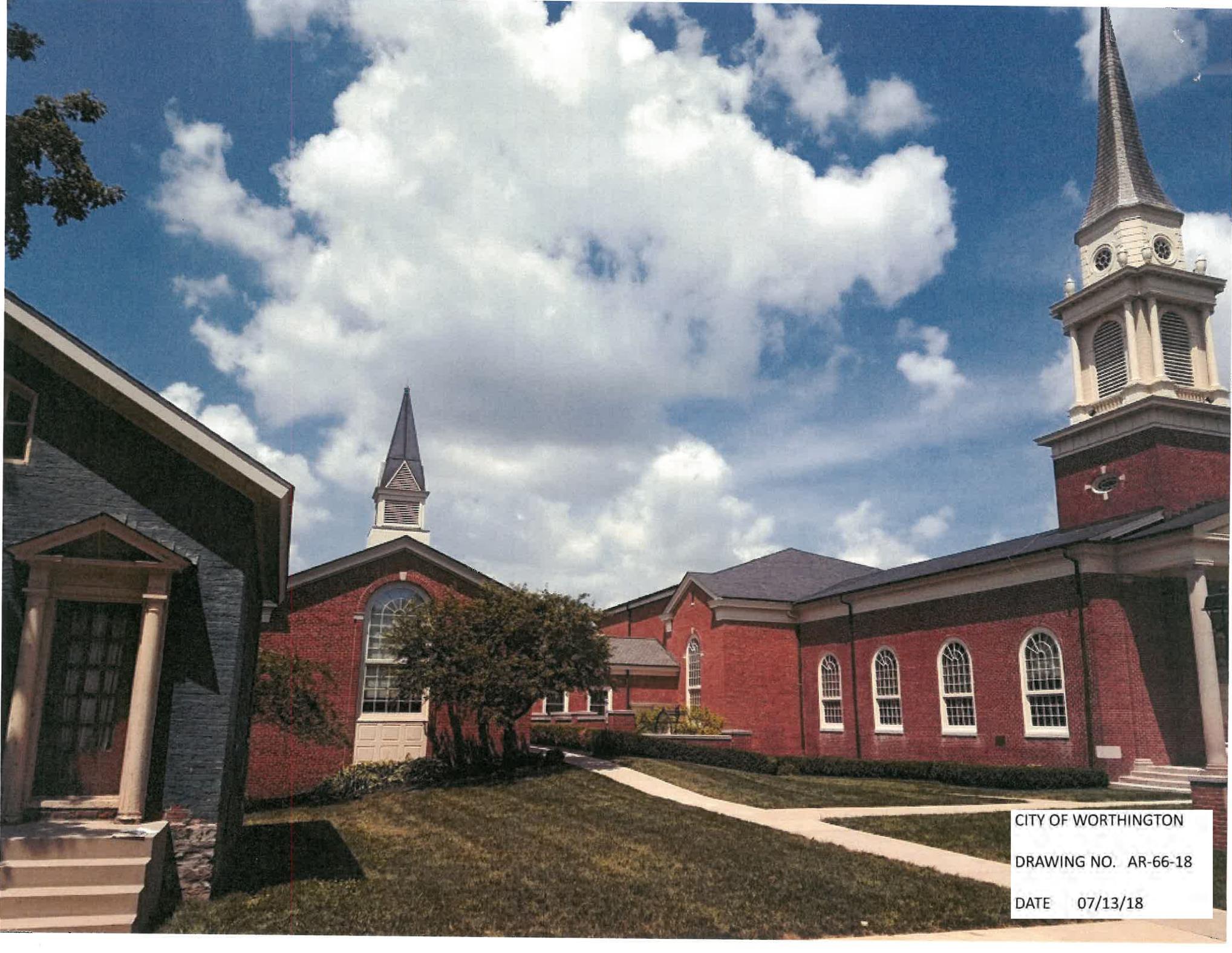
IPF

BC 873.40

BC 873.81

BC 873.86

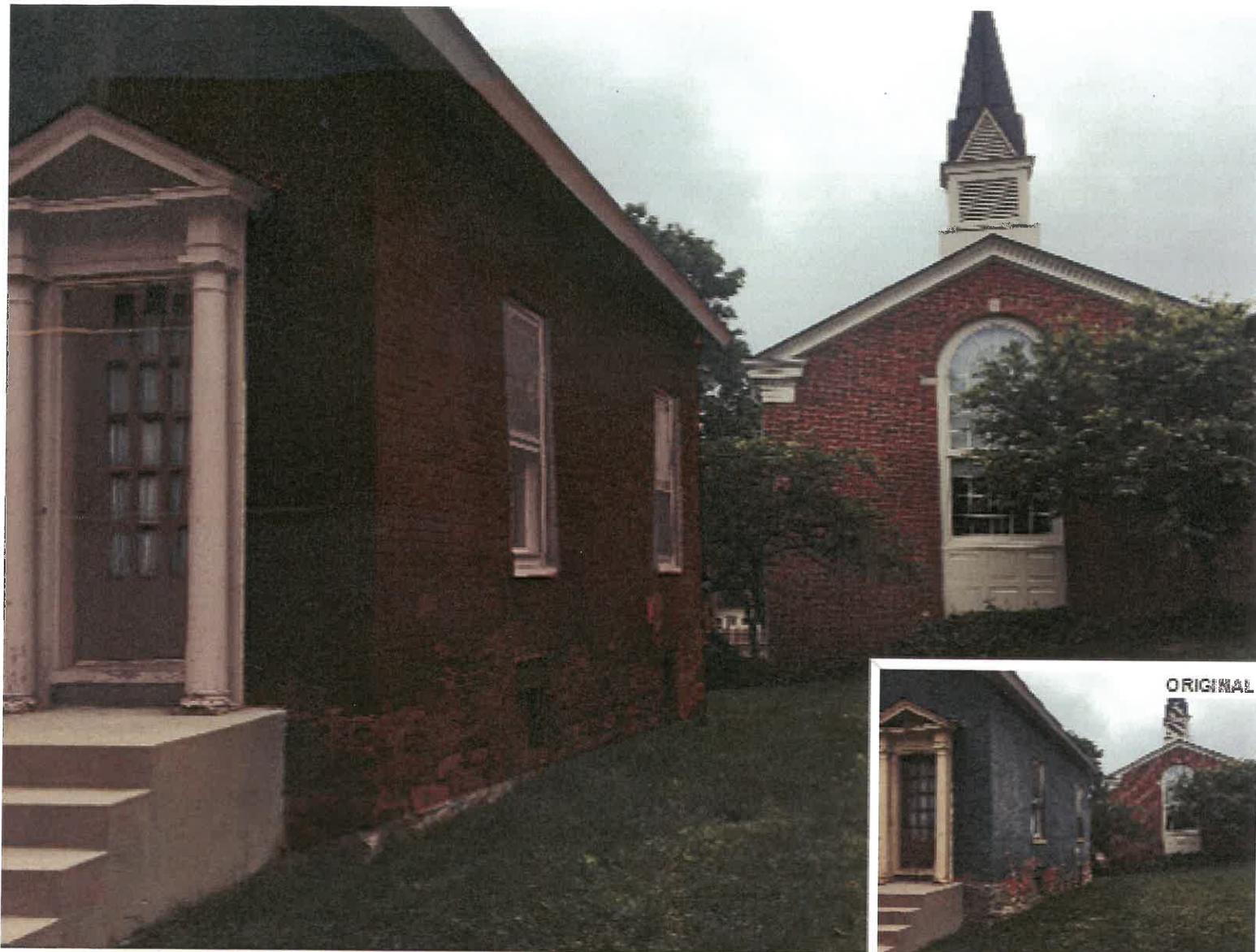
(rec)



CITY OF WORTHINGTON
DRAWING NO. AR-66-18
DATE 07/13/18

Created with

SHERWIN-WILLIAMS
COLORSNAP | VISUALIZER



✓ FEATURED IN SCENE

SW 2803
Rookwood Terra Cotta

✓ FEATURED IN SCENE

SW 2805
Renwick Beige

✓ FEATURED IN SCENE

SW 2808
Rookwood Dark Brown

CITY OF WORTHINGTON

DRAWING NO. AR-66-18

DATE 07/13/18



SHERWIN-WILLIAMS.

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.



✓ FEATURED IN SCENE

SW 2803
Rookwood Terra Cotta

✓ FEATURED IN SCENE

SW 2805
Renwick Beige

SW 2808
Rookwood Dark Brown

CITY OF WORTHINGTON

DRAWING NO. AR-66-18

DATE 07/13/18



SHERWIN-WILLIAMS.

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR-108-18
Date Received	7-13-18
Fee	\$2.00
Meeting Date	7-26-18
Filing Deadline	7-13-18
Receipt #	65581

1. **Property Location** 693 1/2 High St. Suite 102
2. **Present/Proposed Use** outside sign for business
3. **Zoning District** _____
4. **Applicant** Lynn M. Winegardner
Address 4190 Colister Dr. Dublin, OH 43016
Phone Number(s) 419-234-6405
5. **Property Owner** 689 North High Street LLC
Address PO BOX 647 Worthington, OH 43085
Phone Number(s) 614-815-7852
6. **Project Description** Business sign to hang outside of building by entrance.
7. **Project Details:** see attached form
 - a) **Design** _____
 - b) **Color** _____
 - c) **Size** 22in x 10in.
 - d) **Approximate Cost** \$268 **Expected Completion Date** August 2018

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Lynn Winegardner
 Applicant (Signature)

7/12/18
 Date

[Signature]
 Property Owner (Signature)

7/12/18
 Date

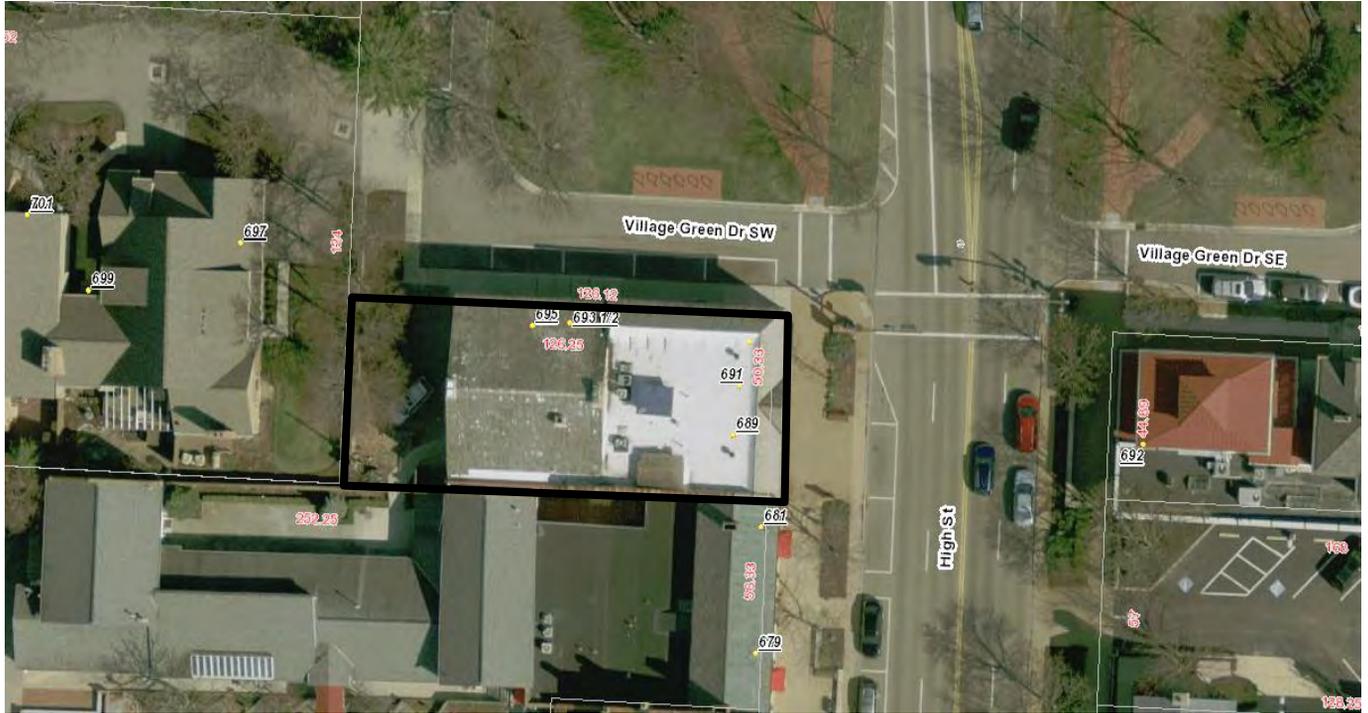
ABUTTING PROPERTY OWNERS
FOR
693 1/2 High St. Suite 102

Highline Coffee
AR Workshop Worthington
WJI Enterprises LTD
689 North High Street LLC

691 High St.
695 High St.
692 High St.
PO Box 221

Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085

693 1/2 High St. Unit 120



My name is Lynn Winegardner and I am wanting to put a sign for my business outside of the building located at 693 1/2 High St. Worthington, Ohio. I would like to place it outside the door to the left underneath the business sign for College Bound Advantage which a picture is listed below.



New Sign Location



CITY OF WORTHINGTON

DRAWING NO. AR 68-18

DATE 07/13/18

10 x 22" Sandblasted HDU/PVC with 3 color paint finish: \$155
 Installation of sign: \$95
 + Tax

22 in

10 in



CITY OF WORTHINGTON

DRAWING NO. AR 68-18

DATE 07/13/18

PROOF & PRODUCTION POLICY: Approval of this proof indicates that all SPELLING, PUNCTUATION, FONTS, COLORS, DIMENSIONS & GRAPHICS are correct and ready for production. Once the proof has been approved, any changes will result in additional fees. PLEASE REVIEW THIS PROOF CAREFULLY BEFORE APPROVING. PLEASE SIGN and FAX to 614.798.0003 or EMAIL to custservice@nextdaysignscols.com

Customer Signature:

Date:

Customer:	Lynn Kelly
Company:	W Glow Bar
Address:	
City:	State/ZIP:
Phone:	
Fax:	


NextDaySignsCols.com
 P: 614.764.7446 F: 614.798.0003
 6403 Nicholas Dr., Columbus, OH 43235

Job No.:	Date:	7/11/2018
Order Date:	Salesperson:	Amanda
Sign Dimensions:	Estimate:	\$268.75
22.000in x 10.000in		
Comments:		



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Table with application details: Case # AR-69-18, Date Received 7-13-18, Fee \$100.00, Meeting Date 7-20-18, Filing Deadline 7-13-18, Receipt # 105504

- 1. Property Location 80 E Wilson Bridge Rd.
2. Present/Proposed Use McDonald's Restaurant
3. Zoning District WBC-3
4. Applicant McDonald's USA, LLC
Address 2 Easton Oval, Suite 200, Columbus, OH 43219
Phone Number(s) (614) 282-0936
5. Property Owner Same as applicant
Address
Phone Number(s)
6. Project Description Rebuild of existing McDonald's Restaurant
7. Project Details:
a) Design Please see project summary attached.
b) Color
c) Size
d) Approximate Cost 1M Expected Completion Date 10/30/18

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Lynsey Jordan
Applicant (Signature)

3/8/18
Date

[Signature]
Property Owner (Signature)

3/8/18
Date

ABUTTING PROPERTY OWNERS
FOR
80 E. Wilson Bridge Rd.

Ohio Automobile Club
Board of Trustees of Sharon Twp.
Worthington Square Venture LLC
Samay2013 LLC
Imen Associates
Tsai & Chan LLC
Buca di Beppo
McDonald's

90 E. Wilson Bridge Rd.
95 E. Wilson Bridge Rd.
7227 N. High St.
8341 Somerset Way
89 E. Wilson Bridge Rd
15 W. 6th St., Suite 2400
60 E. Wilson Bridge Rd.
80 E. Wilson Bridge Rd.

Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Dublin, OH 43017
Worthington, OH 43085
Tulsa, OK 74119
Worthington, OH 43085
Worthington, OH 43085

80 E. Wilson Bridge Rd



100-005497 04/07/2014

City of Worthington
Planning and Zoning Department
374 Highland Ave.
Worthington, OH 43085

July 13, 2018

**RE: McDonald's Rebuild Project
80 E Wilson Bridge Rd.
Worthington, OH 43085**

Dear Planning and Development:

We appreciate your support and effort in assisting with the Architectural Review Board and Planning Commission approval of the McDonald's rebuild project on Wilson Bridge Road. We are proposing a few changes to the approved plan as outlined below:

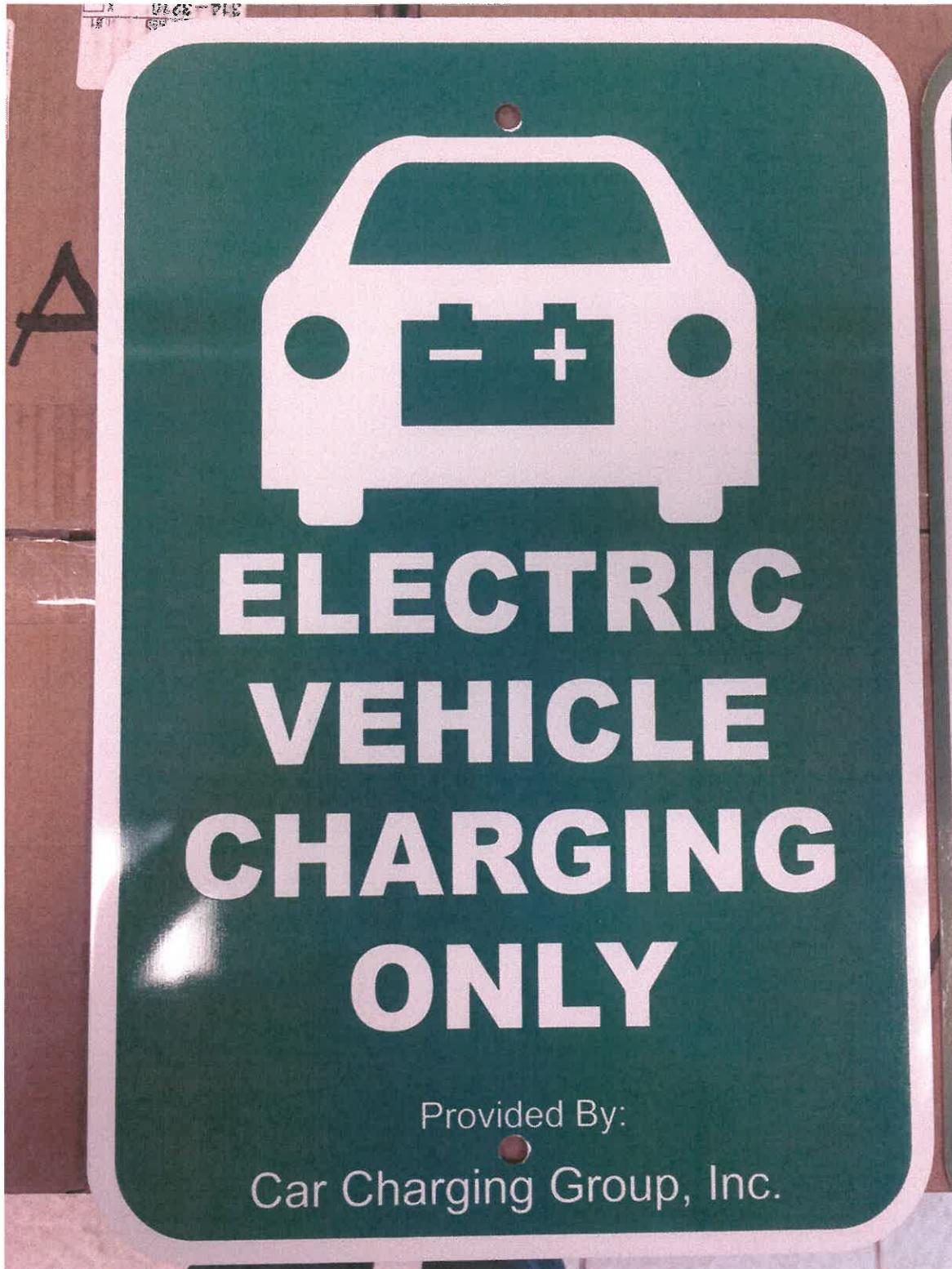
- 1- Two Vehicle Charging Stations
 - a. The site plan has been updated to illustrate two electric vehicle charging stations (pavement markings and charging stations) next to the trash corral on the south property line. Details on the charging stations and signage have been included as part of the application.
 - b. The signs for the charging stations will be 18" tall by 12" wide (see attached photo).
- 2- Shed
 - a. 10x17 shed was added to the east side of the trash enclosure to store outdoor equipment.
 - b. The shed will consist of brick to match the building and trash corral.
 - c. Parking and landscaping were revised to make up for the area that was eliminated by the shed.
- 3- Bollards
 - a. Bollards were added near the menu boards and at the corner of the proposed shed to protect the structures.
 - b. The bollards will be painted to match the design of the building and menu boards. They will not be yellow.

McDonald's, and our local Operator, Scott Holowicki, are excited and very proud to bring a new restaurant to the City of Worthington. We think it's important to reinvest in the Worthington Community. We look forward to presenting the updates to this project to the City commissions, City Council and Boards, and Worthington residents.

Please do not hesitate to contact us with any questions or for additional information. We look forward to working with the City of Worthington on this large investment which we believe will be a quality enhancement of an established business within the community.

Thank You,

McDonald's USA, LLC



CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

blink[®]

AC Level 2 Pedestal Charging System Installation Manual

Model Numbers:

PE-30Kice60

PE-30Kice48

PE-30Kice40



Simply Smart.

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18



©2013 by Electric Transportation Engineering Corporation. All rights reserved.

No part of the contents of this document may be reproduced or transmitted in any form or by any means without the express written permission of Electric Transportation Engineering Corporation, dba ECOTality North America™. The contents of this document have been verified by the manufacturer to be consistent with the described components; however, inconsistencies sometimes occur. Such inconsistencies should be brought to the attention of an ECOTality North America representative. Changes to this manual may be made at any time without notice.

Disclaimer of Consequential Damages

ECOTality North America is not responsible for the use or application by any person of the materials in this manual. ECOTality North America is not responsible for damages, either direct or consequential, arising out of or relating to the use or application of these materials.



Blink, Blink Network, and the **blink** logo are registered trademarks of ECOTality, Inc.

ECOTality North America is a trademark of ECOTality, Inc.

ANSI® is a registered trademark of the American National Standards Institute.

Fluke® is a registered trademark of Fluke Corporation.

IEC® is a registered trademark of the International Electrotechnical Commission.

IEEE™ is a trademark of the Institute of Electrical and Electronics Engineers, Inc.

SAE J1772™ is a trademark of SAE International®.

Rev #	Date	Changes Made
2.0	-	Updated cover art and trademark information and fixed screen images
2.1	-	Inserted conduit routing instructions and added CDMA instructions
2.2	-	Updated unit diagram with three model dimensions
2.3	-	Deleted any reference to PE48 in the manual
3.0	5/2/2013	Complete revision to update format and several technical issues.



Electric Transportation Engineering Corporation

dba ECOTality North America

430 S. 2nd Avenue

Phoenix, Arizona 85003-2418

888-998-BLINK

www.ecotalityna.com

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

Table of Contents

1	IMPORTANT SAFETY INSTRUCTIONS	1
2	Federal Communications Commission (FCC) Statement.....	3
3	Guidelines and Specifications.....	4
3.1	Applicable Codes and Standards	4
3.2	Installer/Contractor Notes	4
3.3	Customer Responsibility	5
3.4	Tools Required for Installation	6
3.5	Blink Features and Specifications	6
3.5.1	Features.....	6
3.5.2	Specifications	7
4	Charger assembly layout.....	8
4.1	Shipping Box Contents	10
4.2	Charger Housing Assembly	12
5	Installation	14
5.1	Unpack the Charger Housing.....	14
5.2	Mount the Pedestal.....	16
5.3	Connect Power to the Blink Unit.....	21
5.3.1	Route Circuits into the Blink Unit	21
5.4	Connect the Blink to a LAN via Ethernet (optional).....	23
5.5	Connect the Blink using the Cellular Modem.....	24
5.6	Finish Assembly.....	25
5.7	Attach the Beacon Light.....	26
5.8	Calibrate the Blink Touch Screen.....	27
5.9	InCards.....	28
5.9.1	RFID InCard.....	28
5.9.2	Maintainer InCard.....	28
5.9.3	Maintenance Mode.....	29
5.10	Start the Blink Unit	29
5.10.1	Enter a Maintenance Access Code	31
5.11	Maintenance Menu	32
5.11.1	Set Output Current.....	32



5.11.2	Set System Date & Time	34
5.11.3	View System Log.....	34
5.12	Set up the Network	35
5.12.1	Enter Your Password	36
5.12.2	Set up the IP	37
5.12.3	Set up an HTTP Proxy	38
5.13	Test the Network.....	39
5.14	View Device Information	41
5.15	Set Location.....	42
5.16	Help Function.....	43
Appendix A – Concrete Base Drawing		A-1
Appendix B – Input Conduits		B-1
Appendix C – Optional Input Power Access		C-1
Appendix D – Pedestal Dimensions		D-1

CITY OF WORTHINGTON
DRAWING NO. AR 69-18
DATE 07/13/18

List of Figures

Figure 1. Blink Installations, Typical Pre-Installation Guidelines	8
Figure 2. Shipping Box.....	10
Figure 3. Shipping Box Contents.....	11
Figure 4. Charger Housing Assembly.....	12
Figure 5. Blink Shipping Box	14
Figure 6. Cord Reel Base Recessed Areas.....	14
Figure 7. Removing the Front Panel Assembly	15
Figure 8. Front Panel Assembly Removed	15
Figure 9 – Security and Mounting Bolts.....	16
Figure 10. Base Assembly with Frame Extended	16
Figure 11. Insert Temporary Securing Bolt.....	17
Figure 12. Malleable FS Box.....	17
Figure 13. Position Wooden 2x4 Perpendicularly	18
Figure 14. Remove the Malleable FS Box	19
Figure 15. Remove the Wooden 2x4.....	20
Figure 16. Use Conduit and Connectors Certified for Use in a Wet Location.....	22
Figure 17. Location of RJ45 (Ethernet) Port	23
Figure 18. Closed RJ45 (Ethernet) Port	24
Figure 19. Open RJ45 (Ethernet) Port.....	24
Figure 20. Align Cord Reel Front Panel.....	25
Figure 21. Cord Reel Recessed Areas.....	25
Figure 22. Mate the Beacon Light Connectors	26
Figure 23. Beacon Light Security Bolts	26
Figure 24. Beacon Light Assembly Installation.....	26

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

List of Acronyms

AC	Alternating Current	VAC	Volt Alternating Current
ADA	Americans with Disabilities Act	WLAN	Wireless Local Area Network
ANSI	American National Standards Institute		
CCID	Charging Circuit Interrupting Device		
CDMA	Code Division Multiple Access		
CEC	Certified Electrical Contractor		
DC	Direct Current		
EV	Electric Vehicle		
EVSE	Electric Vehicle Supply Equipment		
FCC	Federal Communications Commission		
GND	Ground		
GUID	Globally Unique Identifier		
IEC	International Electrotechnical Commission		
IEEE	Institute of Electrical and Electronics Engineers		
MAC	Maintenance Access Code		
NEC	National Electric Code		
NOC	Network Operating Center		
OSHA	Occupational Safety and Health Act		
POS	Point of Sale		
RF	Radio Frequency		
RFID	Radio Frequency Identification		
SAE	Society of Automotive Engineers		
UBC	Uniform Building Code		
UL	Underwriter Laboratory		

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

List of Unit Used and Symbols

A	Ampere
AWG	American wire gauge
°C	Degree Celsius
°F	Degree Fahrenheit
Hz	Hertz
mm	Millimeters
V	Volt

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18



This Page Intentionally Left Blank

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

1 IMPORTANT SAFETY INSTRUCTIONS

SAVE THESE INSTRUCTIONS

Before using the ECOtality North America (ECOtality) electric vehicle supply equipment (EVSE) Blink unit, read all of these instructions, as well as the **WARNING** and **CAUTION** markings in this document, on the Blink unit, and on your electric vehicle (EV).

Consult the following symbols and related instructions for the actions necessary to avoid hazards.

Legend



WARNING: Used when there is a risk of personal injury



WARNING: RISK OF ELECTRIC SHOCK – Used when there is a risk of electric shock



WARNING: RISK OF FIRE – Used when there is a risk of fire



CAUTION: Used when there is a risk of damage to the equipment



WARNING: RISK OF ELECTRIC SHOCK

Basic precautions should always be followed when using electrical products, including the following:

- a. Read all the instructions before using this product.
- b. This device should be supervised when used around children.
- c. Do not put fingers into the EV connector.
- d. Do not use this product if the flexible power cord or EV cable is frayed, has broken insulation, or any other signs of damage.
- e. Do not use this product if the enclosure or the EV connector is broken, cracked, open, or shows any other indication of damage.



WARNING: RISK OF ELECTRIC SHOCK

Improper connection of the equipment grounding conductor can result in a risk of electric shock. Check with a qualified electrician or serviceman if you are in doubt as to whether the product is properly grounded.

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

GROUNDING INSTRUCTIONS: This product must be connected to a grounded, metal, permanent wiring system; or an equipment-grounding conductor must be run with the circuit conductors and connected to the equipment grounding terminal or lead on the product.



WARNING: RISK OF ELECTRIC SHOCK

- Do not touch live electrical parts.
- Properly install and ground this equipment according to this installation manual, as well as national, state, and local codes.
- Incorrect connections may cause electric shock.
- Disconnect input power before installing or servicing the equipment.



WARNING: This equipment is intended only for charging vehicles that do not require ventilation during charging. Please refer to your vehicle's owner's manual to determine its ventilation requirements.



CAUTION: Incorrect connection may cause damage to the Blink charging system.

Use 8 AWG, 167°Fahrenheit (F) (75°Celsius (C)) copper wire only. Ground Blink unit properly using equipment ground conductor.

CAUTION: EV Coupler Installation Height.

To maintain compliance with the National Electric Code (NEC), the 40" version of the Blink PE-30Kice EVSE must be mounted on a curb at least six inches above the vehicle parking surface.

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

2 Federal Communications Commission (FCC) Statement

This equipment has been tested and found to comply with the limits for a Class B digital device, pursuant to Part 15 of the FCC Rules. These limits are designed to provide reasonable protection against harmful interference in a residential installation. This equipment generates, uses, and can radiate radio frequency energy, and if not installed and used in accordance with these instructions, may cause harmful interference to radio communications. If this equipment does cause harmful interference to radio or television reception, which can be determined by turning the equipment off and on, the user is encouraged to try to correct the interference by one or more of the following measures:

- Reorient or relocate the antenna.
- Increase the separation between the equipment and the receiver.
- Connect the equipment to an outlet on a circuit different from that to which the receiver is connected.
- Consult the dealer or an experienced radio/TV technician for help.

This device complies with Part 15 of the FCC Rules. Operation is subject to the following conditions:

1. This device may not cause harmful interference.
2. This device must accept any interference received, including interference that may cause undesired operation.
3. Changes or modifications not expressly approved by the manufacturer could void the user's authority to operate the equipment.

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

3 Guidelines and Specifications

This Installation Manual describes how to properly install the Blink Model PE-30 EVSE, referred to as the "Blink" throughout this document. Contact the Blink Network Operating Center (NOC) at 1-248-232-5836 for troubleshooting and more detailed technical questions.

3.1 Applicable Codes and Standards

The installer or contractor is responsible for obtaining and becoming familiar with the following publications. Installer or contractor work and material shall comply with the local municipality's currently adopted versions of:

- National Electric Code (NEC)
- Municipal, county, and state building codes and standards
- Occupational Safety and Health Administration (OSHA)
- Uniform Building Code (UBC)
- Other relevant codes and standards that apply to the installation of structural components and electrical equipment

3.2 Installer/Contractor Notes

The installer or contractor selected to install the Blink Model PE-30 and charging systems, including electrical connections, shall conform to the following general notes:

- More than one installer is required to install the EVSE unit. There should be 2-3 installers available to assist with the installation.
- Installation shall be performed as described in the electrical plans and approved drawings.
- All work shall comply with the local municipality's currently adopted version of the NEC and UBC.
- Labor and materials not specifically described, which are incidental to installations and without which a satisfactory job cannot reasonably be completed, are a part of this installation work.
- All materials used in the installation shall be new and Underwriter Laboratory (UL)-listed and labeled where required.
- The installation of alternate current (AC) power circuits and circuit disconnects is not included in this work. Such work must be performed by a certified electrical contractor (CEC).
- It shall be the installer's or contractor's responsibility to carefully read this entire installation manual and associated drawings and sketches to determine his/her responsibilities. Failure to do so shall not release the installer or contractor from doing the work in complete accordance with this document.

- Installation location of the EVSE unit can affect the view of the Point of Sale (POS) screen. Preference is to install the EVSE unit in a shady area or have north/south exposure to improve view of the POS screen.
- Installation location of the EVSE unit should not be located near heavy industrial equipment or power and/or ground lines that support heavy equipment. Heavy industrial equipment could create noise on the lines that would create a Power Fault or Out of Service message when the EVSE unit has power turned on.
- Installation location of the EVSE should not be located near a radio transmitter tower. A radio transmitter tower could cause interference with the EVSE unit and the vehicle that is being charged.
- During performance of the work and after all requirements of this installation manual and associated details are fully completed, ECOtality and/or the customer shall have the option to inspect the work.
- The installer or contractor shall not modify or otherwise alter Blink equipment in any manner other than specifically authorized by this installation manual. Unauthorized modification to the Blink equipment voids the manufacturer's warranty.

3.3 Customer Responsibility

The customer is responsible for contracting with a CEC to perform all electrical work, including connections at the Blink unit, supply circuit, and main service panel.

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

3.4 Tools Required for Installation

Following are the tools required to install the Blink unit:

Tool	Size	Manufacturer
Current Clamp Meter	600 A MAX AC/DC	Fluke 336 or similar
Digital Multimeter	1000 V MAX AC/DC	Fluke 87V or similar
Level	N/A	Commercially available
Pencil / Marker	N/A	Commercially available
Hex key or bit	4 mm	Commercially available
Wrench	14 mm	Commercially available
Wrench	10 mm (with magnetic socket)	Commercially available
Service wiring	N/A	Commercially available
Conduit and fittings	3/4" trade size	Commercially available
Malleable FS Box	N/A	Supplied with EVSE unit
Wooden 2x4 with rope	N/A	N/A

3.5 Blink Features and Specifications

3.5.1 Features

- EVSE unit certified to UL 2594
- Charging circuit interrupting device (CCID20)
- Ground monitoring circuit
- Nuisance-tripping avoidance and auto re-closure
- Cold load pickup (randomized auto-restart following power outage)
- Certified energy and demand metering
- Wireless Institute of Electrical and Electronics Engineers (IEEE) 802.11g
- Local Area Network (LAN) capable
- Radio Frequency Identification (RFID)-based user verification system
- Web-based bi-directional data flow
- Cord management system

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

3.5.2 Specifications



WARNING: Do not use extender cables to increase the length of the charging cable. Maximum length is limited to 25 feet by the National Fire Protection Agency.

Model	PE-30Kice
Input Voltage	208Y-240 volts alternating current (VAC) +/-10% (120 VAC to ground (GND))
Input Phase	Single (3-wire)
Frequency	60 Hertz (Hz)
Input Current	30 Amps (A) (maximum); configurable to 12A, 16A, 24A or 30A
Output Voltage	208Y-240 VAC +/-10% (120 VAC to GND)
Output Phase	Single
Pilot	SAE J1772™ Compliant
Connector/Cable	SAE J1772™ compliant ; UL-rated at 30A maximum
Cord Length (Output)	25 Feet (approximate)
Exterior Dimensions	Charger assembly: 19" wide x 5" deep with adjustable heights (40", 48", 60") available to meet Americans w/ Disabilities Act ADA) requirements Base: 24" wide x 1-1/2" high x 8" deep Cord reel: 18" diameter
Temperature Rating	-22°F (-30°C) to +122°F (+50°C)
Enclosure	National Electrical Manufacturers Association (NEMA) type 3R sun- and heat-resistant
Mounting	Pedestal

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

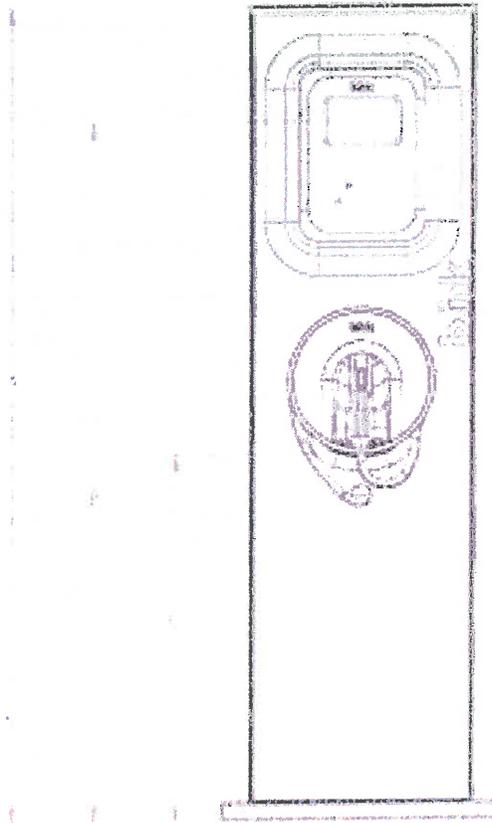
4 Charger assembly layout

The charger assembly should be mounted in close proximity to the vehicle stall and at a location where the 25-foot charging cord can be easily connected to the vehicle charging port without the cord stretching taut and/or presenting a trip hazard.



WARNING: RISK OF FIRE

This equipment has arcing or sparking parts that must not be exposed to flammable vapors. This equipment should be located at least 18 inches (460 mm) above the floor.



Model Number	Part Number	Dimension A	Dimension B	Dimension C
PE-30Kice60	01-0131-0000	70"	60"	31.5"
PE-30Kice48	01-0135-0000	58"	48"	19.5"
PE-30Kice40	01-0136-0000	50"	40"	11.5"

Figure 1. Blink Installations, Typical

CITY OF WORTHINGTON

Pre-Installation Guidelines

Before the Blink unit arrives, the following should occur:

- Installation site should be selected.
- One 1" electrical conduit should be installed according to local code.
- Method of EVSE unit communication should be determined. There are three types:
 - Cellular CDMA Modem
 - WiFi
 - Ethernet - One 1" data conduit should be installed according to local code



Note: If conduits cannot be installed through the base of the unit, provisions should be made to penetrate the Blink housing. Refer to Section 5.3.1, Optional Method, for instructions.

The foundation / mounting pad must be poured or installed with anchors in place before EVSE unit installation.

- Refer to Appendix A for the concrete base drawing.
- Refer to Appendix B for input conduit locations.

The design of the foundation / mounting pad should be designed by a Professional Mechanical Engineer to meet the requirements of local codes and conditions.

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18

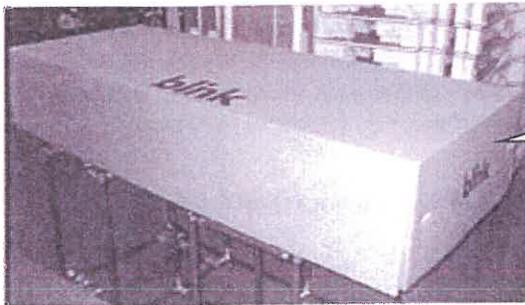


WARNING: RISK OF FIRE

To reduce the risk of fire, install the Blink unit on a fire resistant surface, free of combustible materials.

4.1 Shipping Box Contents

The Blink charging system is shipped in a corrugated box (see sizes below) lined with foam pads, containing all of the components pre-assembled with the 25-foot charging cord attached.



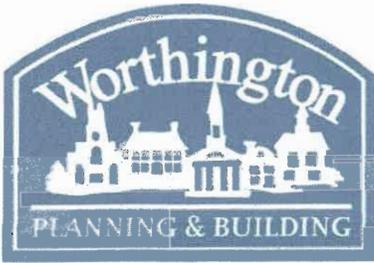
40" Pedestal Unit – 55" x 28" x 13"
48" & 60" Pedestal Units – 75" x 28" x 13"

Figure 2. Shipping Box

CITY OF WORTHINGTON

DRAWING NO. AR 69-18

DATE 07/13/18



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 67-18
Date Received	7-13-18
Fee	\$32.00 pd
Meeting Date	7-16-18
Filing Deadline	
Receipt #	65576

1. Property Location 910 High Street
 2. Present/Proposed Use CVS Pharmacy / no change
 3. Zoning District CBD
 4. Applicant Tracey Dienl
 Address 6487 Hilliard Dr Canal Winchester OH 43110
 Phone Number(s) 614-829 8215
 5. Property Owner - MK & K Realty Chris Kessler
 Address 411 E Town St Fl 2 Columbus OH 43215
 Phone Number(s) 614-679-9488
 6. Project Description Install Replacement Sign Package
7. Project Details:
- a) Design Aluminum Pan with External Illumination
 - b) Color Red Letters, Matthews Paint Background MP 25833
 - c) Size per plans attached
 - d) Approximate Cost _____ Expected Completion Date _____

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Tracey Dienl
 Applicant (Signature)

7/13/18
 Date

PO Signature in file

 Property Owner (Signature)

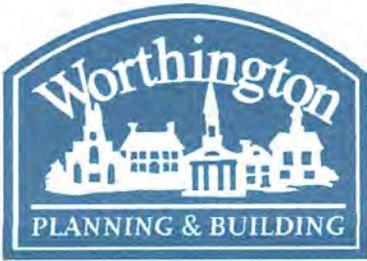
 Date

ABUTTING PROPERTY OWNERS
FOR
918 High St.

Manas 99 LLC
Worthington Center LLC
Subway
Marathon
City National Bank of West Virginia
Dairy Queen
DQ Properties
Schreiners Ace Hardware
Conroy Properties North, LLC
MK&K Realty, Inc.

7905 Rosewind Ct.
893 High St., Suite F.
905 High St.
911 High St.
25 Gatewater Rd.
920 High St.
1505 S. James Rd.
926 High St.
43 North St.
7215 Busey Rd.

Columbus, OH 43235
Worthington, OH 43085
Worthington, OH 43085
Worthington, OH 43085
Charleston, WV 25313
Worthington, OH 43085
Columbus, OH 43227
Worthington, OH 43085
Worthington, OH 43085
Canal Winchester, OH 43110



Amendment to Development Plan Application

Case #	ADP 07-18
Date Received	07-13-18
Fee	\$50 pd
Meeting Date	
Filing Deadline	

- 1. **Property Location** 918 High Street
- 2. **Present Use & Proposed Use** CVS Pharmacy / No Change
- 3. **Present & Proposed Zoning** No change to Old Worthington CBD
- 4. **Applicant** Tracey Diehl
Address 6487 Hilliard Dr Canal Winchester OH 43110
Phone 614 828 8215
- 5. **Property Owner** MS&K Realty Chris Kessler
Address 411 E Town St Fl 2 Columbus OH 43215
Phone 614-679-9488
- 6. **Project Description** Install Replacement Sign Package
- 7. **Variances Requested** _____

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Tracey Diehl
Applicant (Signature)

7/13/18
Date

PO Signature in file

Property Owner (Signature)

Date

MPC Approval Date:

City Council Approval Date:

918 High St.



100-006764 03/10/2017

CVS pharmacy

2018 THH BIR Sign Branding Project



Existing Location Overview



Proposed Signage Overview

SITE SIGNAGE SUMMARY

EXISTING	PROPOSED
(1) 36" Main ID Wall Plaque	(1) New IL-22-L on Backer Panel
(2) 36" Main ID Wall Plaque	(2) New IL-22-L on Backer Panel
(3) 36" Main ID Wall Plaque	(3) New IL-22-L on Backer Panel
(4) 9" Non-illuminated Letterset "DTP"	(4) New DTP Cabinet
(5) No existing signage	(5) New Receiving Entrance
(6) No existing signage	(6) New Hours Plaque
(7) D/F Interior Hanging Sign "MC"	(7) Replacement Faces
(8 - 13) Awnings	(8 - 13) Pressure wash
(14) 9" Letterset	(14) Remove, Do Not Replace
(15) 48 1/2" x 36" Wall Sign	(15) Remove, Do Not Replace
(16) 3" x 41" Wall Sign	(16) Remove, Do Not Replace
(17) 9" Letterset Exit	(17) Remove, Do Not Replace

Loc#: 3407

918 North High St.
Worthington, OH

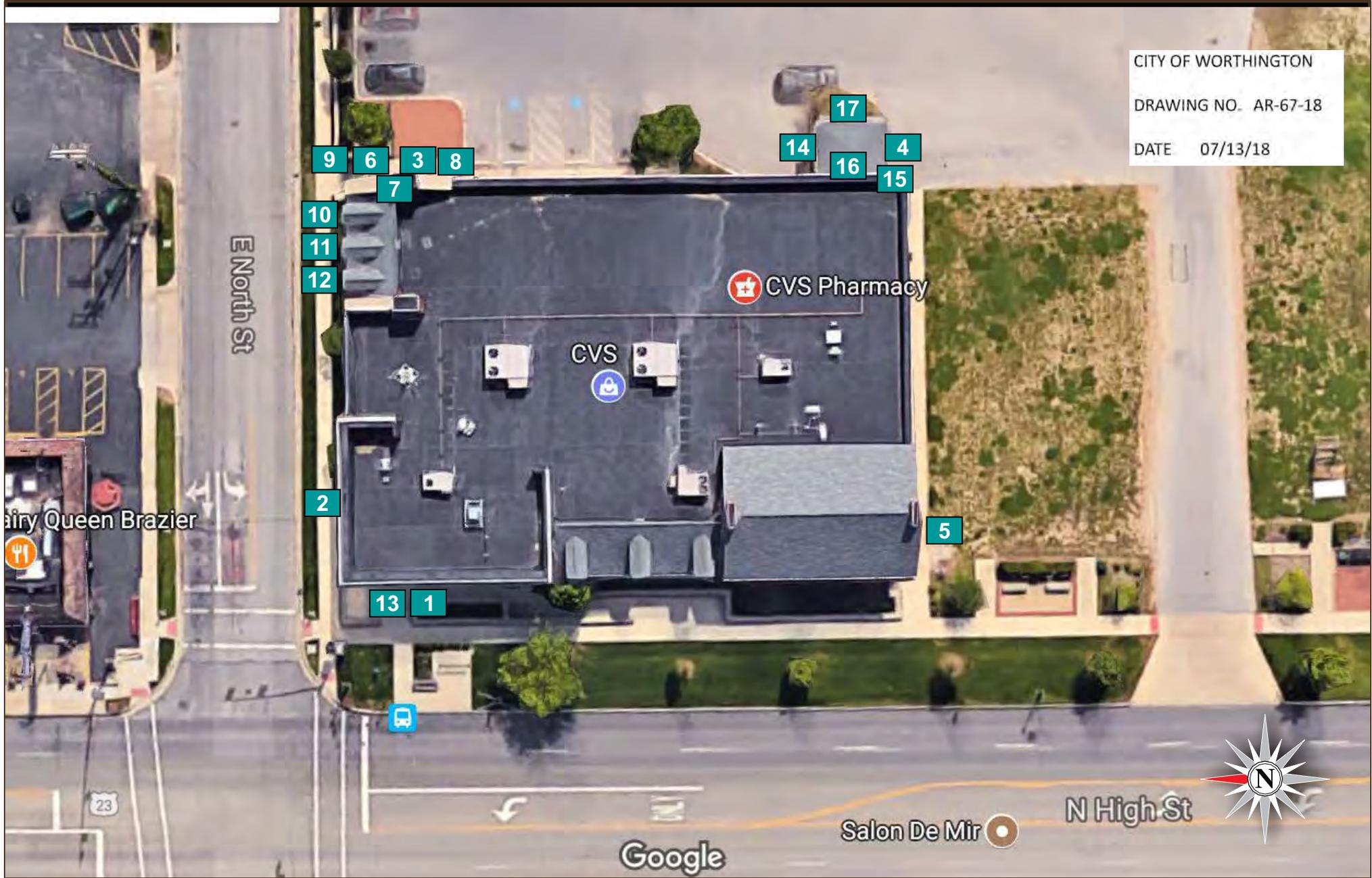
CITY OF WORTHINGTON

DRAWING NO. AR-67-18

DATE 07/13/18



PRESENTED BY
ATLAS SIGN INDUSTRIES
800.772.7932



CITY OF WORTHINGTON
 DRAWING NO. AR-67-18
 DATE 07/13/18

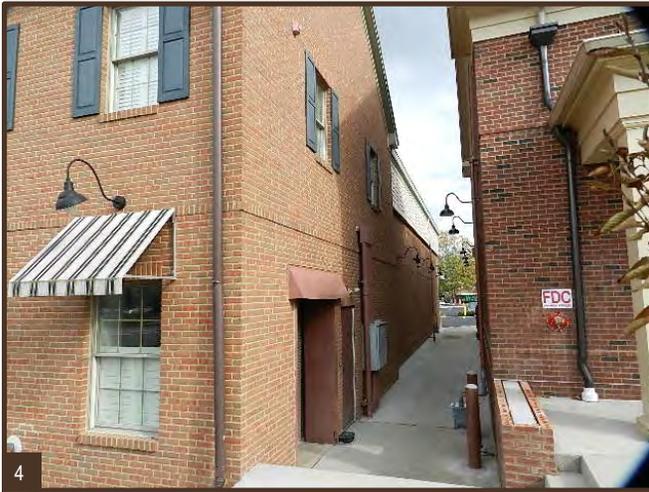
Drawing prepared by:

 800.772.7932

Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev #:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	Rev 7 00000 00/00/00 XX XX
Rev 3	00000	00/00/00	XX	XX	Rev 8 00000 00/00/00 XX XX
Rev 4	00000	00/00/00	XX	XX	Rev 9 00000 00/00/00 XX XX
Rev 5	00000	00/00/00	XX	XX	Rev 10 00000 00/00/00 XX XX
Rev 6	00000	00/00/00	XX	XX	Rev 11 00000 00/00/00 XX XX
					Rev 12 00000 00/00/00 XX XX



NOTES:

CITY OF WORTHINGTON _____

DRAWING NO. AR-67-18 _____

DATE 07/13/18



Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev #:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	
Rev 3	00000	00/00/00	XX	XX	
Rev 4	00000	00/00/00	XX	XX	
Rev 5	00000	00/00/00	XX	XX	
Rev 6	00000	00/00/00	XX	XX	
Rev 7	00000	00/00/00	XX	XX	
Rev 8	00000	00/00/00	XX	XX	
Rev 9	00000	00/00/00	XX	XX	
Rev 10	00000	00/00/00	XX	XX	
Rev 11	00000	00/00/00	XX	XX	
Rev 12	00000	00/00/00	XX	XX	



NOTES:

_____ CITY OF WORTHINGTON _____

 _____ DRAWING NO. AR-67-18 _____

DATE 07/13/18



Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev #:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	
Rev 3	00000	00/00/00	XX	XX	
Rev 4	00000	00/00/00	XX	XX	
Rev 5	00000	00/00/00	XX	XX	
Rev 6	00000	00/00/00	XX	XX	
					Rev 7 00000 00/00/00 XX XX
					Rev 8 00000 00/00/00 XX XX
					Rev 9 00000 00/00/00 XX XX
					Rev 10 00000 00/00/00 XX XX
					Rev 11 00000 00/00/00 XX XX
					Rev 12 00000 00/00/00 XX XX



DM - HOURS PLAQUE



Remove window vinyl

Remove window vinyl



NOTES: _____

CITY OF WORTHINGTON _____

DRAWING NO. AR-67-18 _____

DATE 07/13/18



Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev #:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	
Rev 3	00000	00/00/00	XX	XX	
Rev 4	00000	00/00/00	XX	XX	
Rev 5	00000	00/00/00	XX	XX	
Rev 6	00000	00/00/00	XX	XX	
Rev 7	00000	00/00/00	XX	XX	
Rev 8	00000	00/00/00	XX	XX	
Rev 9	00000	00/00/00	XX	XX	
Rev 10	00000	00/00/00	XX	XX	
Rev 11	00000	00/00/00	XX	XX	
Rev 12	00000	00/00/00	XX	XX	



Existing Sign #1
 3' Routed Wall Sign
 S/F D/F
 Illuminated Yes No

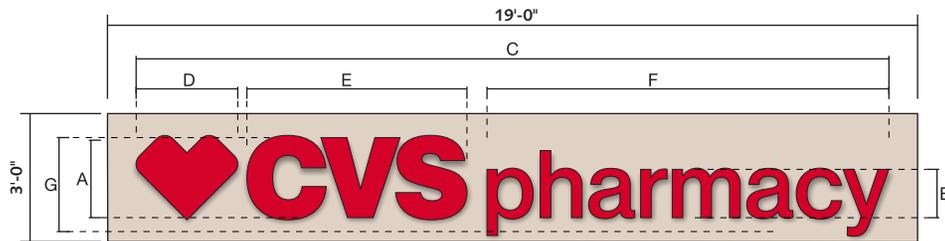
DM - ADD HOURS PLAQUE



Sign 1

Proposed Signage

1/2" Thick F/C/O Letters on 2" deep aluminum pan
 Mathews Paint Co. MP 25833 Bone White
 Retrofit gooseneck lamps w/ LED lighting



A	B	C	D	E	F	G	SQ.FT.
22 1/2"	1'-1 9/16"	17'-7 11/16"	2'-4 9/16"	5'-1 7/8"	9'-5 1/16"	2'-4 3/8"	33.08

CITY OF WORTHINGTON

DRAWING NO. AR-67-18

DATE 07/13/18



Not To Scale Unless Noted



Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev#:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	
Rev 3	00000	00/00/00	XX	XX	
Rev 4	00000	00/00/00	XX	XX	
Rev 5	00000	00/00/00	XX	XX	
Rev 6	00000	00/00/00	XX	XX	
Rev 7	00000	00/00/00	XX	XX	
Rev 8	00000	00/00/00	XX	XX	
Rev 9	00000	00/00/00	XX	XX	
Rev 10	00000	00/00/00	XX	XX	
Rev 11	00000	00/00/00	XX	XX	
Rev 12	00000	00/00/00	XX	XX	



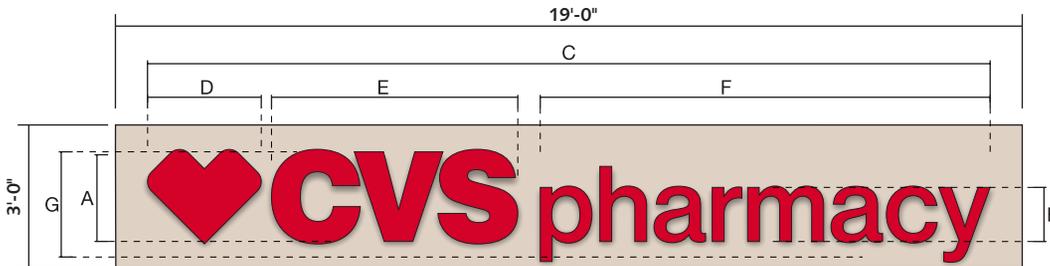
Existing Sign #2
 3' Routed Wall Sign
 S/F D/F
 Illuminated Yes No



Sign 2

Proposed Signage

1/2" Thick F/C/O Letters on 2" deep aluminum pan
 Mathews Paint Co. MP 25833 Bone White
 Retrofit gooseneck lamps w/ LED lighting



A	B	C	D	E	F	G	SQ.FT.
22 1/2"	1'-1 9/16"	17'-7 11/16"	2'-4 9/16"	5'-1 7/8"	9'-5 1/16"	2'-4 3/8"	33.08

CITY OF WORTHINGTON
 DRAWING NO. AR-67-18
 DATE 07/13/18

Not To Scale Unless Noted



Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev#:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	Rev 7 00000 00/00/00 XX XX
Rev 3	00000	00/00/00	XX	XX	Rev 8 00000 00/00/00 XX XX
Rev 4	00000	00/00/00	XX	XX	Rev 9 00000 00/00/00 XX XX
Rev 5	00000	00/00/00	XX	XX	Rev 10 00000 00/00/00 XX XX
Rev 6	00000	00/00/00	XX	XX	Rev 11 00000 00/00/00 XX XX
					Rev 12 00000 00/00/00 XX XX



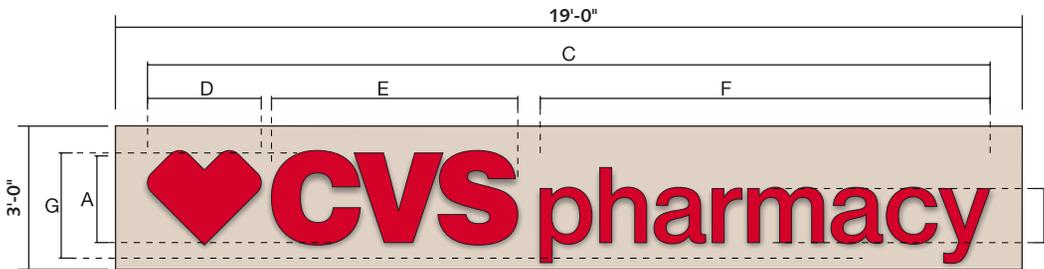
Existing Sign #3
 3' Routed Wall Sign
 S/F D/F
 Illuminated Yes No



Sign 3

Proposed Signage

1/2" Thick F/C/O Letters on 2" deep aluminum pan
 Mathews Paint Co. MP 25833 Bone White
 Retrofit gooseneck lamps w/ LED lighting



A	B	C	D	E	F	G	SQ.FT.
22 1/2"	1'-1 9/16"	17'-7 11/16"	2'-4 9/16"	5'-1 7/8"	9'-5 1/16"	2'-4 3/8"	33.08



CITY OF WORTHINGTON

DRAWING NO. AR-67-18

DATE 07/13/18

Not To Scale Unless Noted



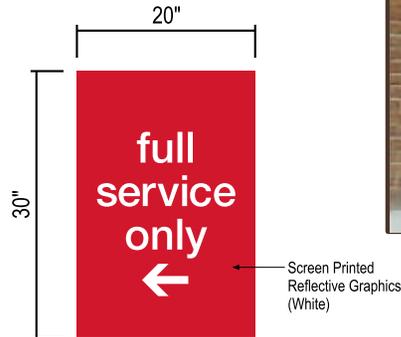
Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev#:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	
Rev 3	00000	00/00/00	XX	XX	
Rev 4	00000	00/00/00	XX	XX	
Rev 5	00000	00/00/00	XX	XX	
Rev 6	00000	00/00/00	XX	XX	
Rev 7	00000	00/00/00	XX	XX	
Rev 8	00000	00/00/00	XX	XX	
Rev 9	00000	00/00/00	XX	XX	
Rev 10	00000	00/00/00	XX	XX	
Rev 11	00000	00/00/00	XX	XX	
Rev 12	00000	00/00/00	XX	XX	



Existing Sign #4
 9" DTP Letterset
 S/F D/F
 Illuminated Yes No



THIS SIGN IS TO BE ILLUMINATED

Sign 4

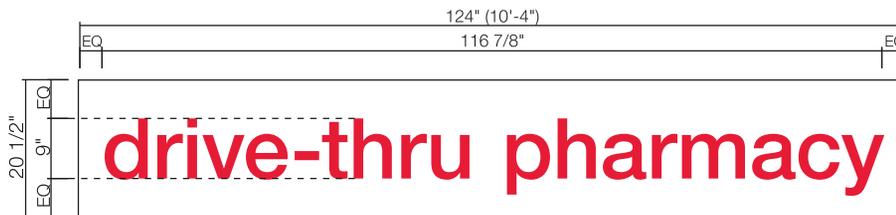
Proposed Signage

CITY OF WORTHINGTON

DRAWING NO. AR-67-18

DATE 07/13/18

(1) Single face internally lighted sign cabinet with copy routed & backed with acrylic and (1) Clearance panels are to be 1/4" clear acrylic - red opaque vinyl, holes no larger than 3/8" in all four corners - my installers are to use exterior grade flat head fasteners in the field.



3M #180C-53 Opaque Vinyl

Painted to match SW 6373
 3M #3630-53 Translucent Vinyl

clearance xx'-xx''

Not To Scale Unless Noted



Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev#:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	
Rev 3	00000	00/00/00	XX	XX	
Rev 4	00000	00/00/00	XX	XX	
Rev 5	00000	00/00/00	XX	XX	
Rev 6	00000	00/00/00	XX	XX	
Rev 7	00000	00/00/00	XX	XX	
Rev 8	00000	00/00/00	XX	XX	
Rev 9	00000	00/00/00	XX	XX	
Rev 10	00000	00/00/00	XX	XX	
Rev 11	00000	00/00/00	XX	XX	
Rev 12	00000	00/00/00	XX	XX	



Sign 5

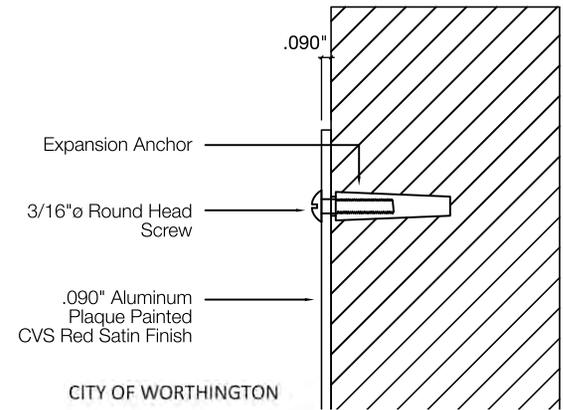
Proposed Signage



- Background
 - 0.090" Aluminum Plaque Painted CVS Red
- Graphics
 - White Vinyl Graphics
- Hardware
 - 3/16"ø Round Head Screw
 - Expansion Anchor

Colors & Materials

- Paint to Match PMS #186 (Satin Finish)
- White Opaque Vinyl



CITY OF WORTHINGTON

DRAWING NO. AR-67-18

DATE 07/13/18

Not To Scale Unless Noted

Drawing prepared by:

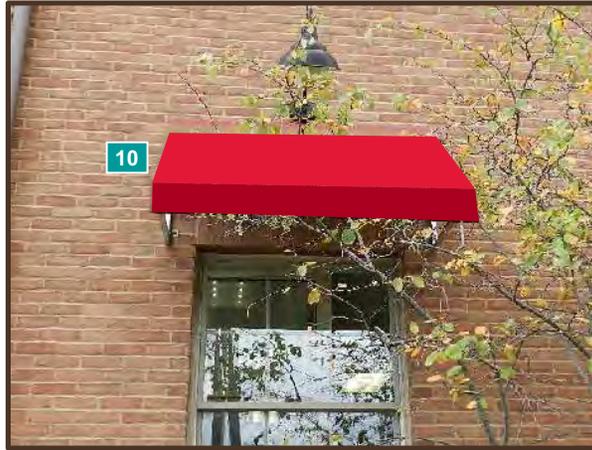


800.772.7932

Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev#:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	
Rev 3	00000	00/00/00	XX	XX	
Rev 4	00000	00/00/00	XX	XX	
Rev 5	00000	00/00/00	XX	XX	
Rev 6	00000	00/00/00	XX	XX	
Rev 7	00000	00/00/00	XX	XX	
Rev 8	00000	00/00/00	XX	XX	
Rev 9	00000	00/00/00	XX	XX	
Rev 10	00000	00/00/00	XX	XX	
Rev 11	00000	00/00/00	XX	XX	
Rev 12	00000	00/00/00	XX	XX	



Existing Awning #8 & #9
 30" x 30" S/F D/F
 Illuminated Yes No

Existing Awning #10
 30" x 30" S/F D/F
 Illuminated Yes No

Existing Awning #11
 30" x 30" S/F D/F
 Illuminated Yes No

Existing Awning #12
 30" x 30" S/F D/F
 Illuminated Yes No

Existing Awning #13
 30" x 30" S/F D/F
 Illuminated Yes No



*Recover all (6) red canopies. *Field survey Req'd.

 Paint to Match PMS #186 (Satin Finish)

CITY OF WORTHINGTON
 DRAWING NO. AR-67-18
 DATE 07/13/18



Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev#:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	Rev 7 00000 00/00/00 XX XX
Rev 3	00000	00/00/00	XX	XX	Rev 8 00000 00/00/00 XX XX
Rev 4	00000	00/00/00	XX	XX	Rev 9 00000 00/00/00 XX XX
Rev 5	00000	00/00/00	XX	XX	Rev 10 00000 00/00/00 XX XX
Rev 6	00000	00/00/00	XX	XX	Rev 11 00000 00/00/00 XX XX
					Rev 12 00000 00/00/00 XX XX



14



15



16

Existing Sign #14
 9" Letterset
 S/F D/F
 Illuminated Yes No

Existing Sign #15
 48 1/4" x 36" Wall Sign
 S/F D/F
 Illuminated Yes No

Existing Sign #16
 3" x 41" Wall Sign
 S/F D/F
 Illuminated Yes No

Existing Sign #17
 9" Letterset
 S/F D/F
 Illuminated Yes No



17

CITY OF WORTHINGTON

DRAWING NO. AR-67-18

DATE 07/13/18

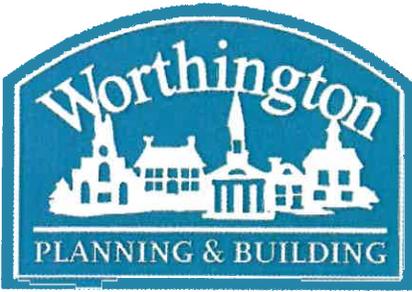
*Remove and do not replace



Location: **CVS Worthington**
 Store Number: **#3407**
 918 N. High Street
 Worthington, OH



Rev#:	Req#:	Date:	PM	Drawn	Revision Description:
Original	83637	11/27/17	AQ	TD	
Rev 1	00000	00/00/00	XX	XX	
Rev 2	00000	00/00/00	XX	XX	Rev 7 00000 00/00/00 XX XX
Rev 3	00000	00/00/00	XX	XX	Rev 8 00000 00/00/00 XX XX
Rev 4	00000	00/00/00	XX	XX	Rev 9 00000 00/00/00 XX XX
Rev 5	00000	00/00/00	XX	XX	Rev 10 00000 00/00/00 XX XX
Rev 6	00000	00/00/00	XX	XX	Rev 11 00000 00/00/00 XX XX
					Rev 12 00000 00/00/00 XX XX



City of Worthington

CONDITIONAL USE PERMIT APPLICATION

Case #	CU 10-18
Date Received	7-13-18
Fee	\$25.00
Meeting Date	7-20-18
Filing Deadline	7-13-18

1. Property Location RUSH CREEK - 438 E. WILSON BRIDGE ROAD

2. Zoning District I-1

3. Applicant CARNEY-RANKER ARCHITECTS

Address 5925 WILCOX PLDR SUITE E

Home Phone - Work Phone 614-792-1000

4. Property Owner RUSH CREEK INVESTORS LLC

Address 300 SPRUCE ST. SUITE 110 COLUMBUS, OH. 43215

Home Phone _____ Work Phone _____

6. Business Name RES CARE

7. Type of Business/Conditional Use OFFICE / VOCATIONAL TRAINING & SOCIAL SERVICES PROVIDER FOR ADULTS WITH DISABILITIES.

PLEASE READ THE FOLLOWING STATEMENT AND SIGN:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

Brad Kitchen

Property Owner (Signature)

ABUTTING PROPERTY OWNERS
FOR
438 E. Wilson Bridge Rd.

400-406 East Wilson Bridge Road LLC	4760 Richmond Rd.	Ste 200	Cleveland, Ohio 44128
Franca Adams	6707 Copperstone Dr.		Dublin, Ohio 43017
Lakeview Commercial Properties LLC	470 Olde Worthington Rd	Ste 100	Westerville, Ohio 43082
7200 Huntley Road LLC	7118 Worthington-Galena Rd		Worthington, Ohio 43085
Commercial One Property Service	1515 Bethel Rd.	Ste 200	Columbus, Ohio 43220
James & Mary Ondecko	445 E. Wilson Bridge Rd.		Worthington, Ohio 43085
Shereen Hashmi	8161 Lake Bluff Ct.		Columbus, Ohio 43235
Resident	439 E. Wilson Bridge Rd.		Worthington, Ohio 43085
Robert Montgomery	431 E. Wilson Bridge Rd.		Worthington, Ohio 43085
Resident	421 E. Wilson Bridge Rd.		Worthington, Ohio 43085
Pasquale & Pierina Pizzuti	1138 Ravine Ridge Dr.		Worthington, Ohio 43085

SUPPORTING STATEMENT

City of Worthington
Planning & Zoning
374 Highland Avenue
Worthington, Ohio 43085

RE: **Conditional Use Permit Application**
ResCare
Rush Creek – 438 E. Wilson Bridge Road
Current Zoning District – I-1
Proposed Use – ‘B’ Business
Occupancy – Office / Vocational Training & Social Services provider
For Adults with Disabilities

The proposed project is an interior tenant improvement project located at 438 E. Wilson Bridge Road. The proposed improvements will be limited to interior improvements only with no exterior improvements planned. ResCare will house office areas, as well as provide vocational training and social services for adults with disabilities. ResCare is dedicated to impacting communities for the better with a mission to help people live their best life. They are the largest private provider of services to people with disabilities offering daily living support services, vocational training. This business will be open during normal business hours and will not have any effect on existing traffic patterns, public facilities or utilities. We are requesting the consideration of this use within the I-1 zoning district.

Sincerely,

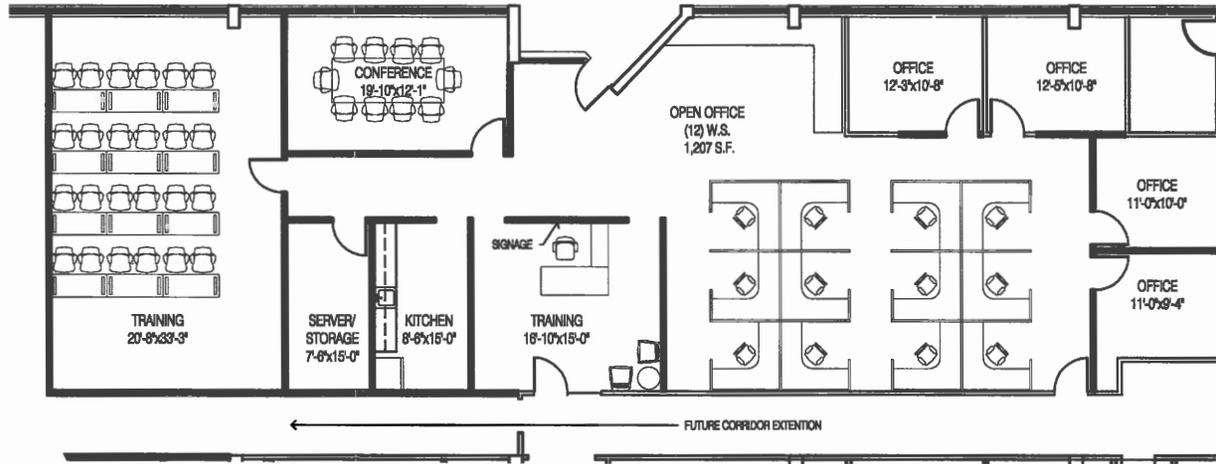


Darin J. Ranker, Architect

438 E. Wilson Bridge Rd.



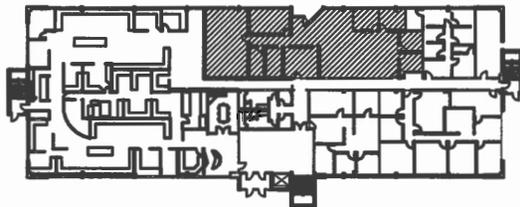
100-005932 04/17/2017



proposed plan

first floor

1/16" = 1'-0"



building key plan
first floor

CITY OF WORTHINGTON

DRAWING NO. CU-10-18

DATE 07/13/18

Schematic Design For
ResCare

Rush Creek - 438 E. Wilson Bridge

09-15-17

CARNEY • RANKER
ARCHITECTS LTD
5925 Wilcox Place, Suite E Dublin, OH 43016
Ph. 614-792-1000 Fax 614-792-1001
mail@carneyranker.com



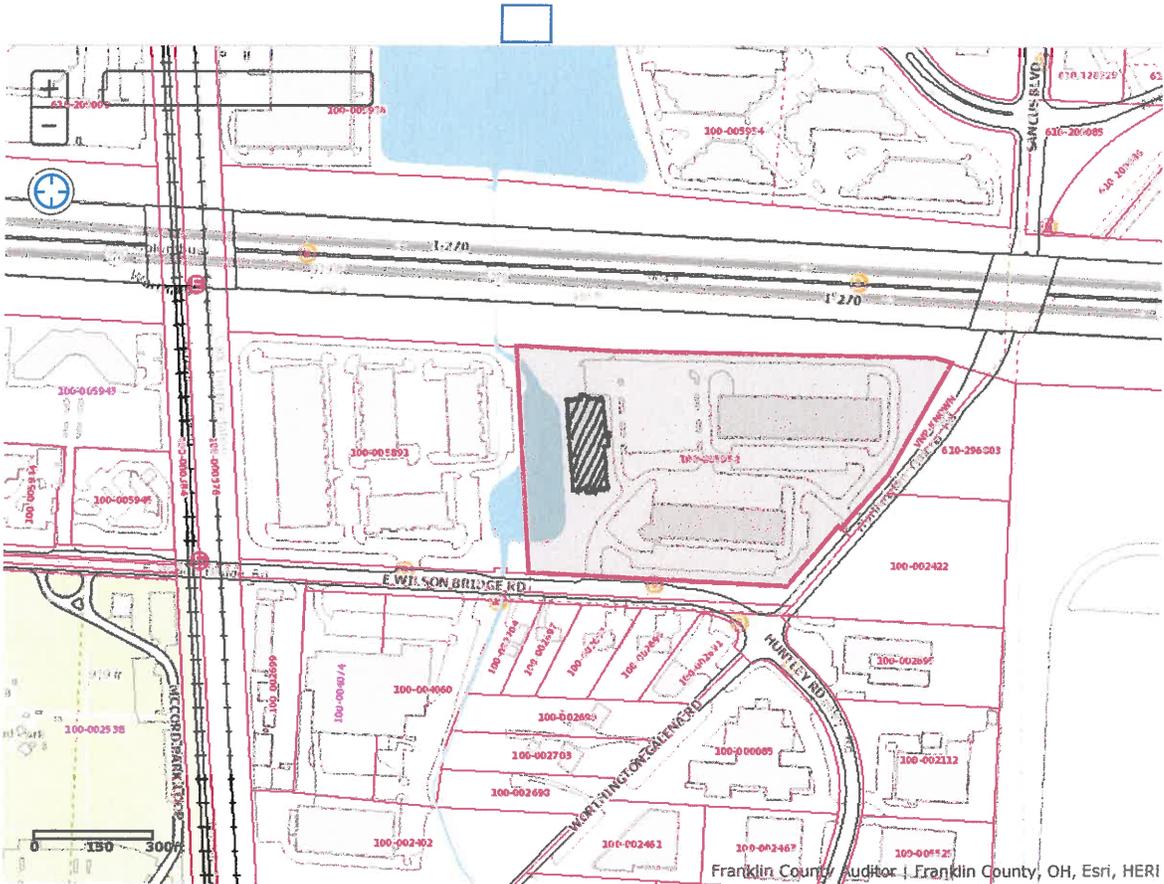
SK-1
17-310



- Our Office
- Your Property
- Search**
- On-Line Tools
- Reference
- Contact Us

- Summary**
- Land Profile
- Residential
- Commercial
- Improvements
- Permits
- Mapping
- Sketch
- Photo
- StreetSmart
- Aerial Photos
- Transfers
- BOR Status
- CAUV Status
- Tax & Payments
- Tax Distribution
- Value History
- Rental Contact
- Quick Links

ParcelID: 100-005932-00
RUSH CREEK INVESTORS LLC



CITY OF WORTHINGTON

DRAWING NO. CU-10-18

DATE 07/13/18



Wilson Bridge Corridor Final Plan Application

Case # WBC 01-18
Date Received 07/13/18
Fee \$500.00
Meeting Date 07/20/18
Filing Deadline 07/13/18
05007

1. **Property Location** 181 Wilson Bridge Road

2. **Present Use & Proposed Use** Vacant/Medium Density Residential

3. **Present & Proposed Zoning** WBC-1 - Medium Density Residential

4. **Applicant** Oxford Circle LLC

Address 470 Olde Worthington Road, Suite 101, Westerville, Ohio 43081

Phone 614.540.2404

5. **Property Owner** PV Wilson Bridge LLC

Address 1433 Grandview Avenue, Columbus, Ohio 43212

Phone _____

6. **Project Description** Medium Density Residential, please see attached Development Plan and Text.

7. **Variances Requested** Please see attached Development Text.

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

David Hedges - attorney, 7/18/18
Applicant (Signature) Date

David Hedges - per authority, 7/18/18
Property Owner (Signature) Date

MPC Approval Date:

ABUTTING PROPERTY OWNERS
FOR
181 E. Wilson Bridge Rd.

Worthington City School District
Stephen Peer
Galen & Suekane Frizzie
Graham & Stacy Cochran
George & Kathryn Bleimes
Christopher & Lindsay Selinsky
Harold Careins & Megumi Otaki
PV Wilson Bridge LLC

200 E. Wilson Bridge Rd.
199 E. Wilson Bridge Rd.
164 Northhigh Dr.
160 Northhigh Dr.
158 Northhigh Dr.
156 Northhigh Dr.
PO Box 3672
1433 Grandview Ave.

Worthington, OH 43085
Columbus, OH 43210-0672
Columbus, OH 43212

181 E. Wilson Bridge Rd.



GRANBY PLACE

FINAL PLAN – DEVELOPMENT TEXT

ADDRESS: 181 Wilson Bridge Road
PARCELS: 100-002477, 100-002478
CURRENT ZONING: Wilson Bridge Corridor District
Wilson Bridge Corridor - 1
APPLICANT: Oxford Circle LLC
470 Olde Worthington Road, Suite 101
Westerville, Ohio 43082
DATE: 7/13/2018
APPLICATION: _____

I. INTRODUCTION:

Oxford Circle LLC, (the “Applicant”) proposes development of a +/- 2.0 acre property located at 181 Wilson Bridge Road (the “Property”), which is targeted by the City of Worthington as a development location appropriate for medium density residential. The Property is situated within the Wilson Bridge Corridor – 1 District of the Wilson Bridge Corridor District which provides for medium density residential uses. The Applicant proposes development of the Property in accordance with Wilson Bridge Corridor plans with two multi-family structures providing 32 total dwelling units with a mixture of unit types including 1-bedroom, 2-bedroom, and 3-bedroom units at varying market rates to provide for maximum absorption of the units and maximum occupancy. The development provides for the preservation of existing landscaping where possible, including a 50-foot enhanced landscaping buffer along the south side of the Property within which trees will be maintained and preserved whenever feasible, 33 new trees will be installed consisting of a mixture of shade trees and evergreen trees, and a 6-foot board on board fence will be installed along the southern perimeter. This request also provides for the dedication of 15 feet of its Wilson Bridge Road frontage to accommodate Worthington’s objective of incorporating a shared-use path for residents.

II. DEVELOPMENT STANDARDS:

The proposed development provides the following development standards.

(a) Property Layout.

(1) Setbacks.

- A. The Property shall be laid out in accordance with the submitted series of Site Plans. Building One, the northern building, is less than 50,000 square feet in area and its building setback shall be 7 feet from the Wilson Bridge Road right-of-way, post dedication.
- B. The Property abuts properties in an “R” district. Therefore, the Applicant respectfully requests a waiver from City Code Section 1181.05(a)(1)(C) to allow the buildings to be situated as indicated on the Site Plans with Building Two being 14 +/- feet from the western property line.
- C. The Property abuts properties in an “R” district. Therefore, the Applicant respectfully requests a waiver from City Code Section 1181.05(a)(3) to allow the perimeter screening to be as reflected on the Landscape Plans, which reflect perimeter screening done be a combination of landscaping, fencing, and building.

(2) Right-of-Way Dedication.

- A. The Applicant shall dedicate 15 feet of right-of-way along its frontage in furtherance of the City’s objective to create a shared use path along Wilson Bridge Road.

(3) Screening.

- A. The development shall be screened in accordance with the submitted Landscape Plans, which indicate significant new plantings as well as preservation of as many existing trees as feasible. Screening shall be accomplished by a combination of tree preservation, newly installed landscaping, fencing, and structure.

(4) Equipment.

- A. Exterior service, utility, trash, and mechanical equipment shall be located as provided on the submitted Site Plans.

- B. Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence, or landscaping. Screening materials shall consist of landscaping, or with materials and colors used for the buildings for consistency and compatibility.

(5) **Tract Coverage.**

- A. 58% of the property shall be covered with impervious surfaces, where a maximum of 60% is permitted.

(6) **Pedestrian Access.**

- A. Sidewalks with a minimum width of 5 feet shall be provided as shown on the submitted Site Plans. These sidewalks provide connectivity through the entire Property and provide pedestrian access along both sides of both buildings.

(7) **Drive-in Commercial Uses.**

- A. N/A

(b) **Buildings.**

(1) **Design.**

- A. The buildings shall be oriented as provided on the Site Plans. Building One shall be parallel to Wilson Bridge Road, consistent with recommendations of the Wilson Bridge Corridor Plan. The proposed buildings provide visual interest and add to the overall appeal of the corridor by use of building articulation, a mixture of natural building materials, as well as significant landscaping.
- B. Building height shall not exceed 30 feet as provided in City Code 1181.06(a)(2).
- C. The frontage of Building One exceeds a width of 50 feet, it shall incorporate articulation, all natural materials, brick and hardi-plank with a variety of shake, board and batten, and lap as shown on the submitted Site Plan and Elevations.
- D. The entrance shall be well-marked as shown on the Site Details Plan.

(2) **Materials.**

- A. Building materials shall include brick, hardi-plank in varying forms including lap, board and batten, and shake. Roofing shall be of dimensional asphalt shingles.

(3) **Windows and Doors.**

- A. Windows and doors shall be provided as shown on the submitted Elevations.

(c) **Landscaping.**

(1) **Natural Features.**

- A. Landscaping shall be provided as shown on the submitted Landscape Plans.
- B. Natural Features shall be preserved as shown on the submitted Preservation Plan.
- C. Tree Inventory and Preservation Plan. The submitted Tree Preservation Plan shows that the development shall preserve 320 caliper inches of the existing trees at or above 6 inch caliper. The Landscaping Plan shows that the development shall plant an additional 343 caliper inches of trees. Further, the Applicant commits to maintaining 6 mature trees within the 50 foot landscape buffer along the southern perimeter of the Property, and proposes a significant replanting along that perimeter. The Applicant has worked with the Department of Planning to determine that the submitted Landscaping Plan and Tree Preservation Plan are an appropriate accommodation for Natural Features. Full replacement would result in unreasonable overcrowding of trees, and a fee-in-lieu to the Special Parks Fund is unnecessary where, as here, the Applicant is making appropriate Natural Feature and screening commitments throughout the Property.
- D. Along the eastern perimeter a significant number of trees are being preserved, this area will be further augmented by new tree plantings. Trees are also being preserved along the western perimeter, which is augmented by decorative columns and arborvitae to screen the new residence to the west.

(d) **Lighting.**

- A. Lights shall comply with City Code 1181.05(d), as indicated on the Lighting Plan which reflects location and specification. These lights are decorative, providing low lighting around perimeters and focusing parking lot lighting on the interior of the Property between buildings and away from single-family residential neighbors.

(e) **Signs.**

- A. Decorative entry feature signage shall be provided along the east side of the entrance, located as detailed on the Overall Landscape Plan, and as depicted on the Site Details Plan. The entry feature signage will be enhanced aesthetically by a low wall along the west side of the entrance. The sign and wall will be comprised of brick, set in various patterns, and painted the same rich color as the siding. The sign wall will be 4.5 feet in height maximum at its decorative ends, overlaid with a limestone cap with rock faced edge.

(f) **Parking.**

1. The development requires 32 parking spaces for 32 dwelling units. The development shall provide 57 parking spaces.
2. Vehicle and bicycle parking shall be as depicted on the submitted Site Plans and Landscape Plans.

(g) **Public Spaces.**

1. The development shall provide Public Space Amenities including, but not limited to: courtyard for public use, benches, bicycle racks, and decorative pedestrian lighting, further the Applicant will be dedicating 15 feet of right-of-way along its frontage to accommodate the long-term City objective of incorporation of a shared use path along the frontage.
2. Public Space Amenities shall be provided as shown on the Landscape Plans.

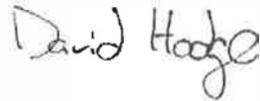
III. REQUESTED WAIVERS.

- (a) The Property abuts properties in an "R" district. Therefore, the Applicant respectfully requests a waiver from City Code Section 1181.05(a)(1)(C) to allow development of the property in accordance with submitted plans. This waiver includes a reduction of building setbacks from the east and west, and to allow the entrance drive to be within 25 feet of the western property line, as depicted on Site Plan.
- (b) The Property abuts properties in an "R" district. Therefore, Applicant respectfully requests a waiver from City Code Section 1181.05(a)(3) to allow development without solid fence screening along the east and west property lines, which will be screened in accordance with the submitted Landscape Plans by a combination of tree preservation, landscaping, hardscape, fencing, and structures.

- (c) A waiver from City Code Section 903.10 is necessary to allow the width of the access point to exceed 30 feet at the curb line. It is understood by the Applicant, that the Worthington City Engineer prefers, for this use, additional width at the access point.

- (d) A waiver is requested to City Code Section 1185.01(c)(1) to allow the trees retained, and those replaced as indicated on the Landscape Plans, be deemed compliant with the spirit and intent of the Natural Features preservation requirements outlined therein.

Respectfully Submitted,



David Hodge
Attorney for Applicant



CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 07/13/18

EAST WILSON BRIDGE ROAD (R/W VARIES)

P.B. 15, PG. 34

N88°44'30"W 222.00'

15

16

17

18

Herald Carline and Reginald Osky, Husband and Wife, for their joint and several benefit to the survivor of them
P.N. 00-00476
L.N. 20160100101348

Stephen W. Post
P.N. 100-00476
L.N. 20170027006476

N27°59'34"E 400.00'

S27°59'34"W 400.00'

CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 07/13/18

NORTHGATE ACRES
P.B. 15, PG. 34

3/4" = 10'
S 89° 00' 00" E 332'

3/4" = 10'
S 89° 00' 00" E 332'

N88°44'30"W 222.00'

34

33

32

STUDENT USE
FIRE TRUCK EXHIBIT
FOR
GRANBY PLACE



ADVANCED
CIVIL DESIGN
ENGINEERS

622 Irving Blvd
Columbus, Ohio 43260
614-884-0750
614-884-0751

SCALE 1" = 20'
DATE 04/19/2018

SHEET 1 / 1

L-101

42'-4" → Length - Bumper to bumper

46'-7" → length - Front bumper to end of bucket

8'-4" → width

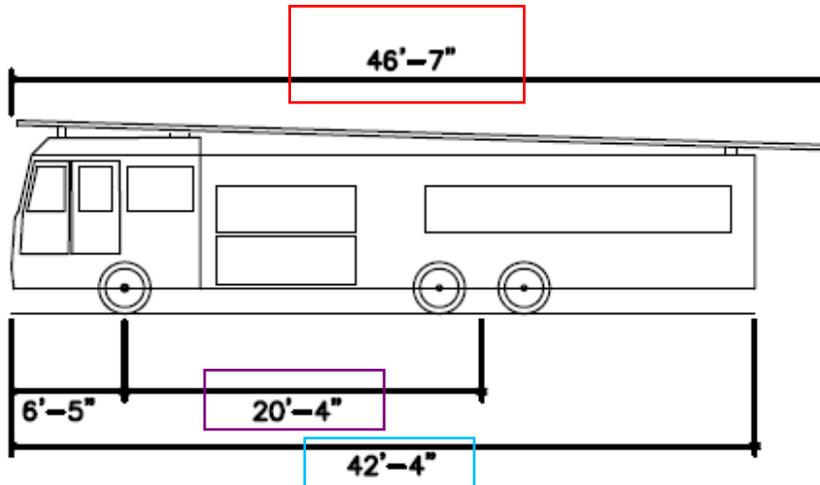
35 tons → weight

88'6" → Reach

42'-11" → ~~Turning Radius~~ → Turning Radius

20'-4" → wheel base

21'-10" → Footprint with outriggers out



CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 07/13/18

E-ONE HP100 Aerial - WORTHINGTON

Overall Length	46'-7"
Overall Width	8'-4"
Overall Body Height	11'
Min Body Ground Clearance	1.393ft
Track Width	8'-4"
Lock-to-lock time	6.00s
Wall to Wall Turning Radius	42'-11"

Columbus Division of Water Fire Flow Test

FLOW TEST ID NO. OF TEST RUN ATLAS PAGE

FLOW HYDRANT

FLOW HYDRANT

PRESSURE HYDRANT

PRESSURE HYDRANT ID

DATE

PIPE SIZE

TIME

ELEVATION

STATIC PRESSURE psi

HYDRANT OWNER

RESIDUAL PRESSURE psi

COEFFICIENT

PITOT 1 psi

REMARKS

PITOT 2 psi

OUTLET

FLOW (GPM)

FLOW@20 PSI

WATER DISTRICT

CH

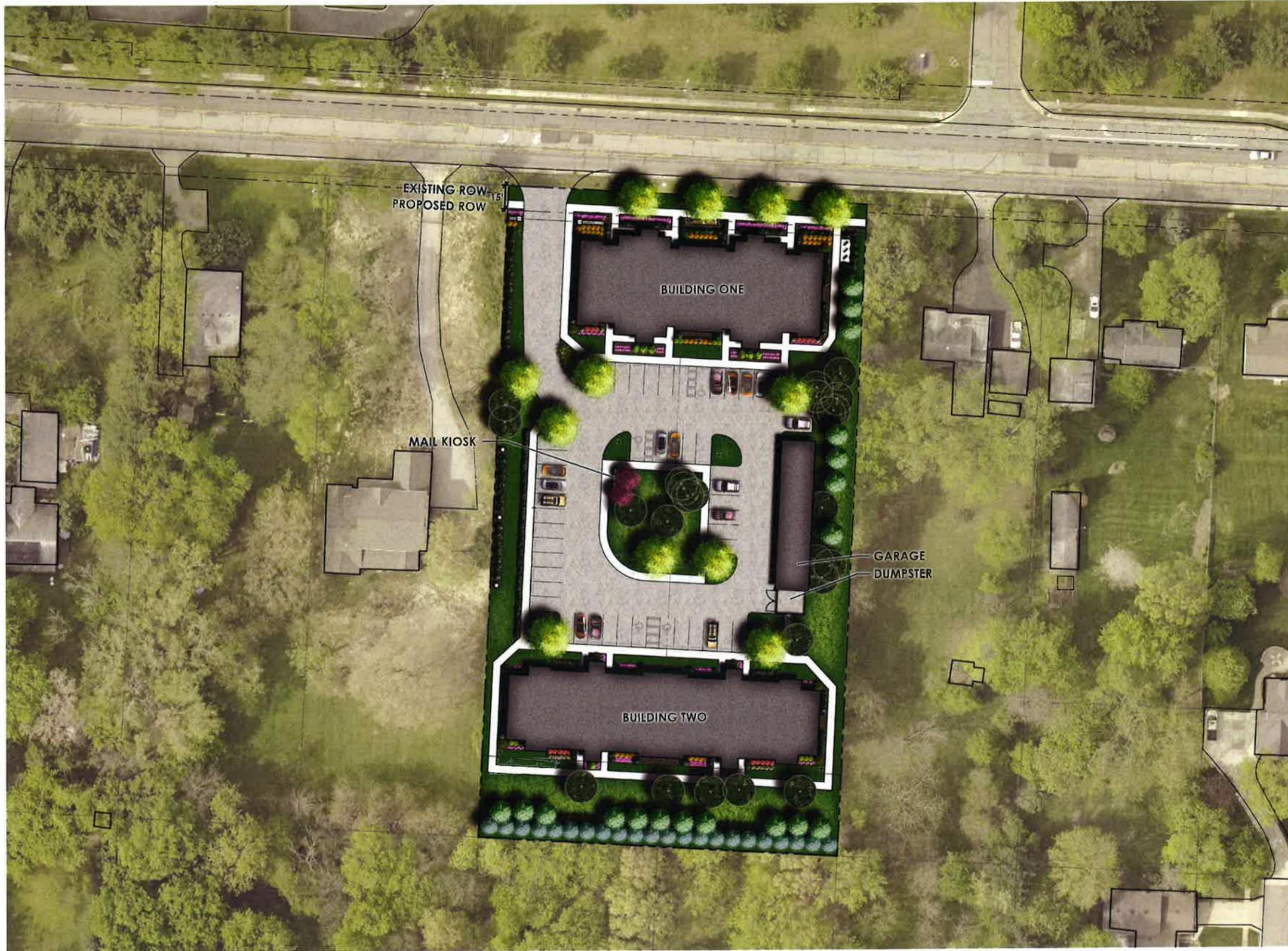
HGL

Please remember when reviewing the results of the flow test that varying factors could change the results, i.e., hourly fluctuations in water levels at the City of Columbus water tanks, changes in consumer demands in the area of the flow test, and seasonal changes in water plant discharge pressures. The net effect of these changes will normally shift static pressures by no more than five (5) to fifteen (15) psi.

CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 07/13/18



CITY OF WORTHINGTON
 DRAWING NO. WBC 01-18
 DATE 07/13/18

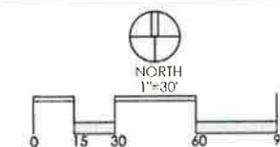
SITE DATA

TOTAL ACRES	+/- 2.00 ACRES
TOTAL UNITS	32 UNITS
SURFACE SPACES	49 SPACES
GARAGE SPACES	8 SPACES
TOTAL PARKING SPACES	57 SPACES
PARKING DENSITY	±1.78 DU/AC

ILLUSTRATIVE PLAN

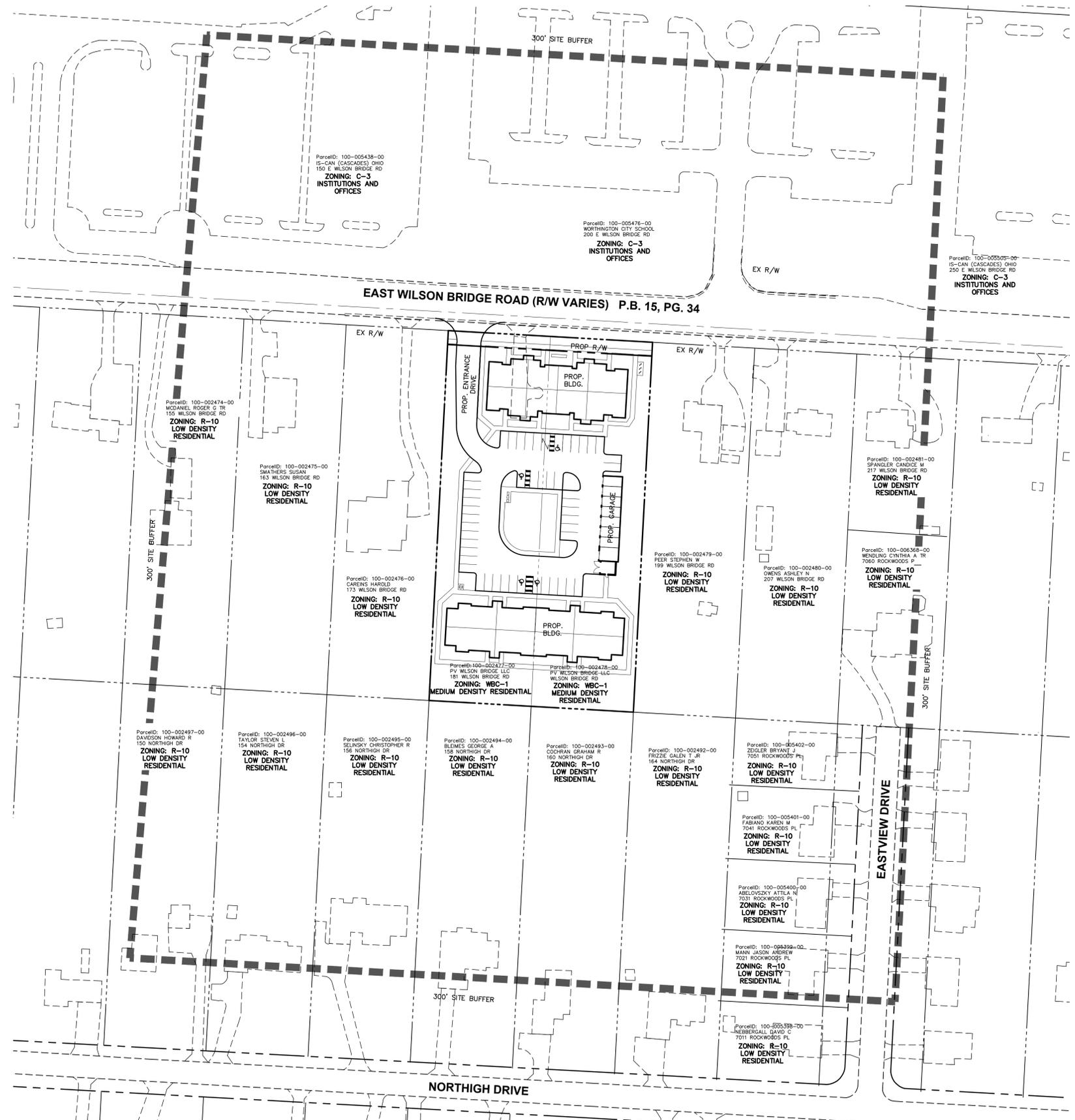
GRANBY PLACE

PREPARED FOR KENNEY COMPANIES
 DATE: 7/13/18

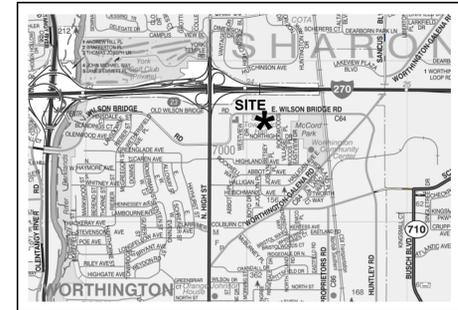


Faris Planning & Design
 LAND PLANNING • LANDSCAPE ARCHITECTURE
 243 N. 5th Street, Suite 401, Columbus, OH 43215
 P. (614) 487-1964 • WWW.FARISPLANNINGANDDESIGN.COM

Z:\18-0002-846\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\TITLE.dwg 1 TITLE SHEET Jul 12, 2018 - 11:17:39pm dsd\offel



VICINITY MAP
SCALE: 1" = 60'



LOCATION MAP
NO SCALE

LEGAL DESCRIPTIONS

SITUATED IN THE COUNTY OF FRANKLIN, IN THE STATE OF OHIO AND IN THE CITY OF WORTHINGTON:
BEING LOT NUMBERS SIXTEEN (16) AND SEVENTEEN (17) OF NORTH HIGH ACRES, AS THE SAME IS NUMBERED AND DELINEATED UPON THE RECORDED PLAT THEREOF, OF RECORD IN PLAT BOOK 15, PAGE, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.
PROPERTY ADDRESS: 181 WILSON BRIDGE ROAD, WORTHINGTON, OHIO 43085
PARCEL ID NUMBERS: 100-002477-00 AND 100-002478-00.

DEVELOPER
OXFORD CIRCLE DEVELOPMENT
470 OLDE WORTHINGTON ROAD, SUITE 100
WESTERVILLE, OHIO 43082

ENGINEER/SURVEYOR
ADVANCED CIVIL DESIGN, INC.
422 BEECHER ROAD
GAHANNA, OH 43230

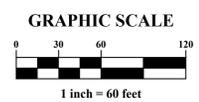
LANDSCAPE ARCHITECT
FARIS PLANNING & DESIGN, LLC
243 N. 5TH STREET, SUITE 401
COLUMBUS, OH 43215

INDEX OF DRAWINGS

SHEET NUMBER	SHEET TITLE
1	TITLE SHEET
2	EXISTING CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING PLAN

SITE STATISTICS

SITE INFORMATION	
PROPOSED ADDRESS	APARTMENT LIVING 181 WILSON BRIDGE ROAD WORTHINGTON, OHIO 43085
PARCEL #	100-002477 & 100-002478
EXISTING ZONING	R-10
PROPOSED ZONING	PUD
SITE AREA CALCULATIONS	
TOTAL SITE AREA	2.0 AC (87,120 SF)
BUILDING AREA	0.417 AC (18,136 SF)
PAVEMENT AND WALK AREA	.0740 AC (32,250 SF)
IMPERVIOUS AREA	1.154 AC (50,386 SF)
PARKING CALCULATIONS	
REQUIRED PARKING	32 SPACES
PROVIDED PARKING TOTAL	56 SPACES (49 SURFACE - 7 GARAGE) (INCLUDES 3 H.C. W/ 1 VAN)



CITY OF WORTHINGTON
DRAWING NO. WBC 01-18
DATE 07/13/18

FEMA FLOOD MAP
THE SUBJECT PROJECT AREA LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 39049C0157K, WITH AN EFFECTIVE DATE OF 06/17/2008, IN FRANKLIN COUNTY, OHIO.

PLAN PREPARED BY:
422 Beecher Road
Gahanna, Ohio 43230
PH 614.428.7790
FAX 614.428.7795

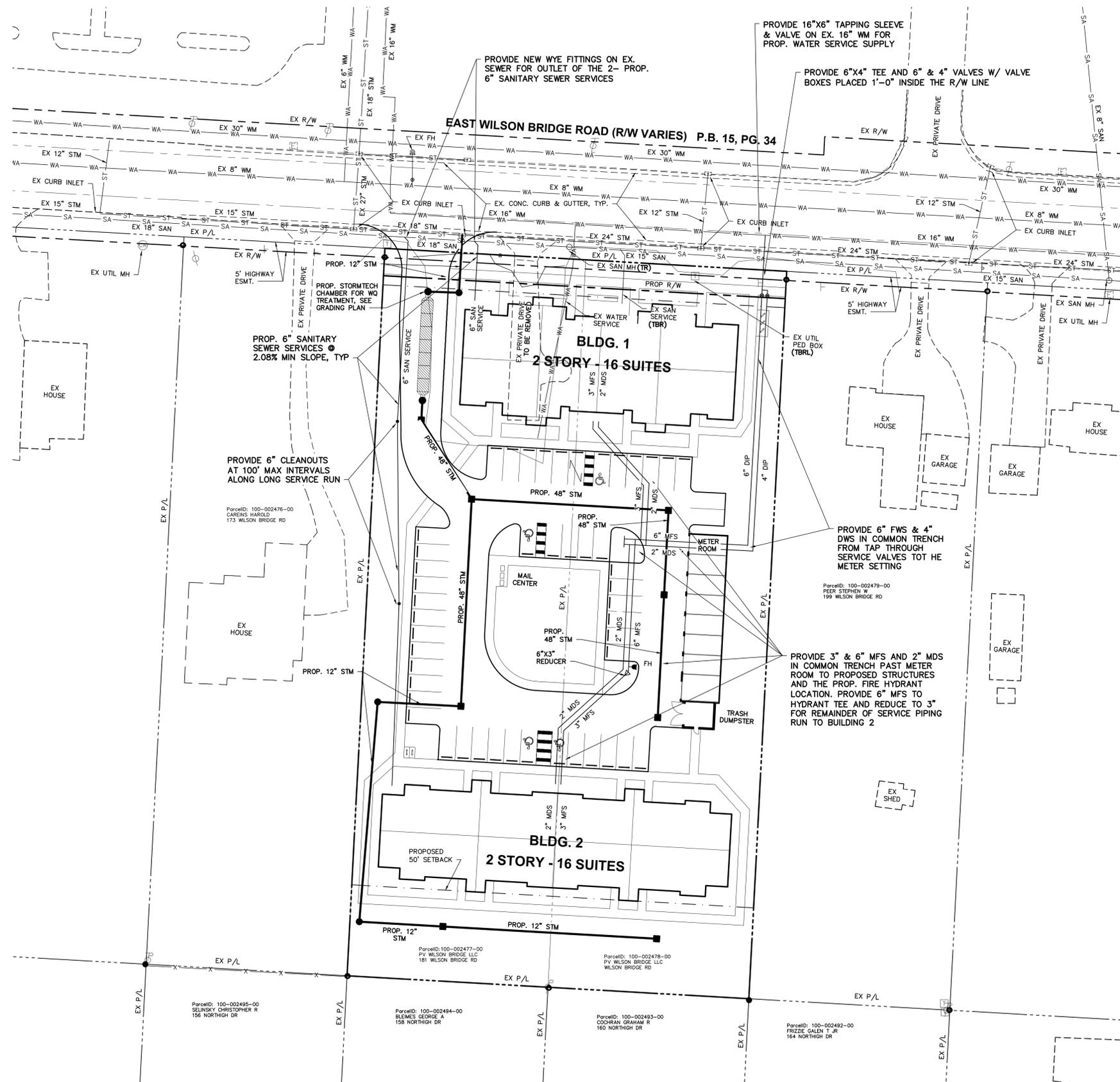
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:
OXFORD CIRCLE DEVELOPMENT
470 OLDE WORTHINGTON ROAD
WESTERVILLE, OH 43081

CITY OF WORTHINGTON / FRANKLIN COUNTY, OHIO
GRANBY PLACE
FINAL DEVELOPMENT PLAN
FOR
OXFORD DEVELOPMENT
TITLE SHEET

Issue Dates:
Date: 07/12/2018
Scale: 1" = 60'
Drawn By: DDS
Checked By: TMW
Project Number:
18-0002-846
Drawing Number:
1 / 5

Z:\18-0002-846\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\UTILITY.dwg PRELIMINARY UTILITY PLAN Jul 12, 2018 - 1:19:41pm dds/tdf



LEGEND

- ST — EXISTING STORM
- PROPOSED STORM
- PROPOSED ROOF DRAIN
- SA — EXISTING SANITARY
- SAS — EXISTING SANITARY SERVICE
- CO — PROPOSED SANITARY SERVICE
- WA — EXISTING WATER MAIN
- PROPOSED DWS
- PROPOSED FWS
- OHE — EXISTING OVERHEAD ELECTRIC
- T — EXISTING UG TELEPHONE
- G — EXISTING GAS
- FO — EXISTING UG FIBER OPTIC
- (TBR/L) TO BE RELOCATED (COORDINATE WORK W/ OWNER OF AFFECTED UTILITY)
- (TBR) TO BE REMOVED (COORDINATE WORK W/ OWNER OF AFFECTED UTILITY)
- (TR) TO REMAIN UNDISTURBED
- (DND) DO NOT DISTURB

- FWS = FIRE WATER SERVICE TO METER
- DWS = DOMESTIC WATER SERVICE TO METER
- MFS = FIRE WATER SERVICE AFTER METER
- MDS = DOMESTIC WATER SERVICE AFTER METER

SITE UTILITY NOTES

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND OSHA STANDARDS.

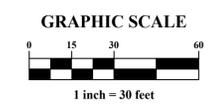
NEW SANITARY WYE TO BE INSTALLED BY THE CONTRACTOR, AT THE DISCRETION OF THE FIELD INSPECTOR OF THE CITY OF WORTHINGTON, EXISTING WYES MAY BE REUSED, AS DIRECTED BY FIELD INSPECTOR.

ALL NON-METAL WATER MAINS AND SERVICES SHALL HAVE TRACER WIRE INSTALLED.

CONTRACTOR SHALL FIELD VERIFY EXISTING SANITARY SEWER AND WATER MAIN LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL ADJUST EXISTING UTILITIES TO GRADE AS NECESSARY.

CITY OF WORTHINGTON
DRAWING NO. WBC 01-18
DATE 07/13/18



PLAN PREPARED BY:
429 Blecker Road
Columbus, Ohio 43230
PH 614.428.7760
FAX 614.428.7765

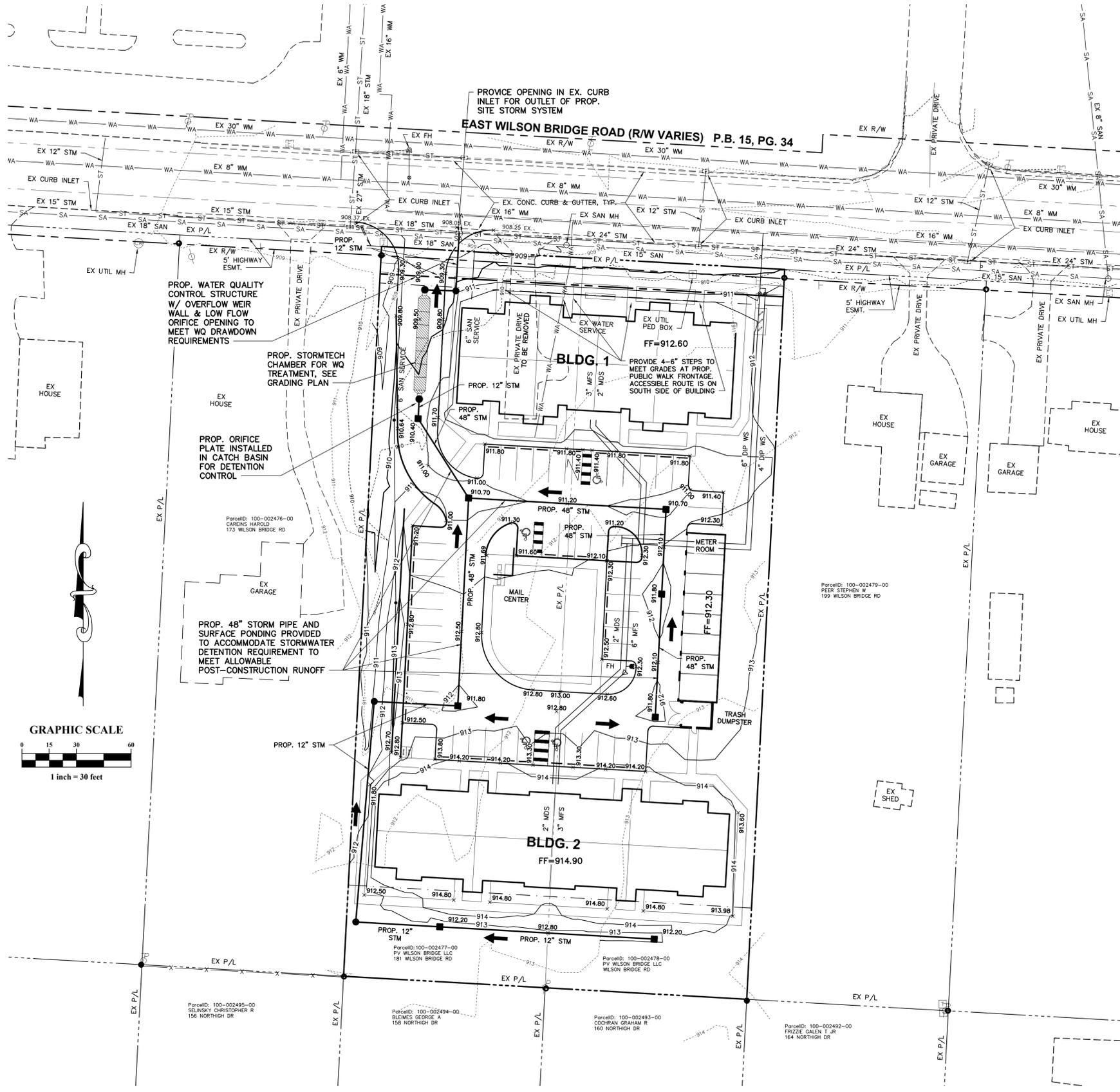
ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:
OXFORD CIRCLE DEVELOPMENT
470 OLDE WORTHINGTON ROAD
WESTERVILLE, OH 43081

CITY OF WORTHINGTON / FRANKLIN COUNTY, OHIO
GRANBY PALCE
FINAL DEVELOPMENT PLAN
FOR
OXFORD DEVELOPMENT
UTILITY PLAN

Issue Dates:	
Date:	07/12/2018
Scale:	1" = 30'
Drawn By:	DDS
Checked By:	TMW
Project Number:	18-0002-846
Drawing Number:	4 / 5

Z:\18-0002-846\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN GRADING.dwg 5 PRELIMINARY GRADING PLAN Jul 12, 2018 - 2:24:58pm ddotack



- LEGEND**
- ST - EXISTING STORM
 - PROPOSED STORM
 - PROPOSED ROOF DRAIN
 - SA - EXISTING SANITARY
 - SAS - EXISTING SANITARY SERVICE
 - PROPOSED SANITARY SERVICE
 - WA - EXISTING WATER MAIN
 - PROPOSED DWS
 - PROPOSED FWS
 - 908 - EXISTING 1' CONTOUR
 - 910 - EXISTING 5' CONTOUR
 - 909 - PROPOSED 1' CONTOUR
 - 910 - PROPOSED 5' CONTOUR
 - OHE - EXISTING OVERHEAD ELECTRIC
 - T - EXISTING UG TELEPHONE
 - G - EXISTING GAS
 - FO - EXISTING UG FIBER OPTIC
 - MAJOR FLOOD ROUTING PATH

CITY OF WORTHINGTON
DRAWING NO. WBC 01-18
DATE 07/13/18

SITE GRADING NOTES

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

STORM PIPE SHALL BE AS SPECIFIED IN THE GENERAL NOTES.

EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

EXISTING GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.

PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.

ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.

ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. ELEVATIONS SHOWN HEREIN ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.

ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TO XXX.

STORMWATER CONTROL NARRATIVE

SITE SUMMARY:
 THE SUBJECT PROJECT CONSISTS OF EXISTING PARCELS (100-002477 & 100-002478) TO BE REDEVELOPED INTO A MULTI-FAMILY DEVELOPMENT WITH ASSOCIATED PARKING. THE SITE IS BOUND BY EAST WILSON BRIDGE ROAD TO THE NORTH, AND SINGLE FAMILY RESIDENTIAL LOTS TO THE EAST, WEST & SOUTH. THE SITE IS APPROXIMATELY 1.89 ACRES CONSISTING OF OPEN GREEN SPACE AND EXISTING ASPHALT. THE PROPOSED SITE IMPROVEMENTS INCLUDE TWO PROPOSED APARTMENT BUILDINGS, SUPPORT BUILDINGS AND ASSOCIATED PARKING.

EXISTING CONDITIONS:
 EXISTING DRAINAGE CONDITIONS WERE EVALUATED USING A COMBINATION OF AERIAL PHOTOGRAPHS, SURVEYED TOPOGRAPHY, SOIL MAPS, AND SITE PHOTOS. THE NATURAL RESOURCE CONSERVATION SERVICE WEB SOIL SURVEY IDENTIFIES THE PREDOMINANT ON-SITE SOILS AS BENNINGTON-URBAN LAND-COMPLEX. THESE SOILS ARE CLASSIFIED WITHIN HYDROLOGIC GROUP 'C'.

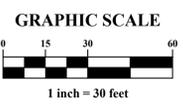
THE EXISTING SITE PREDOMINATELY DRAINS SOUTH TO NORTH INTO AN EXISTING PUBLIC STORM SEWER SYSTEM RUNNING ALONG THE SOUTH SIDE OF WILSON BRIDGE ROAD THAT CONVEYS LOCAL RUNOFF TO EXISTING RUSH RUN LOCATED EAST OF THIS PROJECT.

ALLOWABLE RELEASE RATE:
 THE CITY OF WORTHINGTON FOLLOWS THE ODN RAINWATER AND LAND DEVELOPMENT MANUAL, USING THE CRITICAL STORM METHODOLOGY FOR ALLOWABLE RELEASE RATES FROM THE PROPOSED SITE FOR POST-DEVELOPED STORM RUNOFF.

STORM WATER QUANTITY CONTROL:
 EXCESS RUNOFF FROM THE PROPOSED SITE WILL BE DETAINED AND STORED IN A COMBINATION OF PARKING LOT SURFACE PONDING, NO GREATER THAN 1 FOOT ABOVE CATCH BASINS AND OVERSIZED STORM SEWER PIPES. THE RELEASE WILL BE CONTROLLED BY ORIFICE PLATES WITH OPENINGS SIZED TO MEET THE POST-DEVELOPED FLOW REQUIREMENTS.

STORM WATER QUALITY CONTROL:
 PER THE OHIO EPA GENERAL CONSTRUCTION PERMIT, A STORMWATER BEST MANAGEMENT PRACTICE (BMP) IS REQUIRED TO TREAT THE FIRST FLUSH RUNOFF VOLUME PRODUCED BY A 3/4" RAINFALL EVENT. THE WQ TREATMENT FOR THIS SITE WILL BE ACCOMPLISHED UTILIZING AN UNDERGROUND STORMTECH CHAMBER SYSTEM APPROVED BY THE OHIO EPA.

CONCLUSION:
 THE PROPOSED DEVELOPMENT WILL PROVIDE SURFACE AND SUBSURFACE STORMWATER CONVEYANCES TO CARRY RUNOFF SAFELY THROUGH THE SITE TOWARDS THE ONSITE DETENTION AND WATER QUALITY TREATMENT FACILITY. STRUCTURES WITHIN THE SYSTEM PROVIDE PEAK FLOW CONTROL AND TREATMENT OF CAPTURED WATER TO COMPLY WITH CITY OF WORTHINGTON'S PEAK FLOW CONTROL REQUIREMENTS AND OHIO EPA WATER QUALITY REGULATIONS.



422 Bleacher Road
 Gahanna, Ohio 43230
 Ph 614.428.7790
 Fax 614.428.7795

ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS

PLAN PREPARED BY:

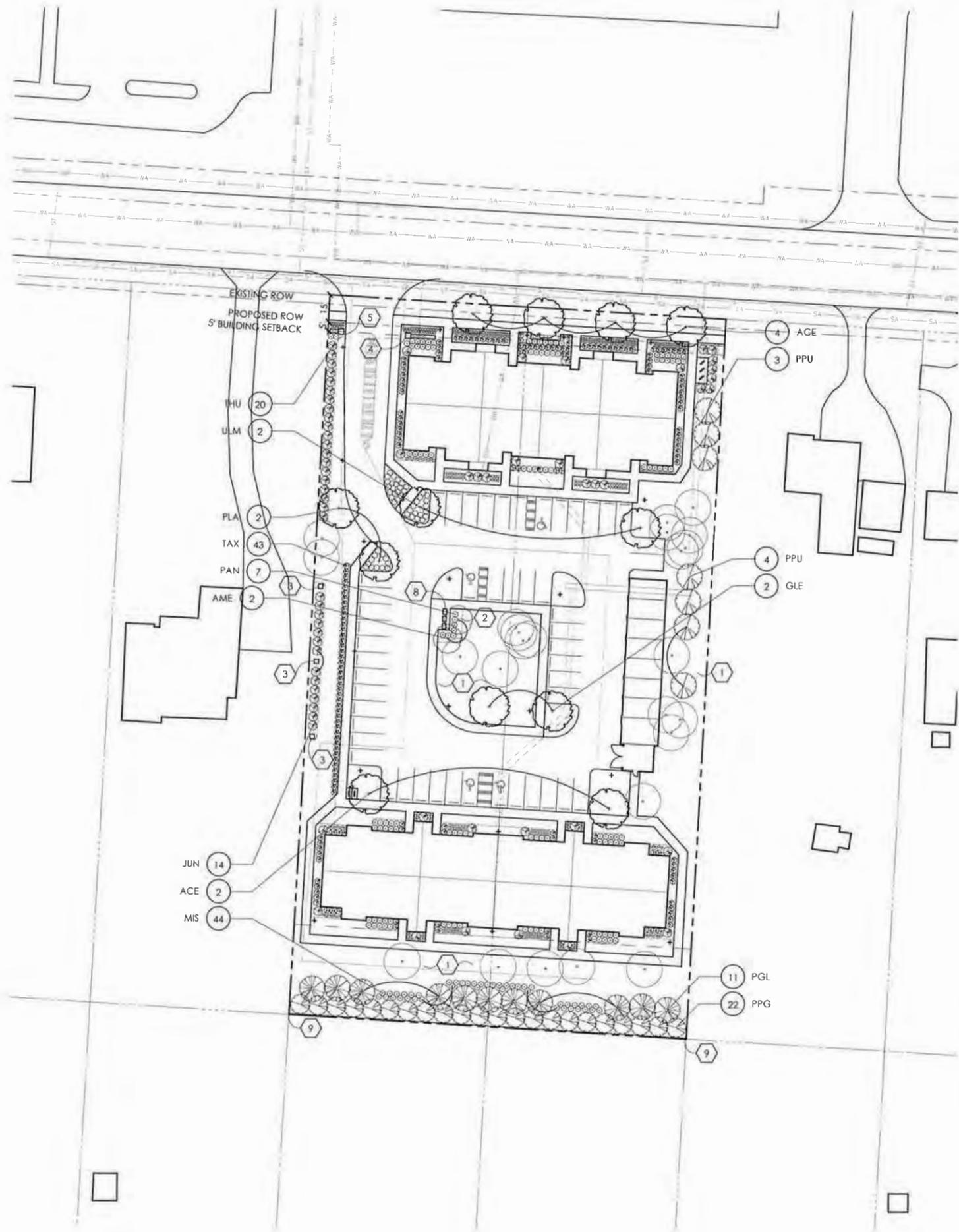
OXFORD CIRCLE DEVELOPMENT
470 OLDE WORTHINGTON ROAD
WESTERVILLE, OH 43081

CITY OF WORTHINGTON / FRANKLIN COUNTY, OHIO

GRANBY PALCE
FINAL DEVELOPMENT PLAN
 FOR
OXFORD DEVELOPMENT
PRELIMINARY GRADING PLAN

Issue Dates:

Date:	07/12/2018
Scale:	1" = 30'
Drawn By:	DDS
Checked By:	TMW
Project Number:	18-0002-846
Drawing Number:	5 / 5



GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12"
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

- ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ② LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ③ COLUMN - SEE DETAIL 3/SHEET D-7
- ④ ENTRY SIGN - SEE DETAIL 1/SHEET D-7
- ⑤ ENTRY COLUMN AND WALL - SEE DETAIL 2/SHEET D-7
- ⑥ NOT USED
- ⑦ NOT USED
- ⑧ MAIL KIOSKS - SEE DETAIL 6/ SHEET D-7
- ⑨ WOODEN PRIVACY FENCE - SEE DETAIL 5/ SHEET D-7

PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
TREES						
6	ACE	ACER x FREEMANII 'SIENNA'	SIENNA GLEN MAPLE	2' CAL.	B&B	
2	AME	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6'-7' HGT.	B&B	MATCH FORM
2	GLE	GLEDITSIA TRIACANTHOS F. INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	2' CAL.	B&B	
11	PGL	PICEA GLAUCA	WHITE SPRUCE	6'-7' HGT.	B&B	
2	PLA	PLATANUS ACERIFOLIA 'MORTON CIRCLE'	EXCLAMATION! LONDON PLANE TREE	2' CAL.	B&B	
22	PPG	PICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	6'-7' HGT.	B&B	
7	PPU	PICEA PUNGENS	COLORADO SPRUCE	6'-7' HGT.	B&B	
2	ULM	ULMUS x 'FRONTIER'	FRONTIER ELM	2' CAL.	B&B	
SHRUBS						
14	JUN	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	8' HGT.	CONT.	
7	PAN	PICEA ABIES 'NIDIFORMIS'	DWARF BIRDS NEST SPRUCE	18" SPRD.	CONT.	
43	TAX	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	18" HGT.	CONT.	
20	THU	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	8' HGT.	CONT.	
PERENNIALS/ORNAMENTAL GRASSES						
44	MIS	MISCANTHUS SINENSIS 'GRACILLIMUS'	GRACILLIMUS MAIDEN GRASS	2 GAL.	CONT.	

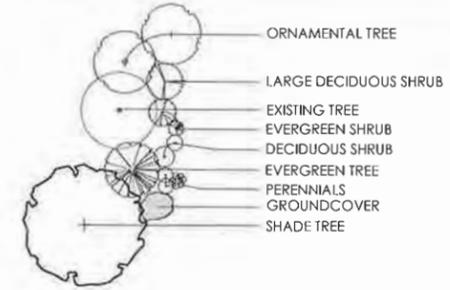
*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.

LANDSCAPE REQUIREMENTS

CODE	REQUIRED	PROVIDED
1171.02 (H) LANDSCAPING OF PARKING AREAS - PROVIDE A TREE FOR EVERY 6 PARKING SPACES	57 SPACES = 10 TREES	10 TREES
1181.05 (A) SCREENING - ONE MEDIUM TREE PER 10' LF, ONE LARGE TREE PER 20' LF, ONE SHRUB PER 5' LF	SOUTH: ±220 LF = 22 MED. TREES, 11 LG. TREES, & 44 SHRUBS	22 MED. TREES, 11 LG. TREES, & 44 SHRUBS
1181.05 (F) PARKING - THERE SHALL NOT BE LESS THAN ONE PARKING SPACE PER DWELLING UNIT	32 UNITS = 32 SPACES (1.00 DU/AC)	57 SPACES (1.78 DU/AC)
1181.05 (G) PUBLIC SPACES - ONE PUBLIC SPACE AMENITY PER 5,000 SF OF GROSS FLOOR AREA	±36,275 SF = 8 AMENITIES	2 BENCHES, 4 DECORATIVE LIGHTS, & 3 BIKE RACKS

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 07/13/18

REVISIONS

OVERALL LANDSCAPE PLAN

GRANBY PLACE
PREPARED FOR
KENNEY COMPANIES
470 OLDE WORTHINGTON RD., SUITE 100
WESTERVILLE, OH 43082

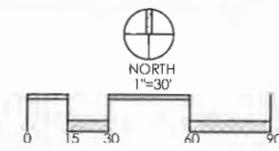
Paris Planning & Design
LANDSCAPE ARCHITECTURE
243 N. 9th Street
P.O. Box 164
Columbus, OH 43215
Suite 401
www.parisplanninganddesign.com

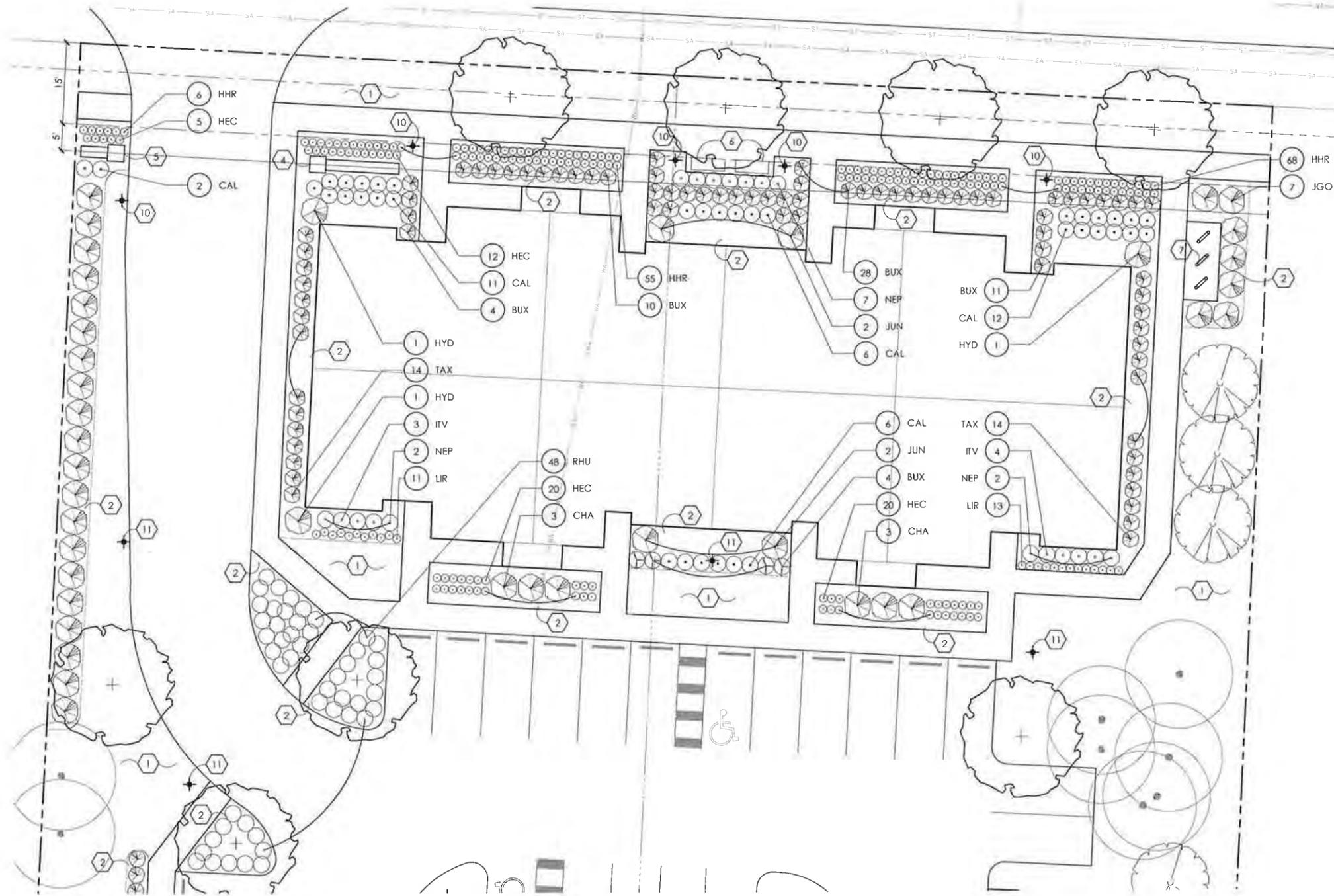
DATE 7/13/18

PROJECT 17140

SHEET

D-2





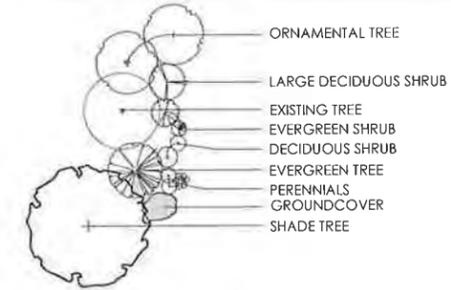
PLANT LIST
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
SHRUBS						
57	BUX	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	18" HGT.	CONT.	
6	CHA	CHAMAECYPARIS PISIFERA 'GOLDEN MOP'	GOLDEN MOP THREADLEAF FALSE CYPRESS	24" HGT.	CONT.	
3	HYD	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	24" HGT.	CONT.	
7	ITV	ITEA VIRGINICA 'SPRICH'	LITTLE HENRY VIRGINIA SWEETSPIRE	18" HGT.	CONT.	
7	JGO	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" HGT.	CONT.	
4	JUN	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	8" HGT.	B&B	
48	RHU	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	18" SPRD.	CONT.	
28	TAX	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	18" HGT.	CONT.	
PERENNIALS/ORNAMENTAL GRASSES						
37	CAL	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	1 GAL.	CONT.	
57	HEC	HEMEROCALLIS 'EARLYBIRD CARDINAL'	EARLYBIRD CARDINAL DAYLILY	1 GAL.	CONT.	
129	HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	CONT.	
24	LIR	LIRIOPE MUSCARI 'VARIEGATA'	VARIGATED LIRIOPE	1 GAL.	CONT.	
11	NEP	NEPETA X FASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.	CONT.	

*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



GENERAL PLANTING NOTES:

- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

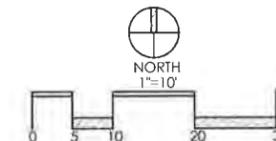
CONSTRUCTION NOTES:

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- NOT USED
- ENTRY SIGN - SEE DETAIL 1/SHEET D-7
- ENTRY COLUMN AND WALL - SEE DETAIL 2/SHEET D-7
- BENCH - BY OWNER
- U-SHAPED BIKE RACK - SEE DETAIL 4/SHEET D-7
- NOT USED
- NOT USED
- DECORATIVE LIGHTING - MAXIM LIGHTING 3008 - SEE DETAIL 1/ SHEET D-6
- DECORATIVE LIGHTING - DELMAR STAR POWER OPTICAL SYSTEM - SEE DETAIL 2/ SHEET D-6

CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 07/13/18



REVISIONS

BUILDING ONE
LANDSCAPE PLAN

GRANBY PLACE
PREPARED FOR
KENNEY COMPANIES
470 OLDE WORTHINGTON RD., SUITE 100
WESTERVILLE, OH 43082

Faris Planning & Design
LANDSCAPE ARCHITECTURE
243 N. 5th Street
Columbus, OH 43215
P (614) 487-1764
www.farispplanningdesign.com

DATE 7/13/18

PROJECT 17140

SHEET

D-3

REVISIONS

BUILDING TWO
LANDSCAPE PLAN

GRANBY PLACE
PREPARED FOR
KENNEY COMPANIES
470 OLDE WORTHINGTON RD., SUITE 100
WESTERVILLE, OH 43082

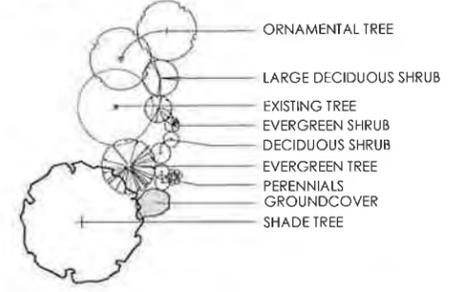
Paris Planning & Design
LANDSCAPE ARCHITECTURE
243 N. 6th Street
Columbus, OH 43215
p (614) 487-1764
www.parisplanninganddesign.com

DATE	7/13/18
PROJECT	17140
SHEET	

D-4

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES

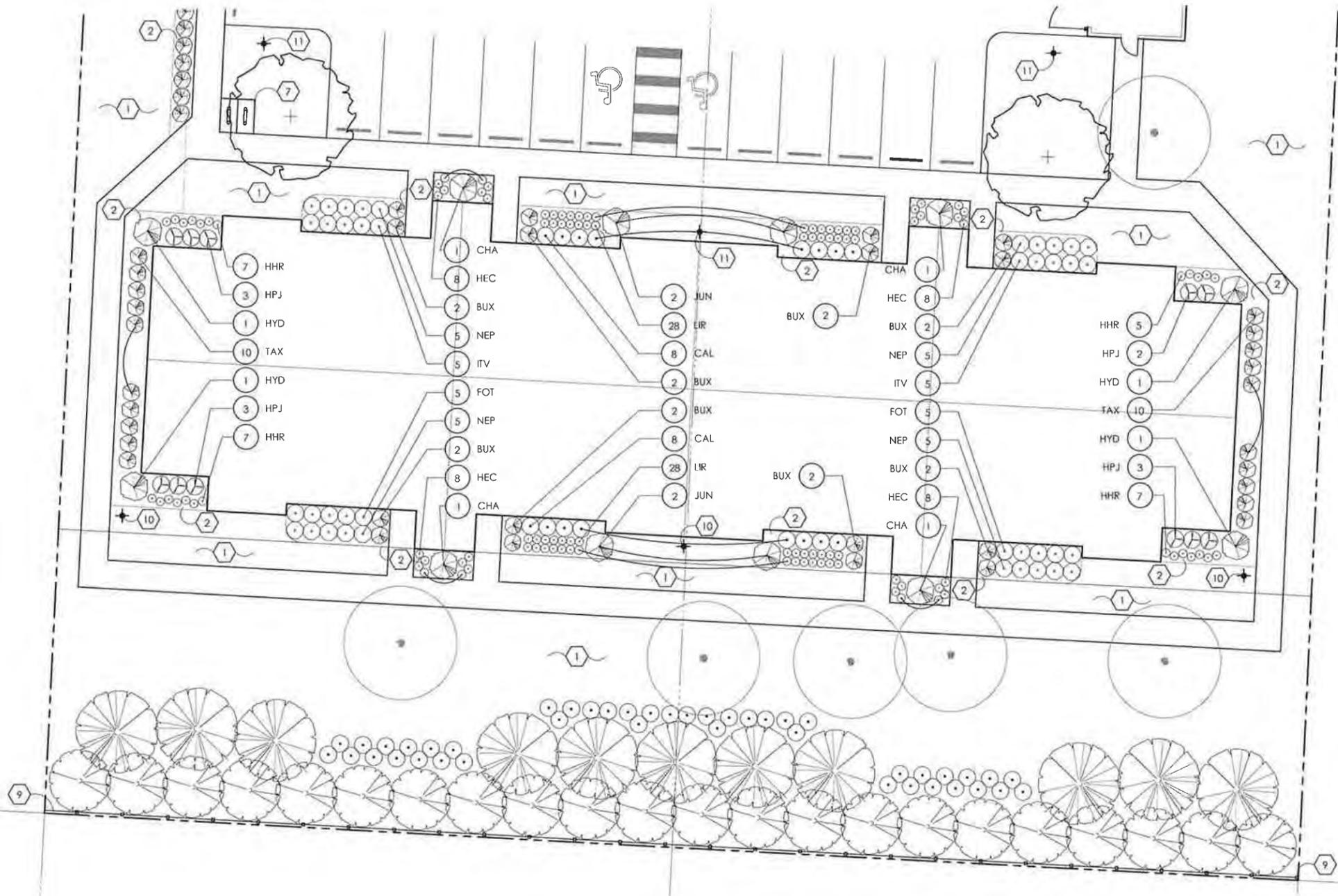


GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

- ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ② LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ③ NOT USED
- ④ NOT USED
- ⑤ NOT USED
- ⑥ NOT USED
- ⑦ U-SHAPED BIKE RACK - SEE DETAIL 4/ SHEET D-7
- ⑧ NOT USED
- ⑨ WOODEN PRIVACY FENCE - SEE DETAIL 5/ SHEET D-7
- ⑩ DECORATIVE LIGHTING - MAXIM LIGHTING 3008 - SEE DETAIL 1/ SHEET D-6
- ⑪ DECORATIVE LIGHTING - DELMAR STAR POWER OPTICAL SYSTEM - SEE DETAIL 2/ SHEET D-6



PLANT LIST
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

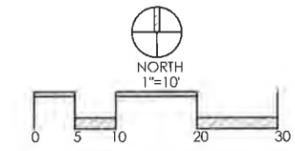
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
SHRUBS						
16	BUX	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	18" HGT.	CONT.	
4	CHA	CHAMAECYPARIS PISIFERA 'GOLDEN MOP'	GOLDEN MOP THREADLEAF FALSE CYPRESS	24" HGT.	CONT.	
10	FOT	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	18" HGT.	CONT.	
11	HPJ	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HARDY HYDRANGEA	18" HGT.	CONT.	
4	HYD	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	24" HGT.	CONT.	
10	ITV	ITEA VIRGINICA 'SPRICH'	LITTLE HENRY VIRGINIA SWEETSPIRE	18" HGT.	CONT.	
4	JUN	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	8" HGT.	B&B	
20	TAX	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	18" HGT.	CONT.	
PERENNIALS/ORNAMENTAL GRASSES						
16	CAL	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	1 GAL.	CONT.	
32	HEC	HEMEROCALLIS 'EARLYBIRD CARDINAL'	EARLYBIRD CARDINAL DAYLILY	1 GAL.	CONT.	
26	HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	CONT.	
56	LIR	LIRIOPE MUSCARI 'VARIEGATA'	VARIATED LIRIOPE	1 GAL.	CONT.	
20	NEP	NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.	CONT.	

*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.

CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

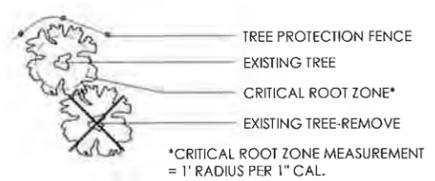
DATE 07/13/18



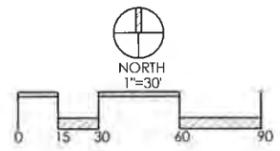


CONSTRUCTION NOTES:

- ① CALIPER INCHES SAVED: ±320"
- ② CALIPER INCHES REMOVED: ±1,772"



CITY OF WORTHINGTON
 DRAWING NO. WBC 01-18
 DATE 07/13/18



REVISIONS	

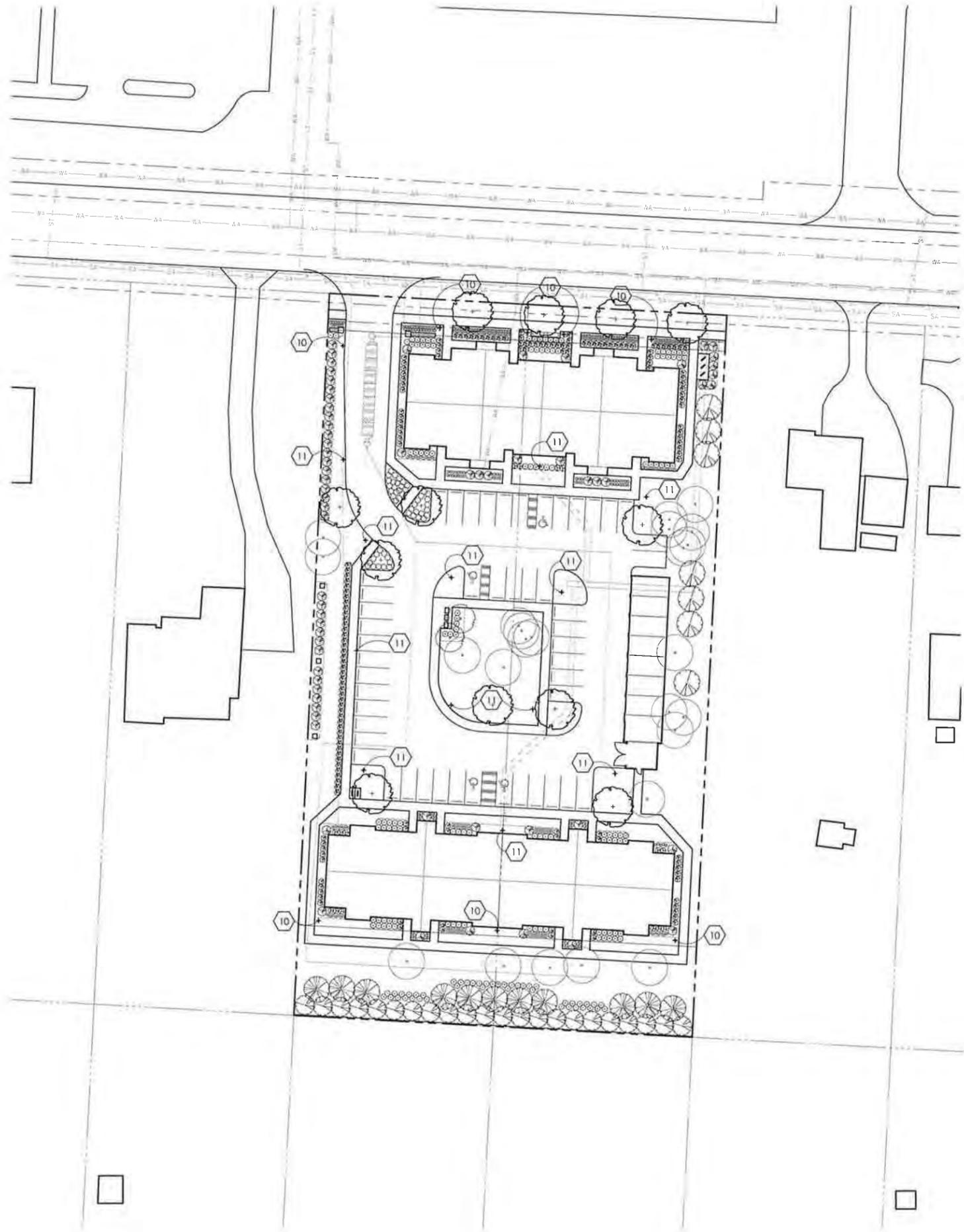
TREE PRESERVATION PLAN

GRANBY PLACE
 PREPARED FOR
KENNEY COMPANIES
 470 CALDE WORTHINGTON RD., SUITE 100
 WESTERVILLE, OH 43082

Paris Planning & Design
 LANDSCAPE ARCHITECTURE
 243 N. 5th Street
 Suite 401
 Columbus, OH 43215
 P: (614) 487-1964
 www.parisplanninganddesign.com

DATE	7/13/18
PROJECT	17140
SHEET	

D-5

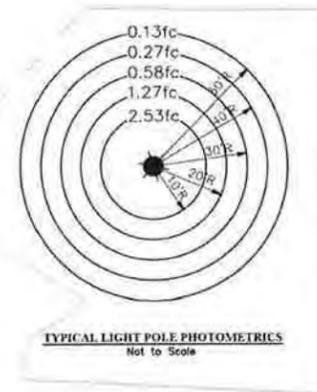


GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

- ① NOT USED
- ② NOT USED
- ③ NOT USED
- ④ NOT USED
- ⑤ NOT USED
- ⑥ NOT USED
- ⑦ NOT USED
- ⑧ NOT USED
- ⑨ NOT USED
- ⑩ DECORATIVE LIGHTING - MAXIM LIGHTING 3008 - SEE DETAIL 1/ SHEET D-6
- ⑪ DECORATIVE LIGHTING - DELMAR STAR POWER OPTICAL SYSTEM - SEE DETAIL 2/ SHEET D-6



*FIX TO 5' POST OR OWNER APPROVED EQUAL

① **MAXIM DECORATIVE LIGHT**
SCALE: N.T.S.



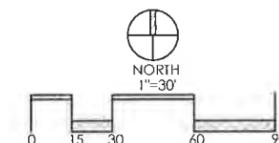
*FIX TO 12' POST OR OWNER APPROVED EQUAL

② **DELMAR DECORATIVE LIGHT**
SCALE: N.T.S.

CITY OF WORTHINGTON

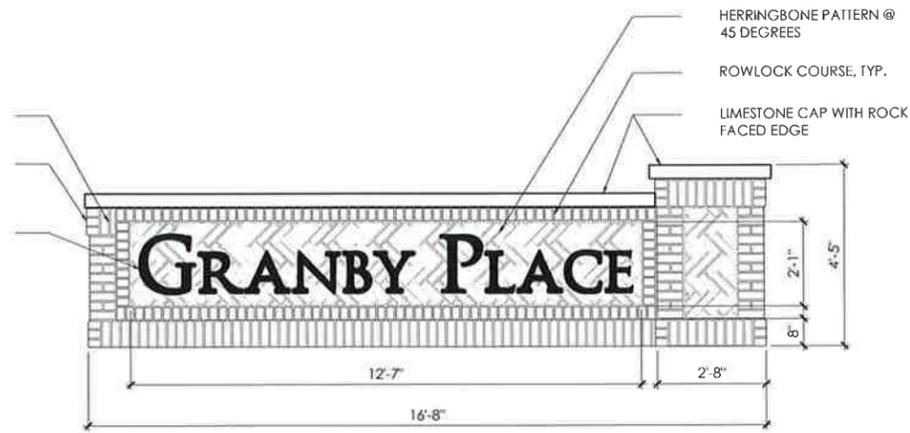
DRAWING NO. WBC 01-18

DATE 07/13/18



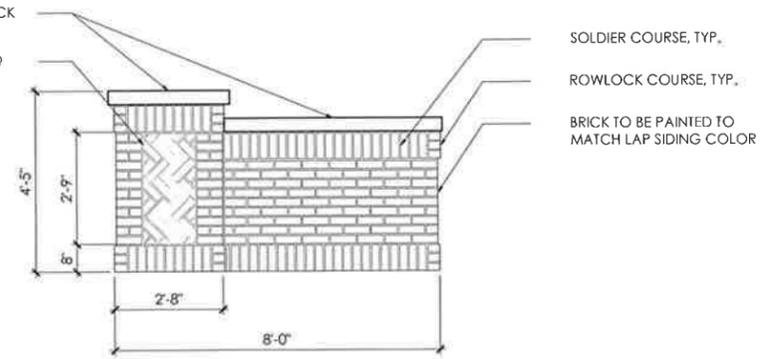
REVISIONS	
LIGHTING PLAN	
GRANBY PLACE <small>PREPARED FOR</small> KENNEY COMPANIES <small>470 CALDE WORTHINGTON RD., SUITE 100 WESTERVILLE, OH 43082</small>	
Paris Planning & Design <small>LAND PLANNING LANDSCAPE ARCHITECTURE</small> <small>243 N. 5th Street Columbus, OH 43215</small> <small>P: (614) 487-1964 SU (6 40) www.parisplanninganddesign.com</small>	
DATE	7/13/18
PROJECT	17140
SHEET	
D-6	

SOLDIER COURSE, TYP.
 BRICK TO BE PAINTED TO MATCH LAP SIDING COLOR
 HALO-LIT CAST ALUMINUM LETTERS AT 1'-6" AND 1'-0"



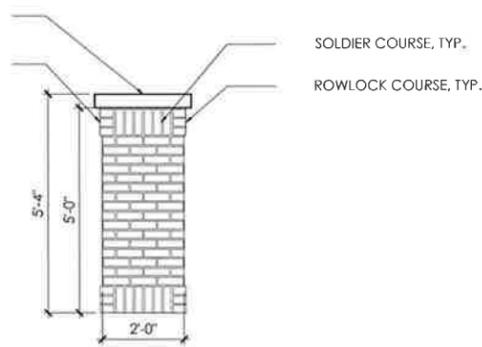
1 GRANBY PLACE ENTRY SIGN DETAIL
 N.T.S.

LIMESTONE CAP WITH ROCK FACED EDGE
 HERRINGBONE PATTERN @ 45 DEGREES

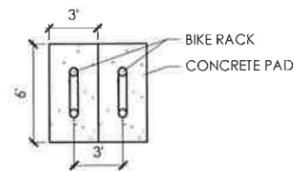
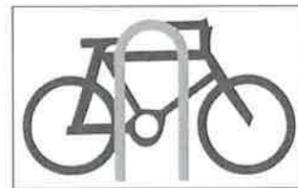


2 GRANBY PLACE ENTRY WALL DETAIL
 N.T.S.

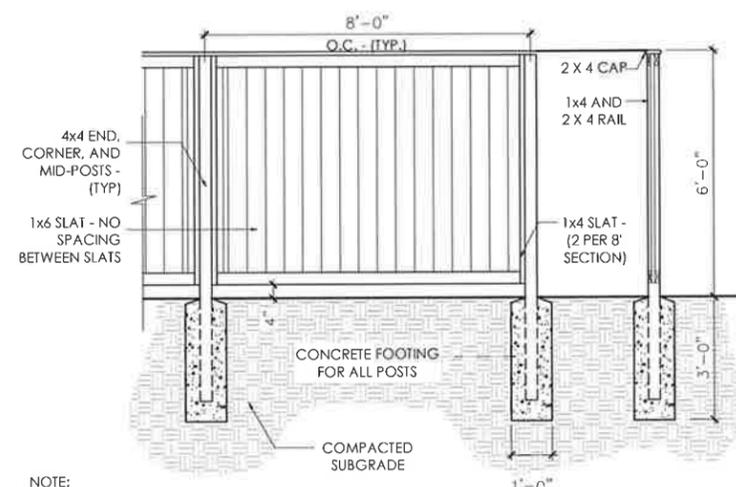
LIMESTONE CAP WITH ROCK FACED EDGE
 BRICK TO BE PAINTED TO MATCH LAP SIDING COLOR



3 GRANBY PLACE COLUMN DETAIL
 N.T.S.



4 U-SHAPED BIKE RACK
 SCALE: N.T.S.



NOTE:
 ALL SLATS AND RAILS TO BE CEDAR, S4S, POSTS MAY BE PT WOOD SCREWS TO BE FLAT HEAD WEATHERMASTERDACROTIZED STEEL COARSE, THREAD 12x2 MANUFACTURED BY TETRIX INC.

5 WOOD PRIVACY FENCE
 N.T.S.

NOTE: MAILBOX CLUSTERS TO BE GANGED, BLACK IN COLOR. THE SIZE WILL VARY FROM 12, 13, OR 16 UNIT BOXES. INSTALLATION BY CEDAR-CRAFT PRODUCTS, INC., P.O. BOX 9, BLACKLICK, OH 43004. P:614-759-1600.

6 MAILBOX CLUSTER DETAIL
 SCALE: N.T.S.

CITY OF WORTHINGTON

DRAWING NO. WBC 01-18

DATE 07/13/18

REVISIONS	

SITE DETAILS

GRANBY PLACE
 PREPARED FOR
 KENNEY COMPANIES
 470 OLDE WORTHINGTON RD., SUITE 100
 WESTERVILLE, OH 43082

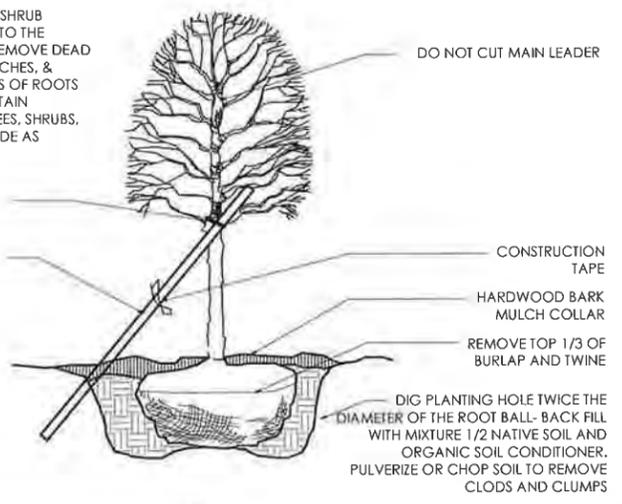
Paris Planning & Design
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 243 N. 9th Street
 Suite 401
 Columbus, OH 43215
 P (614) 487-1964
 www.parisplanninganddesign.com

DATE	7/13/18
PROJECT	17140
SHEET	

D-7

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES, & COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. RETAIN NORMAL SHAPE. PLANT TREES, SHRUBS, EVERGREENS AT SAME GRADE AS GROWN IN NURSERY.

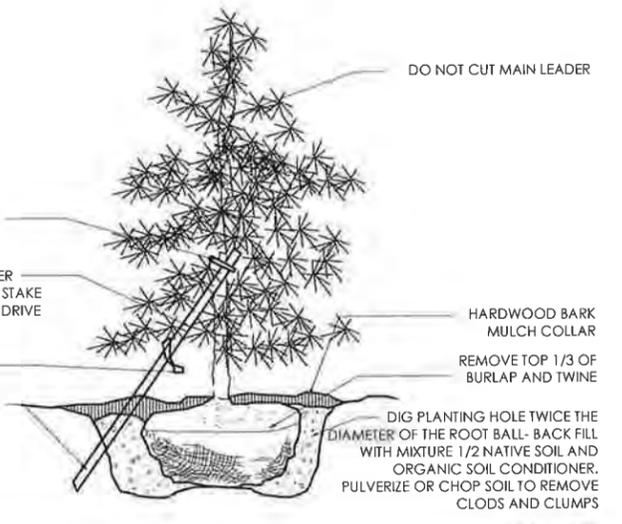
RUBBER HOSE WITH 12 GAUGE WIRE INSIDE
2" X 2" X 8' WOOD STAKE, 1 PER TREE UP TO 7' HEIGHT- ANGLE STAKE TOWARD PREVAILING WIND. DRIVE STAKES 18" BELOW PIT.



6 DECIDUOUS TREE UNDER 3-1/2" CALIPER
N.T.S. 01-1000

NOTE:
PLANT TREES, SHRUBS, & EVERGREENS AT SAME GRADE AS GROWN IN NURSERY

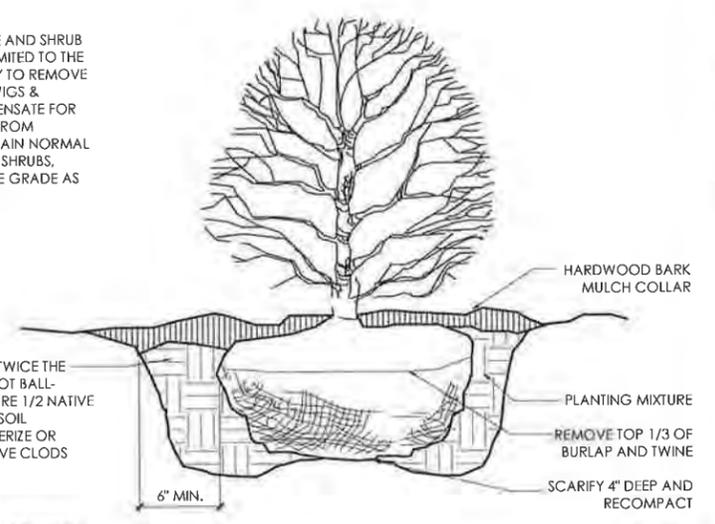
HOSE WITH 12 GAUGE WIRE INSIDE
2" X 2" X 8' WOOD STAKE, 1 PER TREE UP TO 7' HEIGHT-ANGLE STAKE TOWARD PREVAILING WIND. DRIVE STAKES 18" BELOW PIT.
CONSTRUCTION TAPE
DRIVE STAKES TO 18" BELOW PIT



7 EVERGREEN TREE UNDER 7' HGT.
N.T.S. 01-1100

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES, & COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. RETAIN NORMAL SHAPE. PLANT TREES, SHRUBS, EVERGREENS AT SAME GRADE AS GROWN IN NURSERY

DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOT BALL- BACK FILL WITH MIXTURE 1/2 NATIVE SOIL AND ORGANIC SOIL CONDITIONER. PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS



8 SHRUB PLANTING DETAIL
N.T.S. 01-1300

REVISIONS	

SITE DETAILS

GRANBY PLACE
PREPARED FOR
KENNEY COMPANIES
470 CALLE WORTHINGTON RD., SUITE 100
WESTERVILLE, OH 43082

Paris Planning & Design
LAND PLANNING
243 N. 5th Street
P (614) 487-1964
LANDSCAPE ARCHITECTURE
Columbus, OH 43215
SU 16 401
www.parisplanninganddesign.com

DATE	7/13/18
PROJECT	17140
SHEET	

D-8

CITY OF WORTHINGTON
DRAWING NO. WBC 01-18
DATE 07/13/18



① BUILDING 1 ELEVATION
SCALE: 1"=10'



② BUILDING 1 SIDE ELEVATION
SCALE: 1"=10'

- ASPHALT SHINGLES
- CEMENT BOARD SHAKE SIDING
- HARDIPLANK BOARD AND BATTEN
- HARDIPLANK SIDING
- BRICK



③ BUILDING 2 ELEVATION
SCALE: 1"=10'



④ BUILDING 2 SIDE ELEVATION
SCALE: 1"=10'

- ASPHALT SHINGLES
- CEMENT BOARD SHAKE SIDING
- HARDIPLANK BOARD AND BATTEN
- HARDIPLANK SIDING
- BRICK



⑤ GARAGE AND DUMPSTER ELEVATION
SCALE: 1"=10'

- ASPHALT SHINGLES
- HARDIPLANK SIDING
- BRICK

CITY OF WORTHINGTON

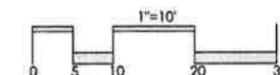
DRAWING NO. WBC 01-18

DATE 07/13/18

ELEVATIONS

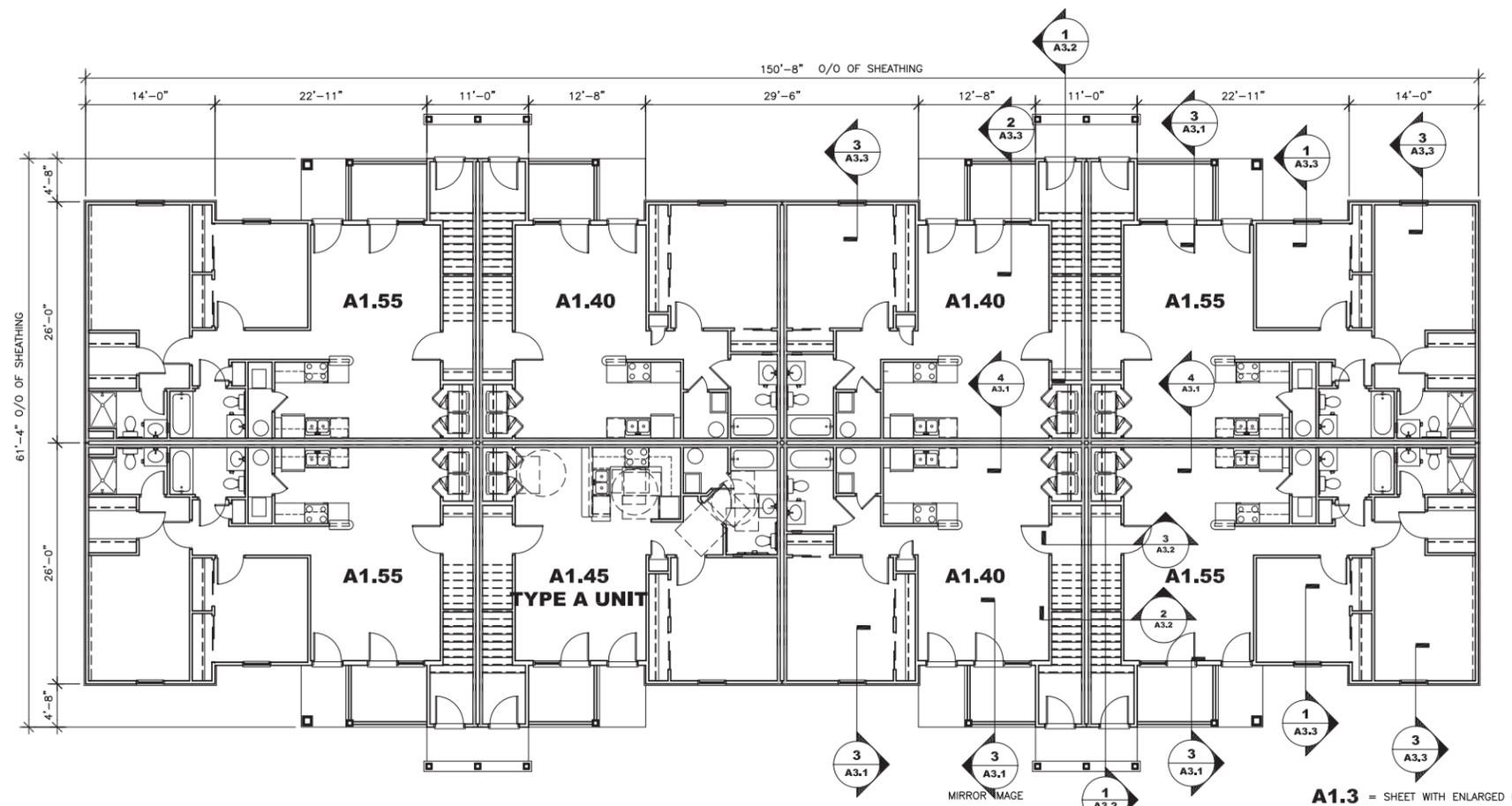
GRANBY PLACE

PREPARED FOR KENNEY COMPANIES
DATE: 7/13/18

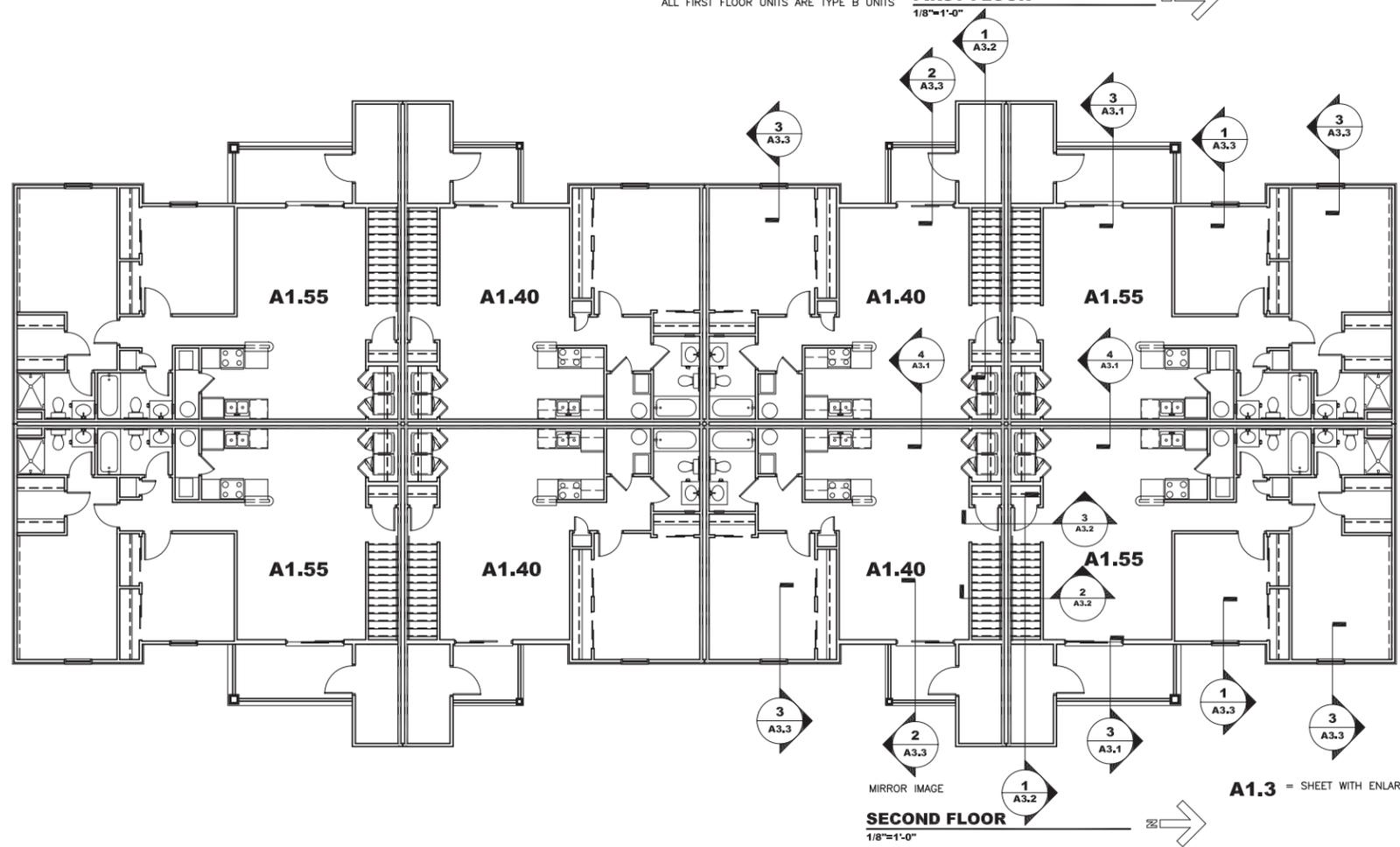


Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE
243 N. 5th Street Suite 401 Columbus, OH 43215
p (614) 487-1964 www.farisplanninganddesign.com



FIRST FLOOR
1/8"=1'-0"



SECOND FLOOR
1/8"=1'-0"

A1.3 = SHEET WITH ENLARGED PLAN

A1.3 = SHEET WITH ENLARGED PLAN

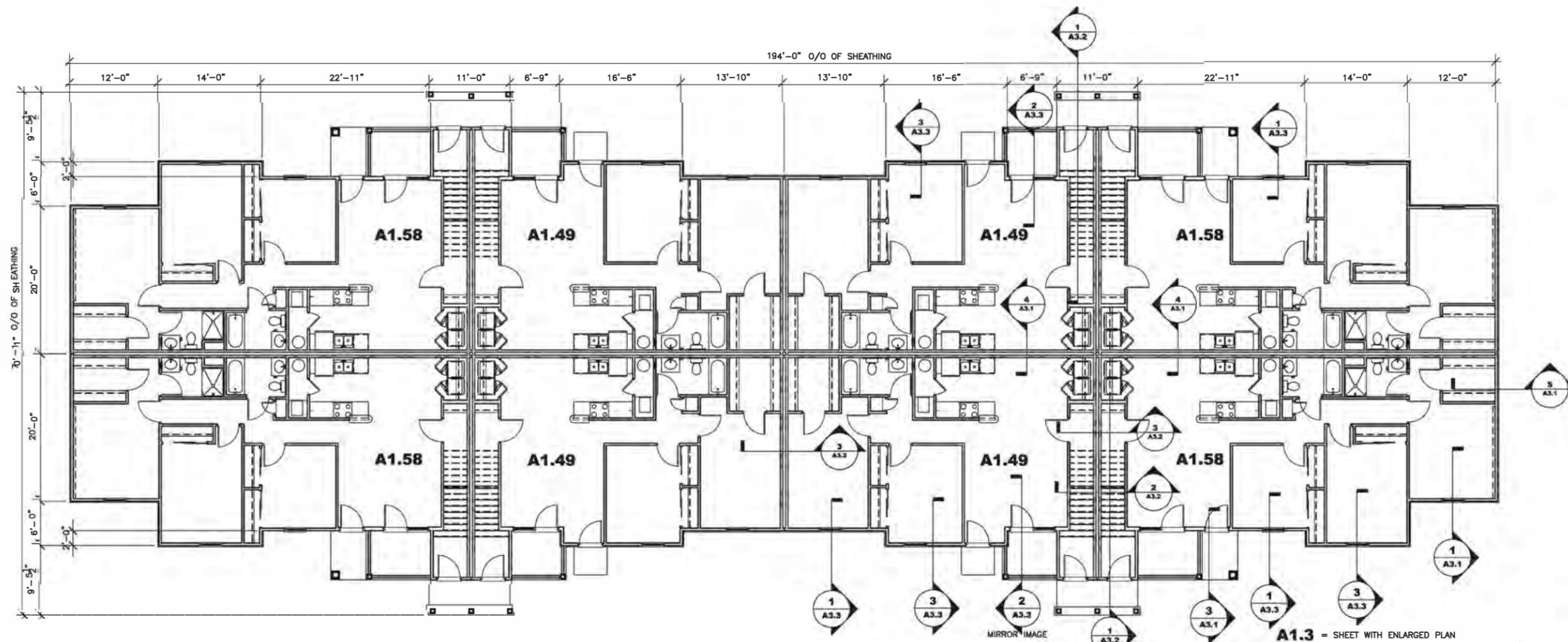
CITY OF WORTHINGTON
DRAWING NO. WBC 01-18
DATE 07/13/18

CD
Collaborative Design, Ltd.
2727 Tuller Parkway, Suite 200
Dublin, Ohio 43017
Tel 614.798.1515

© 2015, Collaborative Design, Ltd.
Project Number _____
Date _____
Scale _____
File Name _____
Drawing Description _____

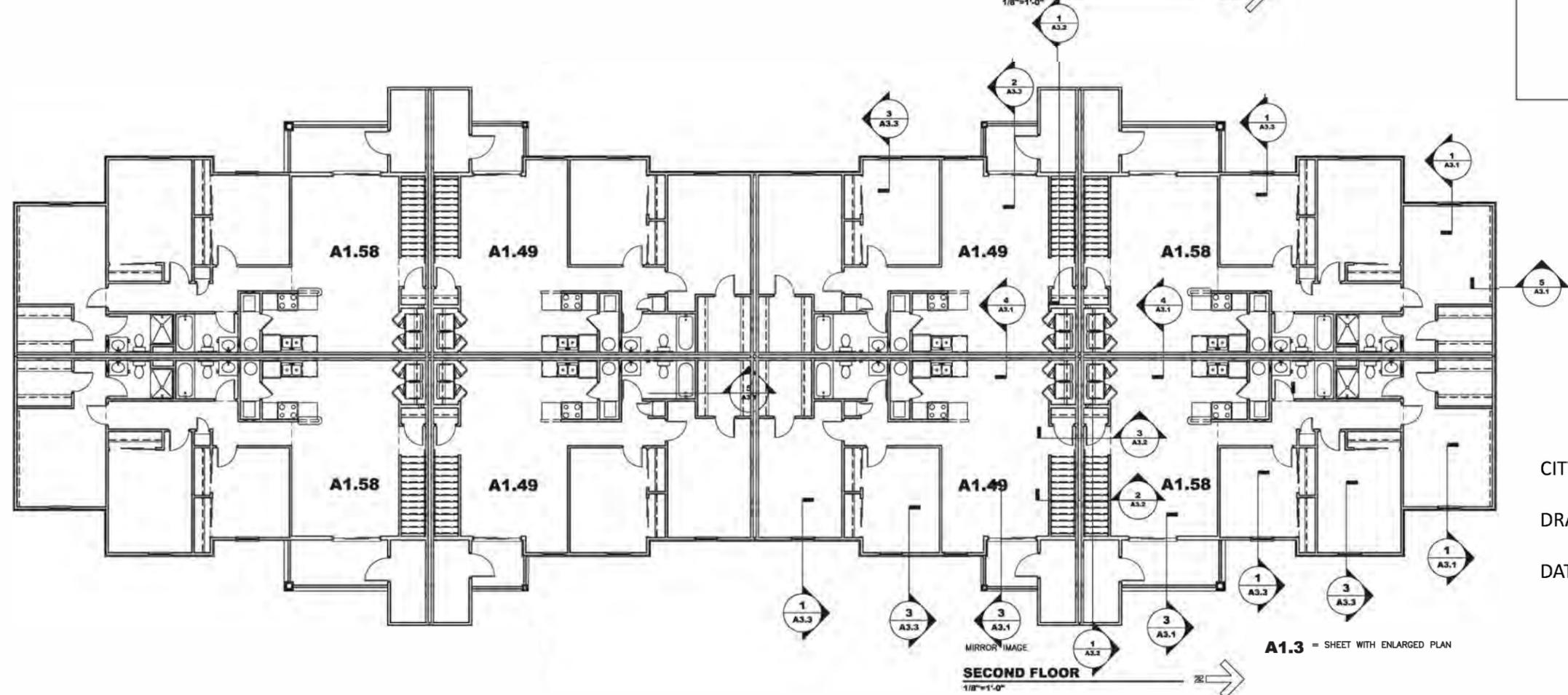
BUILDING 1
OVERALL PLANS

Revision	Date



ALL FIRST FLOOR UNITS ARE TYPE B UNITS

FIRST FLOOR
1/8"=1'-0"



SECOND FLOOR
1/8"=1'-0"



CITY OF WORTHINGTON
DRAWING NO. WBC 01-18
DATE 07/13/18

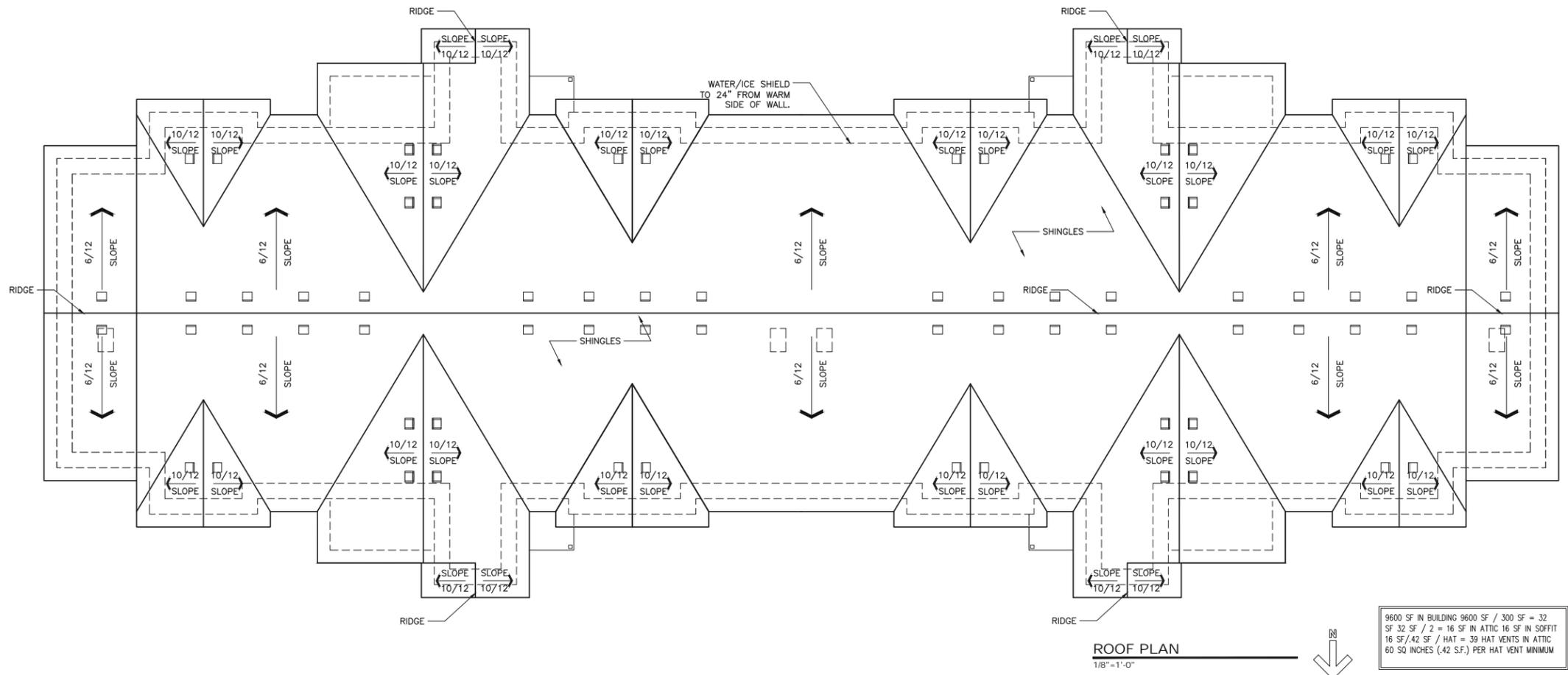
CD
Collaborative Design, Ltd.
2727 Tuller Parkway, Suite 200
Dublin, Ohio 43017
Tel: 614.798.1515

© 2015, Collaborative Design, Ltd.
Project Number:

Date:
Scale:
File Name:
Drawing Description:

**BUILDING 2
OVERALL PLANS**

A1.2



9600 SF IN BUILDING 9600 SF / 300 SF = 32
 SF 32 SF / 2 = 16 SF IN ATTIC 16 SF IN SOFFIT
 16 SF / 42 SF / HAT = 39 HAT VENTS IN ATTIC
 60 SQ INCHES (.42 S.F.) PER HAT VENT MINIMUM

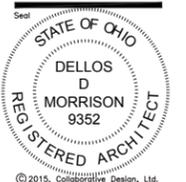
ROOF PLAN
 1/8" = 1'-0"



Revision	Date

EMERSON PARK APARTMENTS
 COLUMBUS, OHIO

CD
 Collaborative Design, Ltd.
 2727 Tuller Parkway, Suite 200
 Dublin, Ohio 43017
 Tel: 614.798.1515



Project Number
16027
 Date
4-22-16
 Scale
 File Name
 Drawing Description

CITY OF WORTHINGTON
 DRAWING NO. WBC 01-18
 DATE 07/13/18

BUILDING 2
 OVERALL PLANS

A1.3