



**ARCHITECTURAL REVIEW BOARD
MUNICIPAL PLANNING COMMISSION**

-AGENDA-

Thursday, July 27, 2017 at 7:00 P.M.

Louis J. R. Goorey Worthington Municipal Building
The John P. Coleman Council Chamber
6550 North High Street
Worthington, Ohio 43085

A. Call to Order - 7:00 pm

1. Roll Call
2. Pledge of Allegiance
3. Affirmation/swearing in of witnesses
4. Approval of minutes of the July 13, 2017 meeting

B. Architectural Review Board - Unfinished

1. New Single Family Home – **31 E. New England Ave.** (Jamie & Lindsay Cleverley/
Worthington Lodge LLC) **AR 57-17**

C. Municipal Planning Commission - Unfinished

1. Planned Unit Development Modification

- a. New Single Family Home – **31 E. New England Ave.** (Jamie & Lindsay
Cleverley/Worthington Lodge LLC) **PUDM 01-17** (Modification to PUD 03-14)

2. Subdivision

- a. Preliminary & Final Plats – **303 E. New England Ave.** (Bob Webb Homes/Johnston)
SUB 02-17

D. Architectural Review Board - New

1. Landscaping – **7227 N. High St.** (The Shops at Worthington Place) **AR 59-17**
(Amendment to AR 84-91)
2. Balcony – **50 W. Stafford Ave.** (Sean & Alyssa Harris) **AR 60-17** (Amendment to AR 05-17)
3. Sign – **510 High St.** (Signarama) **AR 61-17**
4. Windows, Door & Retaining Wall – **614 Oxford St.** (Kristen & AJ Senff) **AR 62-17**
(Amendment to AR 13-17)
5. Windows, Garage Door, Siding & Trim – **822 Oxford St.** (James Ross/Campbell)
AR 63-17

E. Other

F. Adjournment



MEMORANDUM

TO: Members of the Architectural Review Board
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: July 20, 2017

SUBJECT: Staff Memo for the Meeting of July 27, 2017

B. Architectural Review Board - Unfinished

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Worthington Lodge LLC) **AR 57-17**

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C. Municipal Planning Commission - Unfinished

1. Planned Unit Development Modification

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Cleverley/Worthington Lodge LLC) **PUDM 01-17** (Modification to PUD 03-14)

Revised drawings are expected in time for the meeting. The information contained herein is unchanged from the last meeting.

Findings of fact & Conclusions

Background & Request:

The parcel which includes the former lodge and the new house east of the access drive to the Worthington United Methodist Church (WUMC) parking lot was rezoned as a PUD in 2015. Originally included for the area east of Dewey's along E. New England Avenue was a two-family residential structure. These applicants would like to amend the previous approvals by the MPC and ARB to allow construction of a single-family home instead. The parcel would still remain intact, with the applicants owning the house as a condominium.

Project Details:

1. Site Plan:

- *The single family house is proposed for location 13' from the front property line; 14.3' east of the access drive to the WUMC parking lot; 11' from the west property line; and ~29' from the sidewalk adjacent to the newly constructed garages behind the former lodge building. The previously approved structure was the same distance from E. New England Ave., however, the entire building was at that location and a stoop extended beyond. The proposed house has a porch set back 13' across a portion of the front, and the remainder of the house would be set back further than 13'. On the east side, the house would be a few feet closer to the access drive, but there would continue to be a 5' sidewalk along the drive. The proposed structure would be shorter to give room for a rear yard. The area of the house would be less than the previously proposed structure.*
- *The applicants would like to use a fence that matches the lodge fencing to enclose the west side and rear yards. The fence would align with the rear of the house on the east side and extend to about 26' from the E. New England Ave. property line on the west side.*
- *A landscape plan is included showing a variety of shrubs, perennials, trees and annuals.*

2. Building:

- *Proposed is a two-story structure with a gabled roof, the main gable being east to west, with separate gables extending to the north and south. The structure would have a basement.*
- *The front elevation has gables over the western 2/3 of the house; toward the center nestled in the larger gable; above the entrance; and above a second floor window on the east side. A porch with a shed roof and railing is proposed on the west side. A bay window is proposed on the east side. Various window shapes and styles are proposed. The first floor windows would all have transoms above double hung windows that are divided on top and single light below. On the second floor, there is a mixture of double hung windows with transoms above and windows that appear to be casement style. Matching columns would support the porch and entry roofs. The front door is proposed with 3 lights above 2 panels.*
- *The east side elevation would have windows similar to the front of the house, and 2 garage doors – one double and one single. The roof gable would be above the front 2/3 of the house.*
- *The rear elevation would have 2 matching gables in a shallower pitch than the front gables. A screened porch is proposed at the southwest corner.*
- *On the west side is a chimney and the fence is proposed to extend to the north side. The first floor windows are proposed with solid panels below divided lights. A small window is proposed in the gable. A window well is proposed for basement egress.*

3. Materials:

- *The house is proposed to be sided with LP SmartSide horizontal lap siding. The width has not been identified. The siding would be painted "Iron Ore". In the gables, board and batten style siding is proposed, which would be painted "Alabaster". Trim is proposed in the same material and "Alabaster" in color.*

- *The asphalt shingles for the roof would be “Shadow Black”.*
- *Windows are proposed to be vinyl simulated divided light in white.*
- *The proposed fiberglass front door would be finished to look like wood. Garage doors would be paneled without windows.*
- *Glen-Gery Marquette brick is proposed for the chimney. Cultured limestone is proposed for the foundation.*
- *Carriage lamps are proposed for the garage and rear doors, and a light is proposed in the ceiling of the front porch.*
- *Gutter, downspout, porch rail and column material has not been addressed.*
- *Front porch and step material appears to be concrete.*

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Infill sites should be developed in a way that is complementary to their neighborhoods and that integrates well with surrounding building designs and land uses. Compatibility with the neighborhood should be the primary consideration. New structures should complement the form, massing and scale of existing nearby structures. Also, building placement and orientation are important design considerations. Most main entrances should face the street and garages should avoid facing the street.

Roof: Roof shapes for new buildings should be appropriate to the style or design of the building. If a new building does not follow a particular style but is instead a vernacular design, then roof shapes and heights similar to those in the neighborhood or nearby would be most appropriate.

Materials: Contemporary materials that simulate traditional ones are appropriate, but the preferred option is to use true traditional materials such as wood siding. Incompatible contemporary materials should be avoided. Brick has long been a traditional material in Worthington. Prepare a sample board for review by the Architectural Review Board.

Windows: For new buildings, multiple-paned windows generally are not appropriate. The exception is a building being built in a particular style -- such as Federal, Greek Revival or Colonial Revival -- that would have employed this window type. When in doubt, simple 1 over 1 double-hung sash windows are usually the simplest, least expensive and most appropriate choice. Using the excellent precedents of Worthington’s many historic structures, carefully design the pattern of window openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of window panes and muntins; and trim around the windows. Good quality wood windows are readily available and more affordable than in the past. True wood windows are always the first preference. Aluminum- or vinyl-clad windows can be appropriate, but primarily on secondary facades and less conspicuous locations. All-aluminum or vinyl windows are not prohibited but are not encouraged. Avoid blank walls.

Entries: As with other design considerations, study Worthington’s rich collection of 19th and 20th century architecture for design ideas for entrances and doors. For newly-built buildings, simpler designs usually look better than more ornate ones. Avoid heavy ornamentation on doors

and entrances. Observe entry placement on existing buildings. Whether located symmetrically or asymmetrically, entries usually are aligned with a window on the second floor so that a regular rhythm of openings is maintained on both floors. Entries should be located so they are easily visible, and they should be oriented toward the street.

Ornamentation: Observe Worthington's excellent historic architecture for information on the kinds and amounts of ornamentation employed on various building styles and periods. Use ornamentation conservatively. It will be most successful if used in traditional locations: around windows and doors; along a building's cornice or at the corners; in gables; or on gates and fences. Most ornamentation historically was made of simple forms built up to a desired level of complexity. When in doubt, follow the old rule that "less is more." Sometimes just a little ornamentation, well placed, can have a major impact without the need for more extensive (and expensive, and hard-to-maintain) ornamentation. Use compatible materials in ornamental elements. Frame houses should have wood ornamentation, although in cases where the ornamental elements are some distance from the viewer it may be possible to use substitute materials such as fiberglass.

Color: In general, avoid bright colors not typical in Worthington neighborhoods, such as various shades of purple or orange. For infill buildings being placed in an existing streetscape, select colors compatible with those already used along the streetscape. Many buildings follow a pattern of light colors for the building body and darker colors for the trim. Following this pattern is encouraged. In Worthington, the use of white or cream-colored trim also is common and would be appropriate for new construction. Avoid using too many colors. Usually one body color and one trim color are sufficient.

Landscaping: Worthington's mature shade trees are the primary landscaping feature throughout the community. They are a major contributor to its character and help define its neighborhoods as stable, desirable places to live. In general, lawns are generous but not overly large, which contributes to the sense of human scale that is one of Worthington's important attributes. Other landscaping elements tend to be properly scaled and well-tended, which also tends to enhance neighborhood character. Maintain and nurture mature trees to prolong their lives. Plant and maintain street trees in planting areas between the street and sidewalk. Paving can sometimes reduce water absorption of the soil so much that trees do not get the moisture they require.

The standards of review in the Architectural District ordinance are:

- 1. Height;*
- 2. Building massing, which shall include the relationship of the building width to its height and depth, and its relationship to the viewer's and pedestrian's visual perspective;*
- 3. Window treatment, which shall include the size, shape and materials of the individual window units and the overall harmonious relationship of window openings;*
- 4. Exterior detail and relationships, which shall include all projecting and receding elements of the exterior, including but not limited to, porches and overhangs and the horizontal or vertical expression which is conveyed by these elements;*
- 5. Roof shape, which shall include type, form and materials;*
- 6. Materials, texture and color, which shall include a consideration of material compatibility among various elements of the structure;*

7. *Compatibility of design and materials, which shall include the appropriateness of the use of exterior design details;*
8. *Landscape design and plant materials, which shall include, in addition to requirements of this Zoning Code, lighting and the use of landscape details to highlight architectural features or screen or soften undesirable views;*
9. *Pedestrian environment, which shall include the provision of features which enhance pedestrian movement and environment and which relate to the pedestrian's visual perspective;*
10. *Signage, which shall include, in addition to requirements of Chapter 1170, the appropriateness of signage to the building;*
11. *Sustainable Features, which shall include environmentally friendly details and conservation practices.*

Worthington Comprehensive Plan

Village centers like Old Worthington are logical places to add residential density in and behind the main corridor. Such residential development adds more pedestrian activity, increases the market base for the retail stores, and can be designed as a product that is attractive to young professionals and empty nesters. In Worthington, redeveloping residential lots within the first High Street block requires expertise to prevent it from tearing into the historic fabric of the City. Such development must be evaluated on a case-by-case basis, but it would be critical to be appropriate for the site in scale and design while at the same time creating a continuous street front.

Final Plan Modifications from Code:

City Staff - The City staff may authorize minor design modifications that are required to correct any undetected errors or that are consistent with the purpose of the approved Final Plan. Such modifications shall be limited to:

1. *Minor adjustments in lot lines provided no additional lots are created;*
2. *Minor adjustments in location of Building footprints and parking lots, provided the perimeter required Yards remain in compliance;*
3. *Minor adjustments in Building height;*
4. *Minor modifications in Structure design and materials, and lighting provided there is the same general appearance; and*
5. *Minor modifications of landscaping, including substitution of materials.*

Municipal Planning Commission - The Municipal Planning Commission shall review modifications other than those listed in the above section, and any of the above modifications as recommended by City staff.

1. *Should the Municipal Planning Commission find that such modification keeps the essential character of the approved PUD, and does not require an amendment to the PUD Ordinance, the Municipal Planning Commission shall approve such modification.*
2. *Should the Municipal Planning Commission find that such modification requires an amendment to the PUD Ordinance, the Municipal Planning Commission shall forward a recommendation of approval or denial to the City Council for such amendment.*

Recommendations:

Staff is recommending ARB & MPC approval of the applications when the details are acceptable and with the following considerations:

- The basic form and style of the house and the site plan would be appropriate and keep the essential character of the approved PUD and Old Worthington.
- More green space is proposed than with the previous approval.
- Although the house would be closer to the drive than the garages behind, there is still sufficient distance between the house and drive to accommodate pedestrians, and vehicular traffic should not be effected.
- On the west side, the fence should stop at the south side of the chimney to allow view of the chimney and be further back from the street.
- While the house would be comprised of many traditional elements, the design on the front elevation appears a bit complicated.
- The use of solid panels in the windows on the west elevation is unusual.
- Clarification and samples of materials are needed.

Motion for ARB application:

THAT THE REQUEST BY JAMIE & LINDSAY CLEVERLEY FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT A SINGLE FAMILY HOUSE AT 31 E. NEW ENGLAND AVE. AS PER CASE NO. AR 57-17, DRAWINGS NO. AR 57-17, DATED JUNE 28, 2017, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

Motion for PUDM application:

THAT THE REQUEST BY JAMIE & LINDSAY CLEVERLEY TO MODIFY PUD 03-14 WITH CONSTRUCTION OF A SINGLE FAMILY HOUSE AT 31 E. NEW ENGLAND AVE. AS PER CASE NO. PUDM 01-17, DRAWINGS NO. PUDM 01-17, DATED JUNE 28, 2017, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS, AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

- a. Preliminary & Final Plats – **303 E. New England Ave.** (Bob Webb Homes/Johnston) **SUB 02-17**

Findings of Fact & Conclusions

Background & Request:

This request involves reconfiguring the three lots which currently accommodate 303 E. New England Ave. into three lots that would each have frontage on Greenwich St. The land was originally Lots 81 & 82 of the Morris Addition, but was reconfigured into three lots at some point in time. The existing parcel at the corner is 132’ wide along E. New England Ave. and 96’ wide along Greenwich. South of that parcel are two 66’ wide parcels that are ~239’ deep, extending into the ravine. The existing house straddles the lots to the south, and would need to be demolished before the City could sign the new plat to re-divide the property. The land is in the R-10 Zoning District.

Since the MPC meeting on June 22, 2017, the applicant has submitted additional required information. A recommendation of approval of both the Preliminary and Final Plats is sought, and the request would go to the City Council for a hearing on September 5th.

Project Details:

1. The northern two lots would be 80’ wide each along Greenwich St. and 132’ deep; and the southern lot would be 181.93’ along Greenwich St. and 132’ deep. All three lots would meet the dimensional requirements in the Code for frontage and area, and would be able to accommodate structures outside of the required setbacks.
2. A no disturbance zone has been identified on the plat in the southern part of Lot 3 to protect the land adjacent to Rush Creek. Nothing within the zone could be disturbed without written approval of the City, including the removal of any trees and vegetation. Stakes have been installed at the edge of that zone to show the location in the field.
3. Trees outside of the zone are shown on the Preliminary Plat, and would likely be removed during construction. New street trees would be required along both rights-of-way.
4. Proposed location of utility connections to the site are shown on the Preliminary Plat and have been reviewed by the Service and Engineering Department.
5. Code Section 1103.10 requires sidewalks be provided as part of the Subdivision process. Construction of sidewalks along the east side of Greenwich St. to meet the existing sidewalk on the cul-de-sac, and along the E. New England Ave. side of the property would be required.
6. A Subdivider’s Agreement has been drafted and would be finalized before the City Council hearing.

Land Use Plans:

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan recommends residential development for the area.

Recommendations:

Staff is recommending *approval* of these applications be recommended to City Council. The proposed subdivision would meet the Code requirements for division of property.

Motion:

THAT THE REQUEST BY BOB WEBB HOMES FOR APPROVAL OF PRELIMINARY PLAT AND FINAL PLATS TO DIVIDE THE PROPERTY AT 303 E. NEW ENGLAND AVE. AS PER CASE NO. SUB 02-17, DRAWINGS NO. SUB 02-17, DATED JUNE 16, 2017, BE RECOMMENDED TO CITY COUNCIL FOR APPROVAL BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS, AND ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

D. Architectural Review Board - New

1. Landscaping – **7227 N. High St.** (The Shops at Worthington Place) **AR 59-17** (Amendment to AR 84-91)

Findings of Fact & Conclusions

Background & Request:

The current parking lot design for the eastern half of the main parking lot was approved in 1991, as was the associated landscaping. In the large island at the east end of the main lot, where the large pylon sign is located, the plants were recently removed and grass was planted their place. The previous approval had a mixture of trees, shrubs, annuals and grass. At the City's request the owner is now proposing an amended planting plan for that area.

Project Details:

1. The new plan for the island includes evergreen shrubs (Taxus 18-24") along the length of the island. A 2" caliper Sycamore tree is proposed near the south end and an existing Sycamore remains near the north end. Near the sign, Bunny Grass and Knockout Roses are proposed.
2. There is a transformer south of the sign that would remain unscreened from the N. High St. view.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

While the architecture is of prime importance in a commercial district such as Worthington's, landscaping of building sites is also important. Landscaping works with other site elements such as paving and street furniture to create the district's sense of high quality. Screen parking with landscaping such as low bushes. Fences may be helpful for screening transformers, gas meters, and communication equipment, but also consider using plantings for this purpose. Keep functional items such as trash containers, transformers and electrical boxes orderly and well screened. The Board should review the exterior detail and relationship of changes to existing sites.

Recommendations:

Staff is recommending *approval* of this application with the addition of some type of screening for the transformer if possible. The proposed hedge should provide adequate screening for the parking as it grows without blocking the buildings and signage.

Motion:

THAT THE REQUEST BY WORTHINGTON SQUARE VENTURE, LLC TO AMEND CERTIFICATE OF APPROPRIATENESS #AR 84-91 WITH CHANGES TO THE LANDSCAPING PLAN FOR 7227 N. HIGH ST., AS PER CASE NO. AR 59-17, DRAWINGS NO. AR 59-17, DATED JULY 5, 2017, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

2. Balcony – **50 W. Stafford Ave.** (Sean & Alyssa Harris) **AR 60-17** (Amendment to AR 05-17)

Findings of Fact & Conclusions

Background & Request:

This two-story house on the north side of W. Stafford Ave. was built in 1964 and is not a contributing property in the Worthington Historic District. It was constructed with brick on the first floor and wood siding painted white on the second, but is currently stuccoed and painted all the same shade of gray. A rear second story addition and front window change were approved for this house at the January 12, 2017 ARB meeting.

This amendment would allow a revision to the rear balcony.

Project Details:

1. The second floor balcony was previously to be supported with columns. Now the balcony would be supported with brackets.
2. Trex decking is proposed in the color “Fire Pit”, and the railing would have rails to match the decking supported by white posts and the balusters would be black.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Be sure that window designs are appropriate for the style or time period of the house. Design and materials should be traditional, and compatible with the existing structure.

Recommendation:

Staff is recommending *approval* of this application, as the proposed rear balcony is designed appropriately for the house.

Motion:

THAT THE REQUEST BY SEAN & ALYSSA HARRIS TO AMEND CERTIFICATE OF APPROPRIATENESS #AR 05-17 WITH MODIFICATIONS TO THE PROPOSED REAR BALCONY AT 50 W. STAFFORD AVE. AS PER CASE NO. AR 60-17, DRAWINGS NO. AR 60-17, DATED JULY 13, 2017, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

3. Sign – 510 High St. (Signarama) AR 61-17

Findings of Fact & Conclusions

Background & Request:

In 1999 this building underwent a renovation that included an addition to the building, and installation of a freestanding sign. The sign box was enlarged in 2008 to be 30 square feet in area per side to advertise a second tenant in the building; the color and sign faces were changed in 2011.

This is a request to install different sign faces.

Project Details:

1. With this application the sign box would remain white and the background of the sign faces would continue to be white. The existing brick base would remain, as would the address on the side of the sign box facing the street. External illumination is in place and would continue to be used instead of the internal light sources.
2. The top part of the sign faces would identify “Jerman Family Dentistry” with “Jerman” being part of a logo that includes a tooth. The graphics and text would be in black vinyl. The bottom part of the sign would say “IntrinsicCare CHIROPRACTIC” in black, gray, fuchsia and orange.
3. More colors, sizes and styles than the Code allows are proposed for the sign faces, so variances would be needed.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the “monument” type; they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building.

Worthington Sign Code

1170.03 DESIGN REQUIREMENTS.

(c) Styles. Signs shall be comprised of not more than two styles of lettering plus one logo. A logo is an emblem, character, pictograph, trademark or symbol used alone to represent a business, organization, entity or product. There shall be not more than three sizes of all such lettering, including a logo.

(d) Colors. Not more than four colors, including black and white, shall be used on any sign.

Recommendation:

Staff is recommending the sign faces be simplified as much as possible to more closely meet the Code requirements.

Motion:

THAT THE REQUEST BY SIGNARAMA ON BEHALF OF UA GROUP LTD. FOR A CERTIFICATE OF APPROPRIATENESS TO INSTALL NEW SIGN FACES IN THE FREESTANDING SIGN AT 510 HIGH ST., AS PER CASE NO. AR 61-17, DRAWINGS NO. AR 61-17, DATED JULY 14, 2017, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

4. Windows, Door & Retaining Wall – **614 Oxford St.** (Kristen & AJ Senff) **AR 62-17**
(Amendment to AR 13-17)

Findings of Fact & Conclusions

Background & Request:

This farmhouse was constructed in the late 1800's, and there have been modifications and additions over the years. The house is a contributing building in the Worthington Historic District. Last year, the owners received approval to remove the porch railings, and the house was painted white. Earlier this year a rear addition was approved.

This request would allow changes to windows, the addition of a retaining wall, and replacement of the front door.

Project Details:

1. On the rear of the addition smaller windows are now proposed for the outermost windows. An additional window is proposed adjacent to the other two double hung windows on the south side.
2. A 30" retaining wall, much of which would be at grade, is now proposed around the outside walls of the addition. On the north side an egress well is proposed and the rest of the area between the wall and house would be planted.
3. The existing paneled front door has small lights at the top, and there is a storm/screen door. Proposed is a wood door with six larger lights and a panel below.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Be sure that window designs are appropriate for the style or time period of the house. It is important that any doors and the entrances in which they are set should be compatible with the style and period of a building. Design and materials should be traditional, and compatible with the existing structure.

Recommendations:

Staff is recommending *approval* of this application, as the windows and door are compatible with the existing house. The wall should not harm the character of the house or property.

Motion:

THAT THE REQUEST BY KRISTEN & AJ SENFF TO AMEND CERTIFICATE OF APPROPRIATENESS #AR 13-17 BY MODIFYING WINDOWS, ADDING A RETAINING WALL, AND REPLACING THE FRONT DOOR AT 614 OXFORD ST. AS PER CASE NO. AR 62-17, DRAWINGS NO. AR 62-17, DATED JULY 14, 2017, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.

5. Windows, Garage Door, Siding & Trim – **822 Oxford St.** (James Ross/Campbell) **AR 63-17**

Findings of Fact & Conclusions

Background & Request:

This Colonial Revival house was constructed in 1925 and is a contributing building in the Worthington Historic District. The property is at the southeast corner of Oxford St. and W. Stafford Ave., with the front of the house facing Oxford St. A one-story addition was constructed in 2004 on the north side along W. Stafford Ave.

This request involves modifications to the home to accommodate interior renovations and includes material changes on the rest of the house.

Project Details:

1. In order to install cabinets as part of a new kitchen along the north wall, four windows would be removed on the north side of the 2004 first floor addition. One new smaller Andersen clad wood window to match the remaining windows would be installed. Relocation of the four removed windows would be to the proposed master bath which is currently a sunroom on the south side of the house.
2. Enclosure of the existing covered porch on the south side of the 2004 addition would allow expansion of the family room. Columns would be removed and walls would be constructed at the outside edge of the patio. Hardiplank is proposed for the siding to match the existing, and the current Andersen windows and sliding door in the colonnade area would be reused.
3. Replacement of the rear door with a fiberglass door to match the existing is proposed. Two smaller Plygem all vinyl windows are proposed to the sides of that door. Removal of three windows on the rear toward the south end is proposed to allow construction of a walk-in closet. Also, the rear door on the south side of the sunroom and the windows are proposed for removal, and installation of the windows removed on the north side is proposed.
4. The applicant indicates all of the remaining wood windows in the house would be replaced with Plygem all vinyl windows with muntins between the panes.
5. Also, it seems replacement of all of the siding and trim with Hardiplank is proposed. It is not clear if new gutters and downspouts would be part of the project and how they would look.

6. The garage currently has two single doors with 24 panels each including two windows in each door. One steel double door with twelve lights at the top and 36 panels below is proposed.

Land Use Plans:

Worthington Design Guidelines and Architectural District Ordinance

Windows:

Retention and repair of existing historic windows is always preferable to replacement. Because they usually comprise so much of a building's exterior surface, windows are a major part of its character. Keeping them is one of the most important ways to protect that character. Even non-original windows may be of sufficient age and design quality to warrant their retention. If historic windows are too deteriorated to repair cost effectively and replacement is justified, the preferred option is an in-kind replacement in the same material and design. This usually means real wood windows with true through-the glass muntins (if appropriate) in dimensions and profiles that duplicate the originals. Window suppliers have become very good at doing such work at reasonable prices, but this still may take some persistence and hunting around. New windows made of substitute materials such as aluminum, vinyl, or clad wood can be an acceptable second choice if they provide a reasonably good match for the windows being replaced. Number of panes, real muntins, and correct profiles still are important.

Siding:

Wood siding is preferred, and should be used in one of its traditional forms: shingle, board-and-batten, shiplap or beveled siding. New siding should match the thickness and width of the old as closely as possible.

Outbuildings:

For repair work on older outbuildings, use new materials that match the old as closely as possible. Avoid modern materials that are incompatible with the original designs of these structures.

Design and materials should be traditional, and compatible with the existing structure.

Recommendations:

Staff is recommending *partial approval* of this application.

- Enclosure of the colonnade with the proposed materials to match the existing seems appropriate and would not be easily seen. The removal of windows on the north side of the 2004 addition would be noticeable. The door and window changes on the rear should be acceptable as they would not be seen.
- The replacement of the other windows in house with all vinyl windows that have internal muntins would change the character of the property. The goal in the guidelines is in-kind replacement in the same material and design. The change should not be approved.
- Using Hardiplank siding in place of wood has been acceptable if the proposed siding matches the profile of the existing, but maintaining existing wood is preferred.
- The garage doors should only be replaced with a single door if the door looks like it is separate doors and is in a style that matches the existing. The proposed would change the look of the garage and should not be approved.

Motion:

THAT THE REQUEST BY THE JAMES ROSS ON BEHALF OF JIM AND DEBBIE CAMPBELL FOR A CERTIFICATE OF APPROPRIATENESS TO RENOVATE AND ADD ON TO THE HOUSE AT 687 EVENING ST. AS PER CASE NO. AR 63-17, DRAWINGS NO. AR 63-17, DATED JULY 14, 2017, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.



City of Worthington
ARCHITECTURAL REVIEW BOARD
Certificate of Appropriateness
Application

Case #	<u>AK 57-117</u>
Date Received	<u>6/28/17</u>
Fee	<u>\$7,000</u>
Meeting Date	<u>7/13/17</u>
Filing Deadline	_____
Receipt #	_____

1. **Property Location** 31 East New England
2. **Present/Proposed Use** Vacant/Single Family House
3. **Zoning District** PUD 03-14
4. **Applicant** Jamie and Lindsay Cleverley
Address 7768 Rowles Drive, Columbus OH 43235
Phone Number(s) 614-430-8723
5. **Property Owner** Worthington Lodge LLC
Address 45 North 4th Street, Suite 200, Columbus OH 43215
Phone Number(s) 305-978-7264
6. **Project Description** Modification to previously approved two condominium development.
Reduction in density to single-family house.
7. **Project Details:**
 - a) **Design** Two story house
 - b) **Color** Iron Ore with Alabaster trim
 - c) **Size** 4,109 square feet (900 additional lower level)
 - d) **Approximate Cost** \$600,000 **Expected Completion Date** 10 Months

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

tabled 7/13/17

Jamie Cleverley
 Applicant (Signature)

6/29/2017
 Date

[Signature]
 Property Owner (Signature)

06/29/2017
 Date

VP, New England Development Company LLC,
 On Behalf of Worthington Lodge LLC

Abutting Property Owners List for
31 E. New England Ave.

Dewey's Pizza	640 High St.	Worthington, OH 43085
Michael & Taryn Shadwick	38 E. New England Ave.	Worthington, OH 43085
Robert Bloomer	12318 Ivy Ridge Pl	Galena, OH 43021
Resident	48 E. New England Ave.	Worthington, OH 43085
James Smith III	49 E. New England Ave.	Worthington, OH 43085
James & Lindsay Roop	617 Hartford St.	Worthington, OH 43085
Worthington United Methodist Church	600 High St.	Worthington, OH 43085
615 High St Ltd.	615 High St.	Worthington, OH 43085
Peacock Lane Home	615 High St.	Worthington, OH 43085
Ripley Partners	623 High St.	Worthington, OH 43085
SGS General Inc.	1550 W. Lane Ave.	Columbus, OH 43221
La Chatelaine French Bakery & Bistro	627 High St.	Worthington, OH 43085



City of Worthington

PLANNED UNIT DEVELOPMENT MODIFICATION APPLICATION

Case #	PUD M01-17
Date Received	6/28/17
Fee	\$100 pd
Meeting Date	
Filing Deadline	

Amend PUD03-14

- Property Location 31 East New England
- Present Zoning PUD 03-14 Present Use Vacant
- Proposed Use Single family house
- Applicant Jamie and Lindsay Cleverley
Address 7768 Rowles Drive, Columbus OH 43235
Home Phone 614-430-8723 Work Phone 614-543-7777
- Property Owner Worthington Lodge LLC
Address 45 North 4th Street, Suite 200, Columbus OH 43215
Home Phone 305-978-7264 Work Phone _____
- Project Description Modification to previously approved two condominium development.
Reduction in density to single-family house.

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Tabled 7/13/17

Jamie Cleverley

6/29/2017

Applicant (Signature)

Date

[Signature]

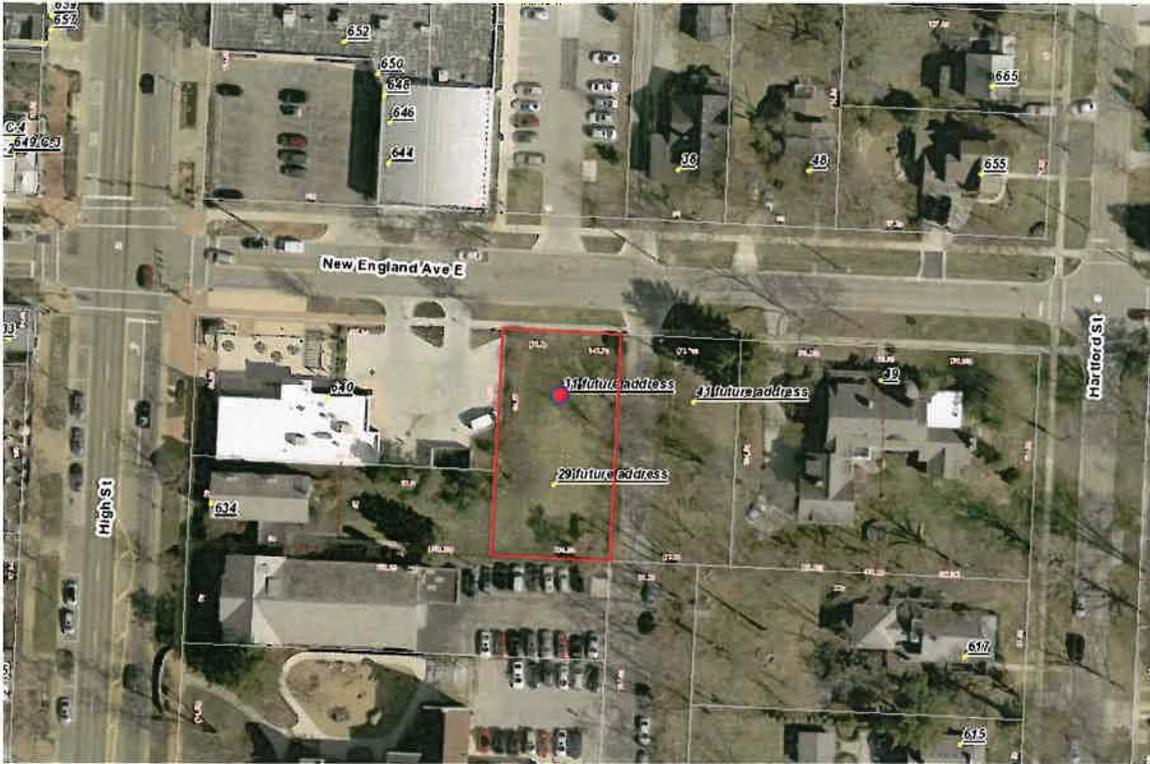
06/29/2017

Property Owner (Signature)

Date

VP, New England Development Company LLC,
On Behalf of Worthington Lodge LLC

31 E. New England Ave.





ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS IN THE NOTES, DIMENSIONS AND/OR DRAWINGS CONTAINED ON THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES THE ACCEPTANCE OF THESE DOCUMENTS AND DISCREPANCIES, ERRORS AND/OR OMISSIONS BECOME THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

SH.CLEVERLY
(16058)

CLEVERLY RESIDENCE
31 EAST NEW ENGLAND AVE.
WORTHINGTON, OH.
43085

FIRST FLOOR PLAN

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LAYOUT	ME	6.21.17
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SHEET: **A.2.0**

ALL STRUCTURE SHOWN ON THESE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED AS "MINIMUM REQUIREMENTS". THE BUILDER OR CONTRACTOR MAY CHOOSE TO UPSIZE OR ADD MEMBERS FOR EASE OF CONSTRUCTION.

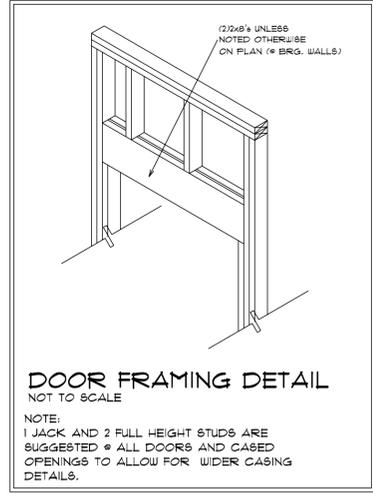
NOTE: REFER TO SHEET C6.1.0 FOR GENERAL FRAMING NOTES.

NOTE: REFER TO SHEET A.1.0 FOR FLOOR JOIST BLOCKING DETAIL.

STRUCTURAL LEGEND

- ↔ DIRECTION & SPAN OF STRUCTURAL MEMBERS (SPECIFIC AREA INDICATED)
- ↔ DIRECTION & SPAN OF STRUCTURAL MEMBERS
- POST w/ PIER
- PIPE COLUMN w/PAD
- BEAM POCKET (4" BEARING)
- BEAM POCKET w/PILASTER (8" BEARING)
- POINT LOAD FROM ABV.
- (2x4s (MIN. BEARING))

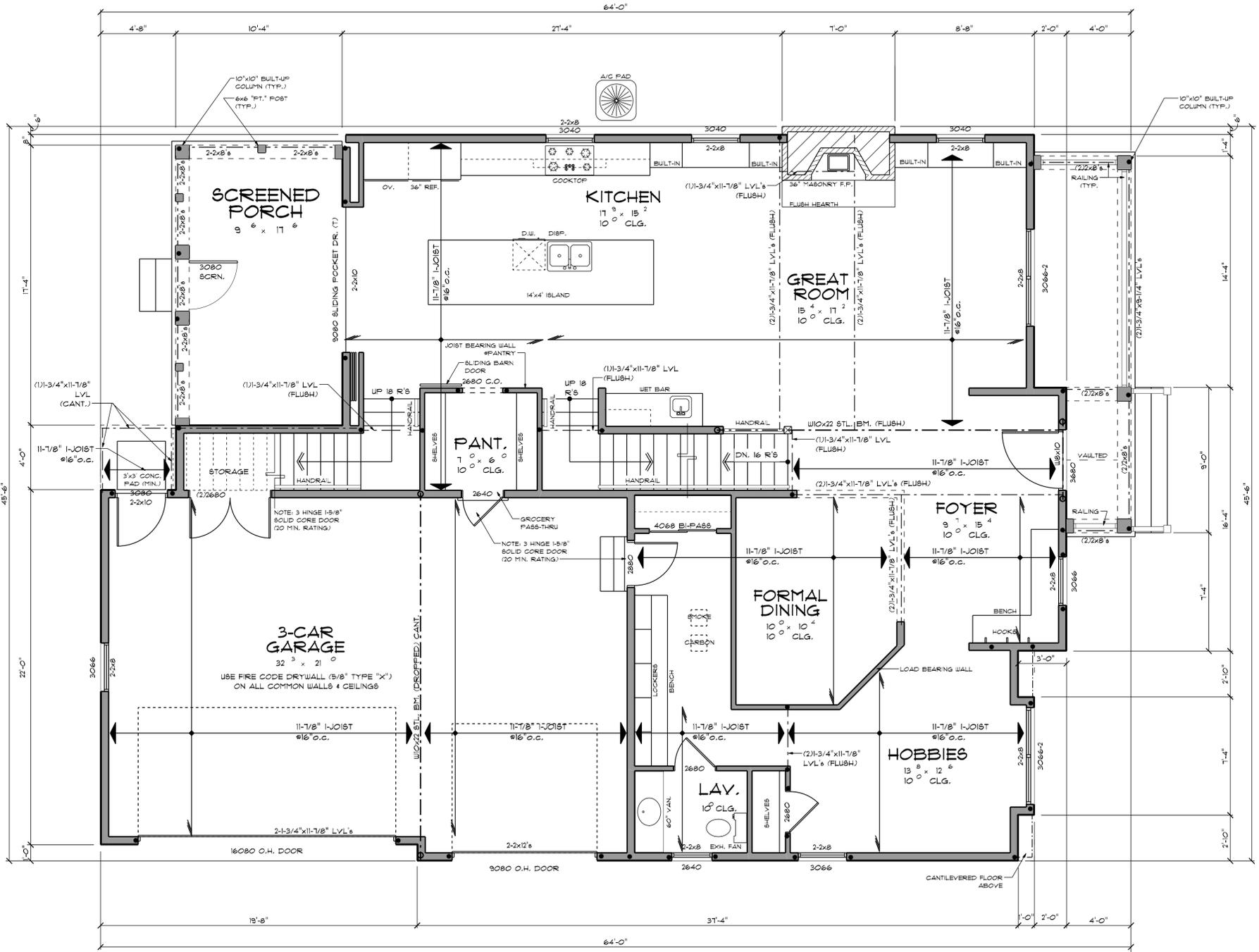
NOTE:
- BUILDER TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION.
- ALL BATH & KITCHEN SOFFITS TO BE FIELD DESIGNED BY THE OWNER & BUILDER.
- ALL TRUSSES TO BE DESIGNED & ENGINEERED BY TRUSS MFG'R.



- FLOOR PLAN NOTES:**
- REFER TO GENERAL NOTES AND GENERAL CODE REQUIREMENTS ON SHEET C6.1.0
 - ALL WALLS ARE DIMENSIONED STUD-TO-STUD.
 - ALL INTERIOR WALLS ARE 3-1/2", EXTERIOR WALLS ARE 4" UNLESS OTHERWISE NOTED.
 - ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED. THIS MEANS THAT BOTH SIDES OF THE SQUARE OF THE ANGLE ARE EQUAL EVEN IF ONLY ONE SIDE IS DIMENSIONED.
 - ALL OPENINGS IN EXTERIOR AND LOAD BEARING WALLS SHALL HAVE A MINIMUM LINTEL OF (2x8s) WITH 1/2" FLYWOOD SPACERS. APPLY GLUE TO THE FULL MATING SURFACE OF BOTH 2x8s AND NAIL TOGETHER PER THE FASTENING SCHEDULE ON SHEET 1. ALL OTHER LINTELS SHALL BE BUILT IN THE SAME MANNER.
 - ALL POSTS SHALL BE A MINIMUM OF (2x4s) WITH GLUE APPLIED ON THE FULL MATING SURFACE AND NAILED PER THE FASTENING SCHEDULE ON SHEET C6.1.0
 - FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT AND SHALL BE DOUBLED UNDER ALL PARALLEL WALLS.
 - REFER TO THE WINDOW NOTES ON THIS SHEET.
 - SMOKE & CARBON MONOXIDE DETECTORS SHALL BE HARDCWIRED & INTERCONNECTED w/ BATTERY BACK-UP.
 - CONTRACTOR SHALL SHIM ALL EXT. DOOR THRESHOLDS 3/4" VERIFY WITH BUILDER PRIOR TO COMMENCEMENT.
 - THE GARAGE SHALL BE SEPARATED FROM IT'S ATTIC AREA BY 5/8" TYPE-X DRYWALL APPLIED TO THE CEILING OF THE GARAGE. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE-X DRYWALL.

- STAIR REQUIREMENTS:**
- MINIMUM TREAD DEPTH: 10"
 - NOBING PROJECTION: 3/4" - 1 1/4"
 - MAXIMUM RISER HEIGHT: 1 3/4"
 - MAXIMUM VARIANCE IN RISER HEIGHT: 3/8"
 - MINIMUM HEADROOM HEIGHT AT STAIR ANGLE: 6'-8"
 - MINIMUM LANDING DEPTH: 36"
 - MINIMUM MAXIMUM HANDRAIL HEIGHT: 34" - 38"
 - MINIMUM GUARDRAIL HEIGHT: AT STAIRS 34"
 - AT BALCONIES, DECKS, & ALL RAISED FLOOR SURFACES 36"
 - MAXIMUM BALUSTER SPACING (CLEAR OPENING): 4"
 - MINIMUM STAIR WIDTH EXCLUDING WALL HANDRAILS: 3'-0"
 - HAND GRIP MAY NOT EXCEED 2" IN CROSS SEC. DIMENSION.
 - HANDRAILS SHALL EXTEND TO THE END OF THE LAST RISER AND RETURN TO WALL OR NEELI POST PER R315.1
- (SEE R315.8 FOR CODES ON LINDER STAIRS)
(SEE SECTION 311.5.8 FOR CODES ON CIRCULAR STAIRS)

- WINDOW NOTES:**
- ALL WINDOW SIZES SHOWN ARE FOR:
PELLA FROLINE CASEMENT
 - WINDOW EGRESS REQUIREMENTS:
MAXIMUM BILL HEIGHT ABOVE FLOOR: 44"
MINIMUM NET CLEAR OPENING HEIGHT: 24"
MINIMUM NET CLEAR OPENING WIDTH: 20"
MINIMUM NET CLEAR OPENING S.F.: 5.7 S.F.
GRADE FLOOR WINDOWS ARE ALLOWED A NET CLEAR OPENING OF 5.0 S.F.
 - IT IS THE BUILDERS' RESPONSIBILITY TO ENSURE THAT WINDOWS FOR ALL SLEEPING AREAS MEET THE ABOVE MINIMUM REQUIREMENTS.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: REFER TO SHEETS CS.1.0 & A.2.0 FOR GENERAL FRAMING NOTES. SEE SHEET A.2.0 FOR WINDOW REQUIREMENTS AND STAIR CALCULATIONS AND REQUIREMENTS

DATE	BY	REVISION

ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS IN THE NOTES, SPECIFICATIONS AND/OR DRAWINGS CONTAINED ON THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES THE ACCEPTANCE OF THESE DOCUMENTS AND DISCREPANCIES, ERRORS AND/OR OMISSIONS BECOME THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

SH.CLEVERLY
(16058)

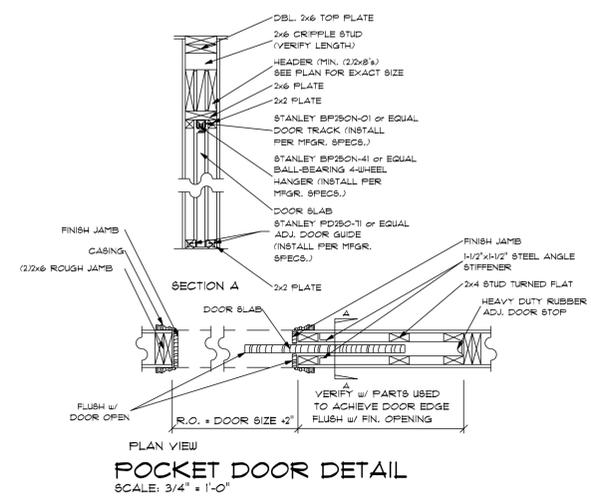
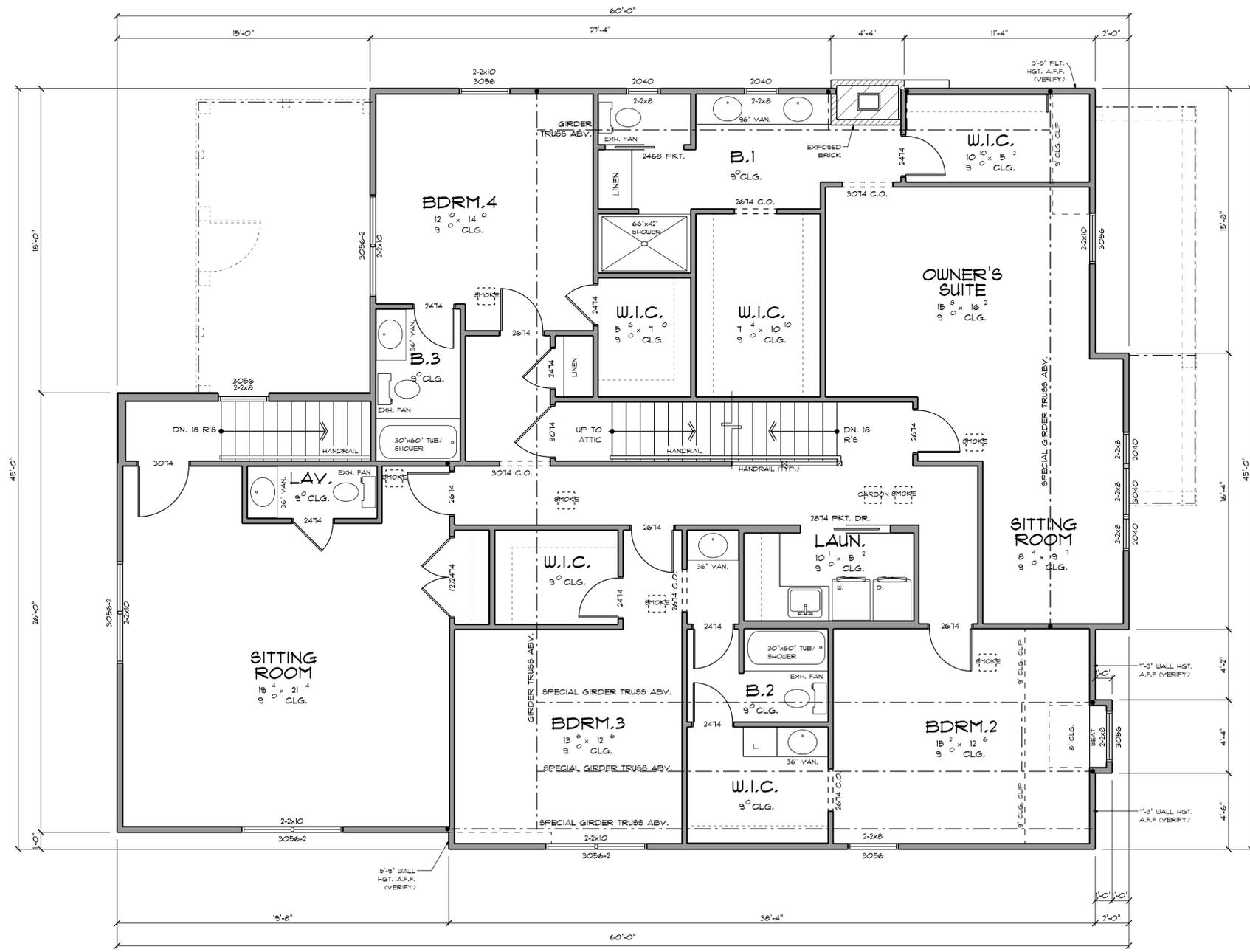
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WORTHINGTON, OH.
43085

SECOND FLOOR PLAN

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DETAILS	DL	1.20.17
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INCH		

SHEET: **A.3.0**



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE	BY	REVISION

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ROOF PLAN

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DESIGNER	JW	5.9.11
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DESIGNED	DL	1.20.11
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INCH		

SHEET: **A.4.0**

- ROOF NOTES:**
- PLEASE REFER TO THE GENERAL NOTES ON SHEET CS-1.0
 - PLEASE REFER TO THE FASTENING SCHEDULE ON SHEET CS-1.0
 - ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE PARALLEL TO THE RAFTERS. WHERE NOT PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE LOCATED AS NEAR THE PLATE AS PRACTICAL. RAFTER TIES SHALL BE SPACED NOT MORE THAN 4' ON CENTER. RAFTERS SHALL BE FRAMED TO RIDGE BOARD, OR TO EACH OTHER, WITH GUSSET PLATES AS A TIE.
 - RIDGE BOARD SHALL BE AT LEAST 1" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF THE RAFTER EXCEEDS 18" THE RIDGE BOARD SHALL BE CONSTRUCTED OF A SOLID 2X12 WITH AN ADDITIONAL 2X (AS REQUIRED) FURRED TO THE BOTTOM EDGE OF THE 2X12.
 - VALLEY AND HIP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT ENDS OF THE RAFTERS.
 - HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION WALL, OR BE DESIGNED TO CARRY/DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.
 - ENDS OF CEILING JOISTS SHALL BE LAPPED OR BUTTED OVER BEARING PARTITIONS OR BEAM, AND TONNALED TO THE BEARING MEMBER. WHEN CEILING JOISTS ARE USED TO PROVIDE RESISTANCE TO RAFTER THRUST, LAP JOISTS SHALL BE GLUED AND NAILED TOGETHER AND BUTTED JOISTS SHALL BE TIED TOGETHER IN A MANNER TO RESIST SUCH THRUST.
 - ALL LINTELS IN EXTERIOR AND LOAD BEARING INTERIOR WALLS SHALL BE A MINIMUM OF (2)2X8'S GLUED AND NAILED, UNLESS OTHERWISE NOTED.
 - ALL POSTS SHALL BE A MINIMUM OF (2)2X4'S GLUED AND NAILED UNLESS OTHERWISE NOTED.
 - ALL RAFTER AND CEILING JOISTS SIZED FOR MINIMUM ALLOWABLE MEMBER, BUILDER MAY UPsize MEMBERS FOR FRAMING EASE.
 - AN ICE BARRIER THAT CONSISTS OF AT LEAST 2 LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR A SELF-ADHERING POLYMER BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. UNDERLAYMENT SHALL COMPLY WITH ASTM D 226 TYPE 1.

-- S.F. ATTIC SPACE

ATTIC VENTILATION
WHEN DETERMINED NECESSARY BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS, ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300 PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. THE NET FREE CROSS-VENTILATION AREA MAY BE NOT LESS THAN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.

806 S.F. / 300 = 2.68 / 2 = 1.34 SQ. FT. OF FREE FLOW REQUIRED IN UPPER 1/3 OF ROOF AND 1.34 OF FREE FLOW REQUIRED AT EAVES.

PROVIDE RIDGE VENTS OR
ROOF VENTS: 16"x16" = 61 S.I. (NEED 4)
SOFFIT VENTS: 16"x8" = 64 S.I. (NEED 4)

STRUCTURAL LEGEND

- DIRECTION & SPAN OF STRUCTURAL MEMBERS
- SPECIFIC AREA INDICATED
- DIRECTION & SPAN OF STRUCTURAL MEMBERS
- POST w/ PIER
- PIPE COLUMN w/PAD
- BEAM POCKET (4" BEARING)
- BEAM POCKET w/FILASTER (8" BEARING)
- POINT LOAD FROM ABV.
- (2)2X4 (MIN. BEARING)

NOTE:
TRUSS CLIP TO BE USED TO CONNECT TOP WALL PLATES TO TRUSS TO ACCOMMODATE TRUSS LIFT.
SIMPSON MODEL 6TC ON ALL INTERIOR WALL CONNECTIONS USE SIMPSON TC24 OR TC28 ON EXTERIOR WALLS WITH 8018/80R TRUSSES-DO NOT NAIL TRUSSES TO TOP PLATE OF WALLS.

NOTE:
BUILDER TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION.
ALL BATH & KITCHEN SOFFITS TO BE FIELD DESIGNED BY THE OWNER & BUILDER.
ALL TRUSSES TO BE DESIGNED & ENGINEERED BY TRUSS MFG'R.

SCAB RAFTER CHART

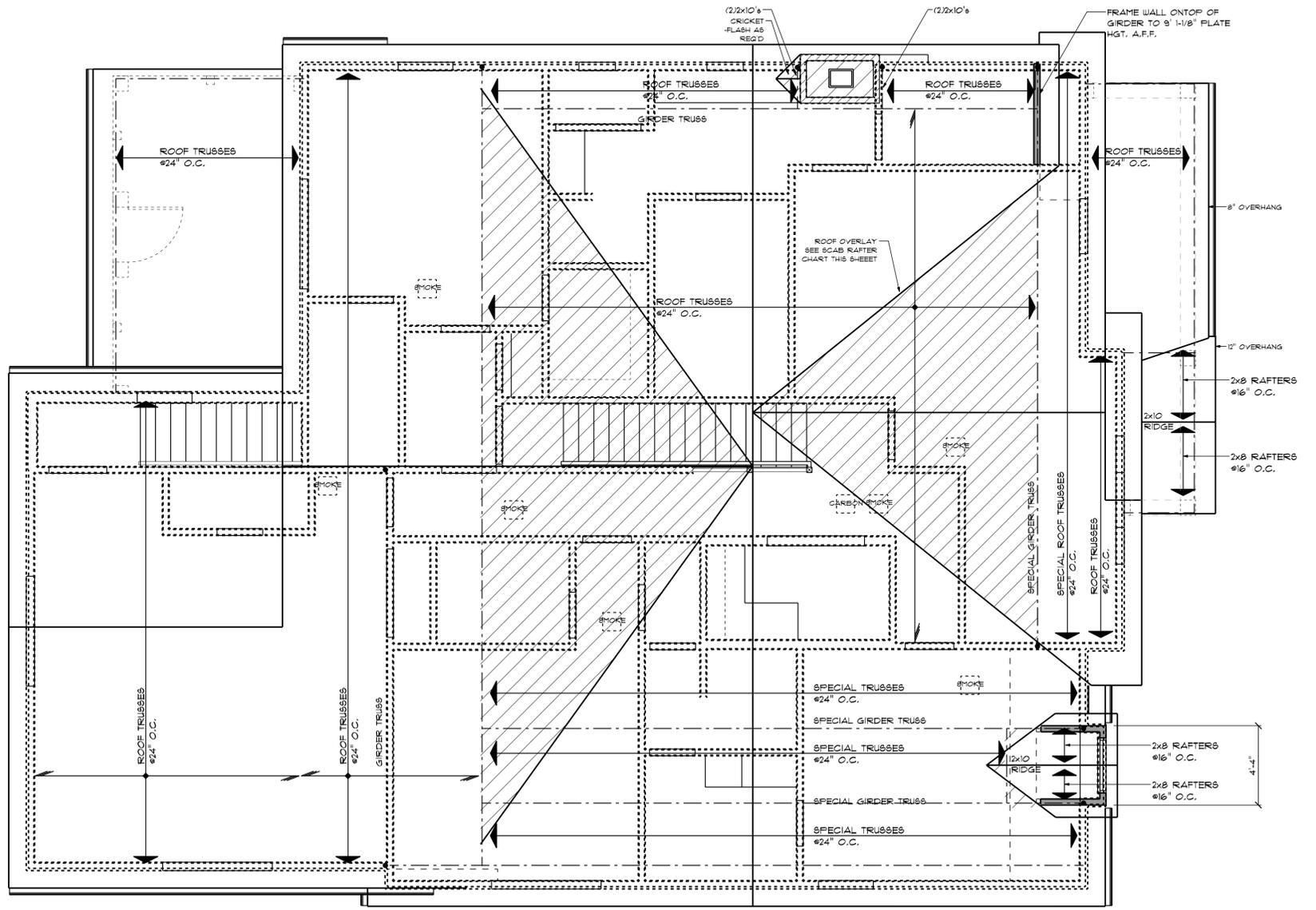
2x4 SCAB	6'-0"	24" o.c.
2x6 SCAB	9'-0"	24" o.c.
2x8 SCAB	12'-0"	24" o.c.
2x10 SCAB	15'-0"	24" o.c.
2x12 SCAB	18'-0"	24" o.c.

NOTE TO FRAMING CONTRACTOR AND BUILDER
BECAUSE IT IS IMPOSSIBLE TO KNOW HOW EACH CONTRACTOR WOULD PREFER TO FRAME THE ROOF OF EACH HOUSE, WE HAVE STANDARDIZED ON PROVIDING THE MINIMUM SIZE STRUCTURAL MEMBER THAT WILL MEET THE NEEDS OF EACH SITUATION AS REVIEWED BY THE STRUCTURAL ENGINEER. WE CONSULT WITH THIS MEANS THAT YOU WILL HAVE A LARGER HIP MEMBER THAN THE ADJACENT RAFTERS AND SOME ADJUSTMENTS IN PLATE HEIGHT AND/OR SEAT CUTS SHOULD BE ANTICIPATED. UPsizing MEMBERS FOR ALIGNMENT OR EASE OF CONSTRUCTION IS YOUR CHOICE.
ON ROOFS THAT HAVE UNEVEN PITCHES WHERE THE EAVE IS AT A UNIFORM HEIGHT, THE PLATE HEIGHT LABELED IS NORMAL. YOU WILL NEED TO ADJUST SLIGHTLY FOR THE FITCH THROUGH EITHER YOUR SEAT CUT OR PLATE HEIGHT.
FALSE CHIMNEYS, DORMERS, CUPOLA'S, AND OTHER SIMILAR FEATURES SHOULD NOT BE FRAMED AS A BOX ON THE ROOF. THE BOX SHOULD BE FRAMED DOWN INTO THE ROOF TO CEILING JOIST LEVEL AND STRUCTURALLY TIED INTO THE ADJACENT RAFTERS AND CEILING JOISTS OR TRUSSES. THE EXTERIOR SHEATHING SHOULD EXTEND DOWN TO THIS LEVEL OTHER THAN WHERE A METAL FLUE NEEDS TO GO THROUGH FROM THE FIREBOX.

TRUSS MANUFACTURER SHALL VERIFY ALL HEEL CUTS w/ ACTUAL FIELD CONDITIONS - ADJUST HEEL AS REQUIRED TO ALLOW FOR ELEVATION DETAILS SHOWN - INCREASE OVERHANGS AT STUCCO STONE VENEER WALLS BY 2-1/2" - ADJUST HEEL ACCORDINGLY - ALL FABRICA / FRIEZE BOARDS SHALL ALIGN PER ELEVATIONS - CONTACT DESIGNER IMMEDIATELY WITH ANY QUESTIONS AND/OR DESIGN ISSUES.

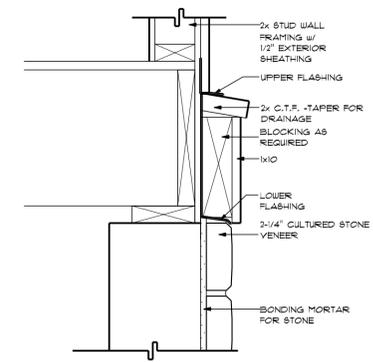
NOTE: REFER TO SHEETS CS-1.0 & A.2.0 FOR GENERAL FRAMING NOTES, SEE SHEET A.2.0 FOR WINDOW REQUIREMENTS, AND STAIR CALCULATIONS AND REQUIREMENTS

NOTE: REFER TO SHEET CS-1.0 FOR GENERAL FRAMING NOTES.



ROOF PLAN
SCALE: 1/4" = 1'-0"

TRUSS MANUFACTURER SHALL VERIFY ALL HEEL CUTS w/ ACTUAL FIELD CONDITIONS - ADJUST HEEL AS REQUIRED TO ALLOW FOR ELEVATION DETAILS SHOWN - INCREASE OVERHANGS AT STUCCO STONE VENEER WALLS BY 2" - ADJUST HEEL ACCORDINGLY - ALL FASCIA / FRIEZE BOARDS SHALL ALIGN PER ELEVATIONS - CONTACT DESIGNER IMMEDIATELY WITH ANY QUESTIONS AND/OR DESIGN ISSUES



WOOD CAP DETAIL
SCALE: 1-1/2" = 1'-0"

- GENERAL NOTES:**
1. ALL TRIM BOARDS TO BE BACKED w/ 1/4" OSB FOR STUCCO WALLS.
 2. CORNER BOARDS TO BE OMITTED w/ STUCCO.
 3. METHOD & QUANTITY OF ROOF VENTING TO BE DETERMINED BY BUILDER, ADHERE TO LOCAL CODE REQUIREMENTS.

NOTE:
GRADE SHALL FALL 6" (MIN.) WITHIN FIRST 10' FROM BUILDING PERIMETER.

HAZARDOUS LOCATIONS
THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:

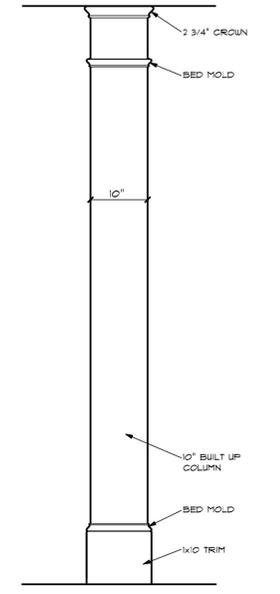
1. GLAZING IN SLIDING DOORS EXCEPT JALOUSIES.
2. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD CLOSET DOOR ASSEMBLIES.
3. GLAZING IN STORM DOORS.
4. GLAZING IN ITEM 6, IN WALLS PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET STORAGE AREA, OR BATHROOM. GLAZING IN THESE APPLICATIONS SHALL COMPLY WITH ITEM 1.
5. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS AND SHOWERS. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE DRAIN INLET AND 36 INCHES (914 MM) HORIZONTALLY FROM THE INSIDE EDGE OF THE TUB OR COMPARTMENT.
6. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH (610 MM) ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE.
 - 1.1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET (0.836 M²).
 - 1.2. BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
 - 1.3. TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
 - 1.4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE GLAZING.
7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 AND 6 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - 7.1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET (0.836 M²).
 - 7.2. BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
 - 7.3. TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
 - 7.4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE GLAZING.
8. ALL GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE INCLUDING ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL INFILL PANELS.
9. GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE A WALKING SURFACE AND WITHIN 60 INCHES (1524 MM) HORIZONTALLY OF THE WATER'S EDGE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.
10. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES (914 MM) HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES (1524 MM) ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
11. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES (1524 MM) HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES (1524 MM) ABOVE THE NOSE OF THE TREAD.

EXCEPTIONS: THE FOLLOWING PRODUCTS, MATERIALS AND USES ARE EXEMPT FROM THE ABOVE HAZARDOUS LOCATIONS:

1. OPENINGS IN DOORS THROUGH WHICH A 3-INCH (76 MM) SPHERE IS UNABLE TO PASS.
2. DECORATIVE GLASS IN ITEMS 1, 6 OR 7.
3. GLAZING IN ITEM 6, WHEN THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND THE GLAZING.
4. GLAZING IN ITEM 6, IN WALLS PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET (914 MM) OR LESS IN DEPTH. GLAZING IN THESE APPLICATIONS SHALL COMPLY WITH ITEM 1.
5. GLAZING IN ITEMS 1 AND 10, WHEN A PROTECTIVE BAR IS INSTALLED ON THE ACCESSIBLE SIDE(S) OF THE GLAZING 36 INCHES (914 MM) (6 3/8") ABOVE THE FLOOR. THE BAR SHALL BE CAPABLE OF WITHSTANDING A HORIZONTAL LOAD OF 80 POUNDS PER LINEAR FOOT (11.8 KG/M) WITHOUT CONTACTING THE GLASS AND BE A MINIMUM OF 1/2 INCHES (13 MM) IN HEIGHT.
6. OUTBOARD PANES IN INSULATING GLASS UNITS AND OTHER MULTIPLE GLAZED PANELS IN ITEM 1, WHEN THE BOTTOM EDGE OF THE GLASS IS 25 FEET (7620 MM) OR MORE ABOVE GRADE, A ROOF, WALKING SURFACE OR OTHER HORIZONTAL WITHIN 45 DEGREES (0.78 RAD) OF HORIZONTAL SURFACE ADJACENT TO THE GLASS EXTERIOR.
7. LOWERED WINDOWS AND JALOUSIES COMPLYING WITH THE REQUIREMENTS OF THESE NOTES.
8. MIRRORS AND OTHER GLASS PANELS MOUNTED OR HUNG ON A SURFACE THAT PROVIDES A CONTINUOUS BACKING SUPPORT.
9. SAFETY GLAZING IN ITEMS 10 AND 11 IS NOT REQUIRED WHERE:
 - 9.1. THE SIDE OF A STAIRWAY, LANDING OR RAMP HAS A GUARDRAIL OR HANDRAIL, INCLUDING BALUSTERS OR INFILL PANELS, COMPLYING WITH THE PROVISIONS OF THE INTERNATIONAL BUILDING CODE, AND
 - 9.2. THE PLANE OF THE GLASS IS GREATER THAN 18 INCHES (457 MM) FROM THE RAILING.



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



BUILT UP COLUMN DETAIL
SCALE: 3/4" = 1'-0"

DATE	BY	REVISION

ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS IN THE NOTES, DIMENSIONS AND/OR DRAWINGS CONTAINED ON THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE ACCEPTANCE OF THESE DOCUMENTS AND DISCREPANCIES, ERRORS AND/OR OMISSIONS BECOMES THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

SH.CLEVERLY
(16058)

CLEVERLY RESIDENCE
31 EAST NEW ENGLAND AVE.
WORTHINGTON, OH.
43085

EXTERIOR ELEVATIONS

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DESIGNER	JW	5.9.11
LAYOUT	MF	6.21.11
DETAILS	DL	1.20.11
CHECK		
PROJECT		



NOTE:
GRADE SHALL FALL 6" (MIN.) WITHIN
FIRST 10' FROM BUILDING PERIMETER.

NOTE: SEE SHEET A.5.0 FOR
ELEVATION NOTES & REQUIREMENTS



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

SH. CLEVERLY
(16058)

CLEVERLY RESIDENCE
31 EAST NEW ENGLAND AVE.
WORTHINGTON, OH.
43085
EXTERIOR ELEVATIONS

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DESIGN	JW	5.9.17
LAYOUT	MF	6.21.17
DETAILS	DL	1.20.17
CHECK		
PRINT		

SHEET: **A.6.0**



NOTE:
GRADE SHALL FALL 6" (MIN.) WITHIN
FIRST 10' FROM BUILDING PERIMETER.

NOTE: SEE SHEET A.5.0 FOR
ELEVATION NOTES & REQUIREMENTS



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

SH. CLEVERLY
(16058)

CLEVERLY RESIDENCE
31 EAST NEW ENGLAND AVE.
WORTHINGTON, OH.
43085
EXTERIOR ELEVATIONS

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DESIGN	JW	5.9.11
LAYOUT	ME	6.21.11
DETAILS	DL	1.20.11
CHECK		
INCH		

SHEET: **A.6.1**

DATE	BY	REVISION

ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS IN THE NOTES, SPECIFICATIONS AND/OR DRAWINGS CONTAINED ON THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION WITHOUT THE ACCEPTANCE OF THESE DOCUMENTS AND DISCREPANCIES, ERRORS AND/OR OMISSIONS BECOMES THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

SH.CLEVERLY
(16058)

CLEVERLY RESIDENCE
31 EAST NEW ENGLAND AVE.
WORTHINGTON, OH.
43085

SECOND FLOOR ELECTRICAL PLAN

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DESIGN	JW	5.9.17
LAYOUT	MF	6.21.17
DESIGN	DL	1.20.17
CHECK		
INCH		

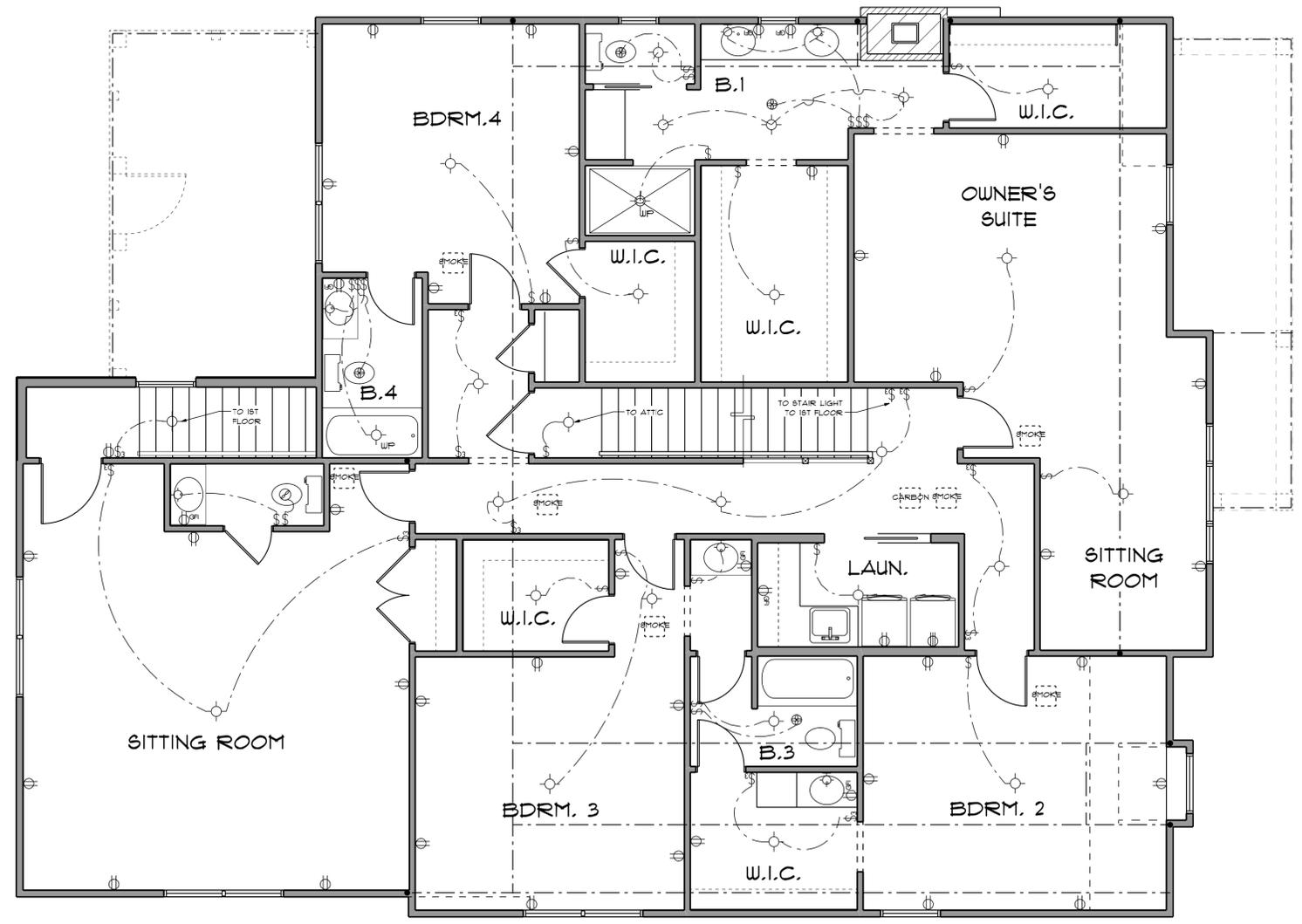
SHEET: **E.3.0**

ELECTRIC SYMBOLS

- | | | | |
|----------------|---|---|---|
| ⊕ | SINGLE POLE SWITCH | ⊕ | OWNER SELECTED WALL MOUNTED FIXTURE |
| ⊕ ₃ | 3 WAY SWITCH | □ | CEILING RECESSED FIXTURE |
| ⊕ ₄ | 4 WAY SWITCH | ⊕ | CEILING RECESSED (ADJUSTABLE SFLAY) |
| ⊕ _D | ANY SWITCH WITH DIMMER | ⊕ | CEILING EXHAUST W/ REMOTE FAN (VENT LOCATION) MOTOR IN ATTIC - VERIFY LOCATION W/ BUILDER |
| ⊕ _M | MOTION ACTIVATED SWITCH/SENSOR | ⊕ | CEILING EXHAUST FAN - NUTONE QT SERIES |
| ⊕ | 110V DUPLEX RECEPTICAL | ⊕ | COMBINATION CEILING EXHAUST FAN AND LIGHT FIXTURE - NUTONE QT SERIES |
| ⊕ | 220V SINGLE RECEPTICAL | ⊕ | SERVICE PANEL (MAY BE RECESSED OR SURFACE MOUNTED) |
| ⊕ | 110V DUPLEX SPLIT RECEPTICAL | ⊕ | EXTERIOR FLOOD LIGHTS |
| ⊕ | SPECIAL OUTLET | ⊕ | FLUORESCENT FIXTURE |
| ⊕ | TELEPHONE OUTLET | ⊕ | UNDER CABINET MOUNTED (KICHLER) |
| ⊕ | CABLE OUTLET | ⊕ | TRACK LIGHTS |
| ⊕ | DATA PORT (COMPUTER JACK) | ⊕ | CEILING FAN |
| GFI | GROUND FAULT CIRCUIT INTERRUPTER | ⊕ | COMBINATION CEILING FAN AND LIGHT FIXTURE |
| WP | WEATHERPROOF | | |
| ⊕ | JUNCTION BOX | | |
| ⊕ | OWNER SELECTED CLG. MOUNTED FIXTURE | | |
| ⊕ | OWNER SELECTED CLG. MOUNTED FIXTURE (INSTALL FAN BOX) | | |

TAMPER RESISTANT OUTLETS SHALL BE INSTALLED IN THE DWELLING AREAS SPECIFIED IN NEC 210.12 (B)

NOTE: ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION FOR THE ENTIRE BRANCH CIRCUIT. EXCLUDED WILL BE BRANCH CIRCUITS FOR UNFINISHED BASEMENTS, GARAGES, EXTERIOR OUTLETS, 4 BATHS.



SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



City of Worthington
SUBDIVISION APPLICATION

Case # SUB 02-17
Preliminary Plat Fee \$150.00
Date Received 6-9-17
Action/Date 6-22-17
Final Plat Fee \$100.00
Date Received
Action/Date

A. General Information

- 1. Property Location 303E NEW ENGLAND AVE
2. Zoning and Use RESIDENTIAL
3. Applicant BOB WEBB HOMES
Address 7662 NORTH CENTRAL DR. LEWIS CENTER, OH 43035
Home Phone Work Phone (614) 419-2355
4. Property Owner PAMELA R. JOHNSTON
Address 303E NEW ENGLAND AVE
Home Phone Work Phone
5. Surveyor or Engineer LANDMARK SURVEY GROUP
Address 2099 WEST FIFTH AVE. COLUMBUS, OH 43212
Phone (614) 485-9000

B. Existing

- 1. Number of lots 3 2. Area 43,877 S.F. (1.0 ACRES)

C. Proposed

- 1. Number of lots 3 2. Area 43,877 SF 3. Dimensions 80x132 80x132
80, 80 172.4 x 132
4. Frontage 172.4 5. Utilities available? YES

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
Applicant (Signature)

06-09-17
Date

[Signature]
Property Owner (Signature)

6/9/2017
Date

No Discuss
Tabled 6/22/17, 7/13/17

Abutting Property Owners List for
303 E. New England Ave.

Jonathan Halverstadt		300 E. New England Ave.	Worthington, OH 43085
Julia & Carl Haager		306 E. New England Ave.	Worthington, OH 43085
Geri Hewitt	James King	307 E. New England Ave.	Worthington, OH 43085
John & Patricia Shutter		559 White Oak Pl.	Worthington, OH 43085
Keely Croxton	Steven Hurt	595 Greenwich St.	Worthington, OH 43085
Christopher & Amy Hill		339 E. Beck St.	Columbus, OH 43206
Resident		607 Greenwich St.	Worthington, OH 43085
Michael & Brenda Cross		617 Greenwich St.	Worthington, OH 43085
Dianne Klisares		277 E. New England Ave.	Worthington, OH 43085

Plat Amendment
303 East New England Avenue
Supporting Statement

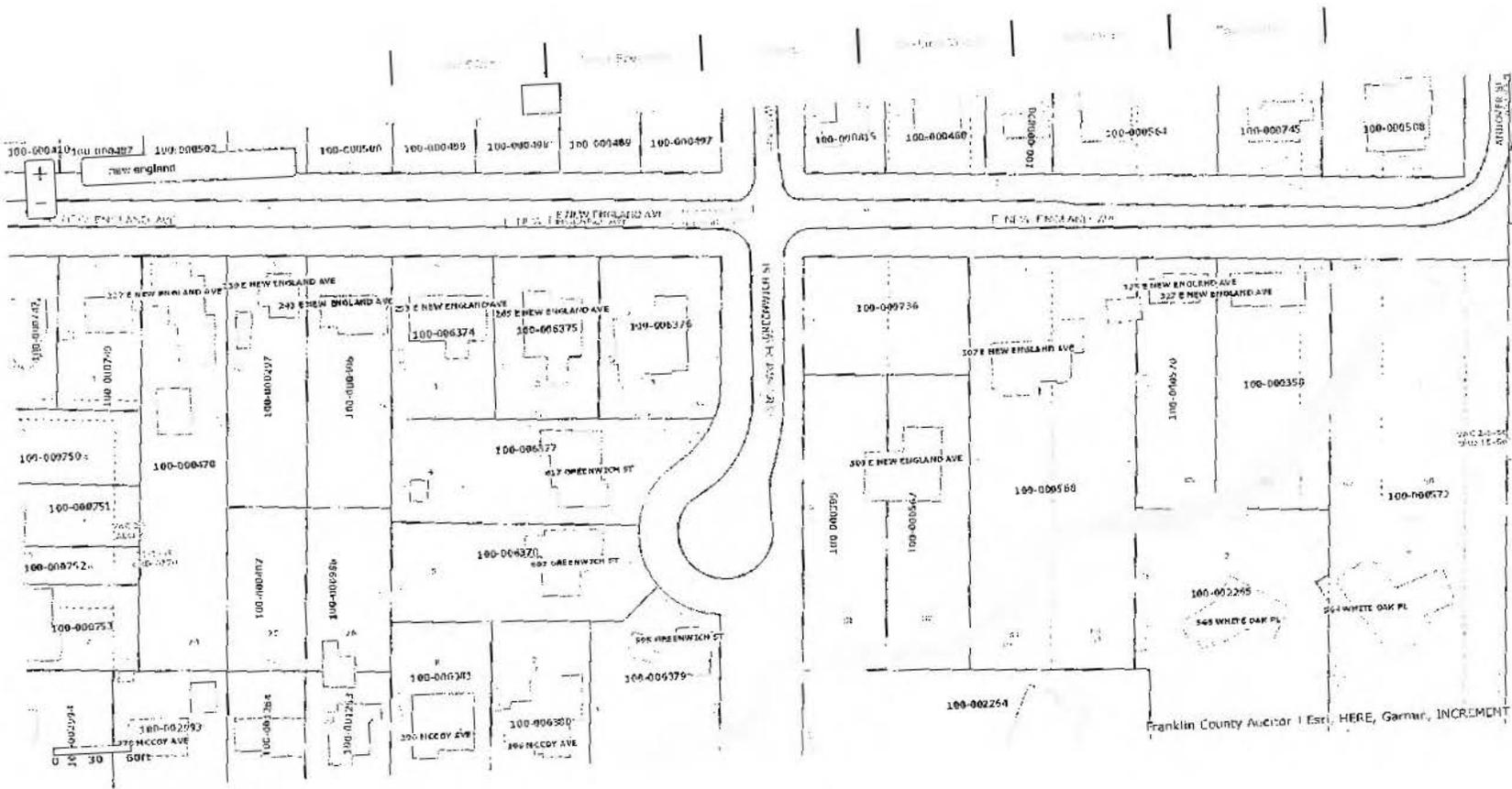
The existing three (3) Parcels at the Southeast Corner of New England Avenue & Greenwich Street are made up of a vacant Parcel 100-000736, which is at the corner and two (2) parcels to the South. Those Parcels are 100-000395 & 100-000567. The Existing Home straddles these two (2) Lots. Currently, Parcel 100-000567 does not have access to a public street.

The request being made is for the creation of a Plat Revision in order to create three (3) buildable Parcels that have frontage along Greenwich Street. The Proposed Lots meet the established minimum Area & frontage requirement for the neighborhood.

303 E. New England Ave.



100-000567 04/09/2014



Selection
 Parcel (L) Parcel (L & L)

[View Current List](#)
[Return to Search](#)

[Proximity Report](#)
[Map Report](#)
[Parcel Summary](#)
[Parcel Detail](#)

100-001206

100-001374

Franklin County Auditor 1 Est. HERE, Garwin, INCREMENT P, Internap, USGS, EPA, USDA

CITY OF WORTHINGTON
 SUB 02-11
 DRAWING NO.
 DATE 7-16-12

Google Maps 303 E New England Ave



Imagery ©2017 Google, Map data ©2017 Google 50 ft

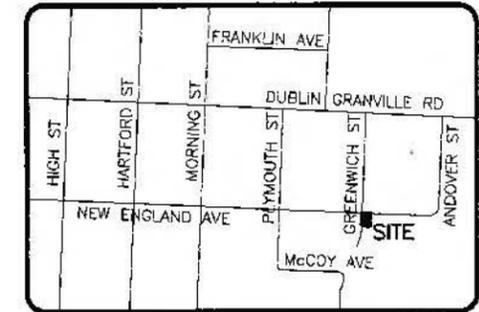
CITY OF WORTHINGTON
SUB 02-17
DRAWING NO.

DATE 7-16-17

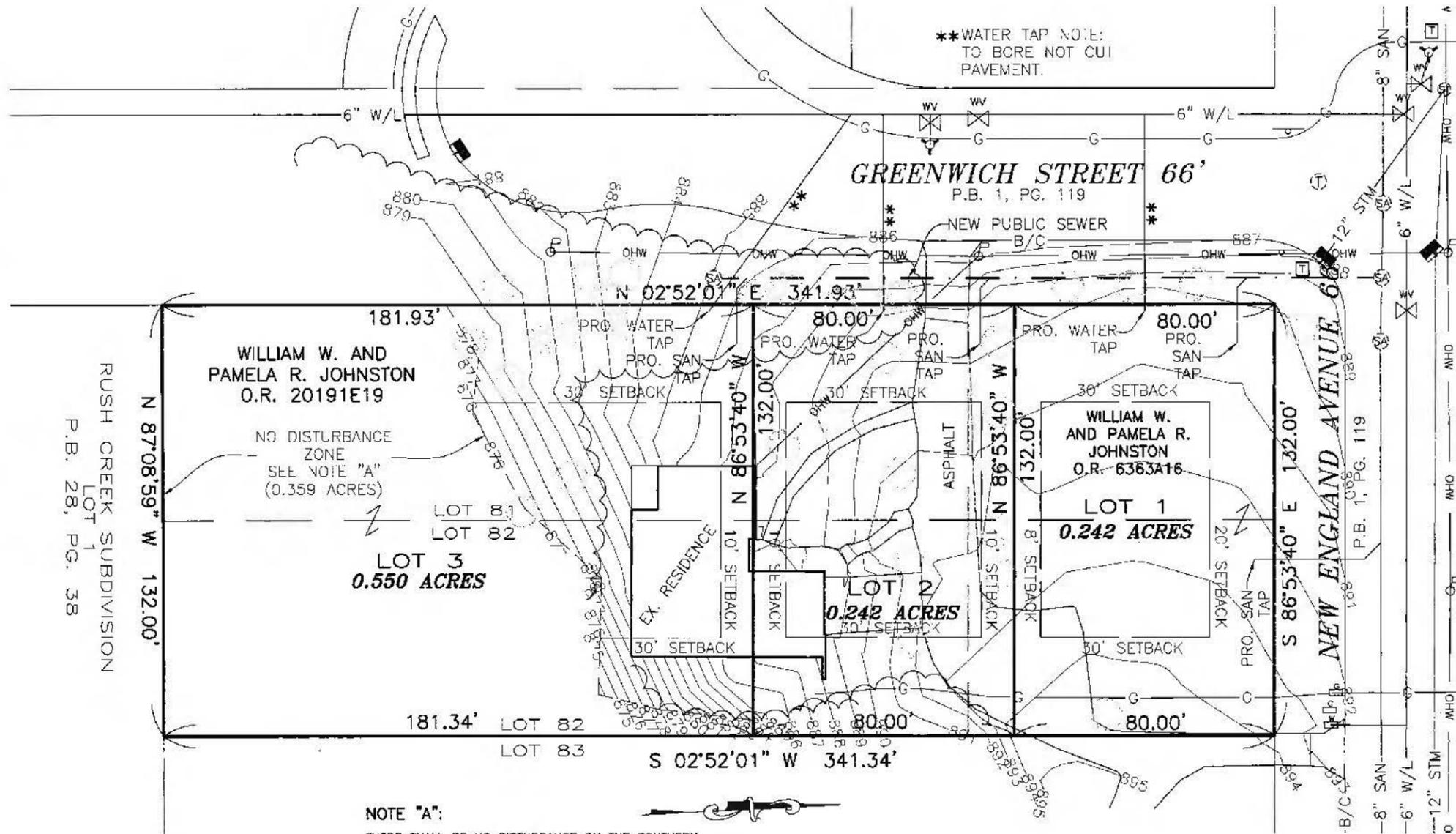


REPLAT OF LOTS 81 AND 82 OF MORRIS' ADDITION TO THE TOWN OF WORTHINGTON PRELIMINARY PLAT

CITY OF WORTHINGTON, COUNTY OF FRANKLIN
STATE OF OHIO



VICINITY MAP
NOT TO SCALE



LEGEND

- SIGN
- WATER VALVE
- WATER TAP
- FIRE HYDRANT
- POWER POLE
- CURB INLET
- STORM MANHOLE
- SANITARY MANHOLE
- GAS TAP
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- DECIDUOUS TREE
- GAS LINE PER OUPS
- OVERHEAD UTILITY WIRES

OWNER:
WILLIAM W. AND
PAMELA R. JOHNSTON
303 E NEW ENGLAND AVE
WORTHINGTON, OH 43085

DEVELOPER:
BOB WEBB GROUP
7762 N CENTRAL DR
LEWIS CENTER, OH 43035

SURVEYOR:
SCOTT D. GRUNDEI
PROFESSIONAL SURVEYOR
NO. 8047

NOTE "A":

THERE SHALL BE NO DISTURBANCE ON THE SOUTHERN PORTION OF LOT 3 THAT IS LOCATED IN THE NO DISTURBANCE ZONE WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE CITY. THIS INCLUDES THE REMOVAL OF ANY TREES AND VEGETATION.

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING S 86°53'40" E FOR THE SOUTHERLY LINE OF NEW ENGLAND AVENUE, BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 DATUM (2011), TAKEN FROM GPS OBSERVATION.

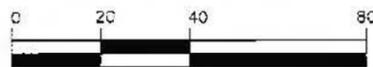
FLOOD NOTE:

THE SUBJECT PROPERTY LIES IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN), AS DETERMINED BY GRAPHIC INTERPOLATION FROM THE FLOOD INSURANCE RATE MAP NUMBER 39049C0159K, WITH AN EFFECTIVE DATE OF 06/17/2008. PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONING DISTRICT:

R-10 "LOW DENSITY RESIDENTIAL"

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

DRAWN BY: DJH

LS LANDMARK SURVEY
GI GROUP, INCORPORATED

2099 WEST FIFTH AVENUE, COLUMBUS, OHIO 43212
PHONE: (614) 485-9000 FAX: (614) 485-9003
DATE: 6/22/17 FILE NO. 199405

CITY OF WORTHINGTON
SUB 02-17
DRAWING NO.
DATE 7-16-17

REPLAT OF LOTS 81 AND 82 OF MORRIS' ADDITION TO THE TOWN OF WORTHINGTON

CITY OF WORTHINGTON, COUNTY OF FRANKLIN
STATE OF OHIO

1
2

SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF WORTHINGTON, BEING IN QUARTER TOWNSHIP 3, TOWNSHIP 2, RANGE 18 UNITED STATES MILITARY LANDS AND BEING ALL OF LOTS 81 AND 82 OF MORRIS' ADDITION TO THE TOWN OF WORTHINGTON, AS SHOWN AND DELINEATED IN PLAT BOOK 1, PAGE 119, AND BEING CONVEYED TO WILLIAM W. AND PAMELA R. JOHNSTON BY DEED OF RECORD IN OFFICIAL RECORD 6363A16 AND OFFICIAL RECORD 20191E19, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.

THE UNDERSIGNED, WILLIAM W. AND PAMELA R. JOHNSTON, OWNER OF THE LANDS PLATTED HEREIN, DULY AUTHORIZED IN THE PREMISES, DOES HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS ITS "REPLAT OF LOTS 81 AND 82 OF MORRIS' ADDITION TO THE TOWN OF WORTHINGTON", A SUBDIVISION CONTAINING LOTS NUMBERED 1, 2 AND 3, ALL INCLUSIVE, DOES HEREBY ACCEPT THIS PLAT OF SAME.

IN WITNESS WHEREOF, WILLIAM W. AND PAMELA R. JOHNSTON, OWNERS,
HAVE HEREUNTO SET THEIR HAND THIS _____ DAY, OF _____ 20____.

**SIGNED AND ACKNOWLEDGED
IN THE PRESENCE OF:**

BY _____
WILLIAM W. JOHNSTON

BY _____
PAMELA R. JOHNSTON

**STATE OF OHIO
COUNTY OF FRANKLIN SS:**

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED WILLIAM W. AND PAMELA R. JOHNSTON, OWNERS, WHO ACKNOWLEDGED THE SIGNING AND FOREGOING INSTRUMENT TO BE THEIR VOLUNTARY ACT FOR THE USES AND PURPOSES EXPRESSED HEREIN.

IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THIS DAY OF _____, 20____.

MY COMMISSION EXPIRES _____
NOTARY PUBLIC, STATE OF OHIO

Approved this _____ Day of _____, 20____
Clerk, Municipal Planning Commission,
Worthington, Ohio

Approved this _____ Day of _____, 20____
Director of Engineering,
Worthington, Ohio

Approved this _____ Day of _____, 20____
City Manager,
Worthington, Ohio

Approved this _____ Day of _____, 20____, by Ordinance No. _____
Whereas this plat is accepted by the council of the City of Worthington, Ohio.

In witness thereof, I have hereunto set my hand and affixed my seal the _____ day of _____, 20____
Clerk of Council,
Worthington, Ohio

Transferred this _____ day of _____, 20____
Auditor, Franklin County, Ohio

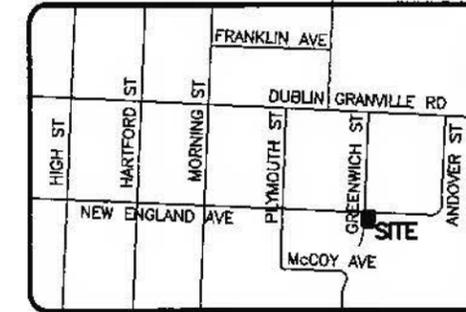
Deputy Auditor, Franklin County, Ohio

Filed for record this _____ day of _____, 20____ at _____ M. Fee \$_____
Recorder, Franklin County, Ohio

File No. _____

Recorded this _____ day of _____, 20____
Deputy Recorder, Franklin County, Ohio

Plat Book _____, Pages _____



VICINITY MAP
NOT TO SCALE

SURVEY DATA:

BASIS OF BEARINGS: THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING S 86°53'40" E FOR THE SOUTHERLY LINE OF NEW ENGLAND AVENUE, BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 DATUM (2011), TAKEN FROM GPS OBSERVATION.

SOURCE OF DATA: THE SOURCES OF RECORDED SURVEY DATA REFERENCED IN THE PLAN AND TEXT OF THIS PLAT ARE THE RECORDS OF THE RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.

REBAR: REBAR, WHERE INDICATED HEREON, UNLESS OTHERWISE NOTED, ARE TO BE SET AND ARE REBAR, 5/8 INCH DIA. 30 INCHES IN LENGTH, WITH A RED PLASTIC CAP PLACED ON THE TOP END BEARING THE NAME "LANDMARK SURVEY".

PERMANENT MARKERS: PERMANENT MARKERS, WHERE INDICATED HEREON, ARE TO BE ONE-INCH DIAMETER, THIRTY-INCH LONG, SOLID IRON PINS. PINS ARE TO BE SET TO MONUMENT THE POINTS INDICATED, AND SET WITH THE TOP END FLUSH WITH THE SURFACE OF THE GROUND AND THEN CAPPED WITH AN ALUMINUM CAP STAMPED LANDMARK SURVEY ONCE INSTALLED, THE TOP OF THE CAP SHALL BE MARKED (PUNCHED) TO RECORD THE ACTUAL LOCATION OF THE POINT.

CITY OF WORTHINGTON
SUB 02-17
DRAWING NO.
DATE 7-16-17

LS LANDMARK SURVEY
GI GROUP, INCORPORATED

2099 WEST FIFTH AVENUE, COLUMBUS, OHIO 43212
PHONE: (614) 485-9000 FAX: (614) 485-9003
DATE: 7/5/17 FILE NO. 199405

DRAWN BY: DJH

I HEREBY CERTIFY THAT WE HAVE SURVEYED THE PREMISES, PREPARED THE ATTACHED PLAT AND THAT SAID PLAT IS CORRECT. ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. ALL REBAR SET ARE 5/8" DIA. 30" LONG, W/ RED PLASTIC CAP STAMPED "LANDMARK SURVEY"

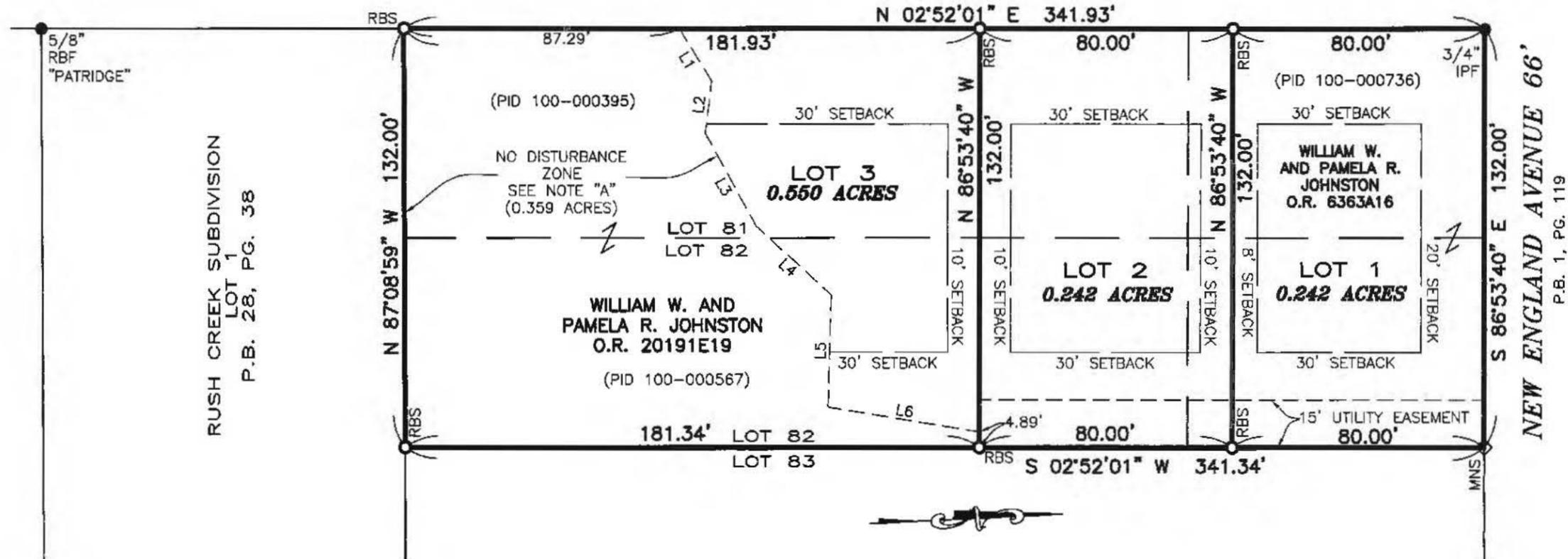
SCOTT D. GRUNDEI, P.S. DATE
REGISTERED SURVEYOR NO. 8047

REPLAT OF LOTS 81 AND 82 OF MORRIS' ADDITION TO THE TOWN OF WORTHINGTON

CITY OF WORTHINGTON, COUNTY OF FRANKLIN
STATE OF OHIO

GREENWICH STREET 66'

P.B. 1, PG. 119



RUSH CREEK SUBDIVISION
LOT 1
P.B. 28, PG. 38

NEW ENGLAND AVENUE 66'
P.B. 1, PG. 119

NOTE "A":

THERE SHALL BE NO DISTURBANCE ON THE SOUTHERN PORTION OF LOT 3 THAT IS LOCATED IN THE NO DISTURBANCE ZONE WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE CITY. THIS INCLUDES THE REMOVAL OF ANY TREES AND VEGETATION.

FLOOD NOTE:

THE SUBJECT PROPERTY LIES IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN), AS DETERMINED BY GRAPHIC INTERPOLATION FROM THE FLOOD INSURANCE RATE MAP NUMBER 39049C0159K, WITH AN EFFECTIVE DATE OF 06/17/2008, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

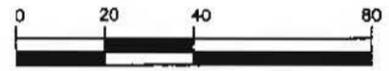
LINE TABLE:

LINE	BEARING	DISTANCE
L1	N 61°39'28" E	19.29'
L2	S 80°24'58" E	16.76'
L3	N 64°18'08" E	33.22'
L4	N 45°30'48" E	32.05'
L5	S 85°22'32" E	35.30'
L6	N 12°09'45" E	48.34'

LEGEND

- IPF IRON PIN FOUND
- REF REBAR FOUND
- RBS REBAR SET
- ◇ MNS MAG NAIL SET

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

DRAWN BY: DJH

CITY OF WORTHINGTON
SUB 02-17
DRAWING NO.

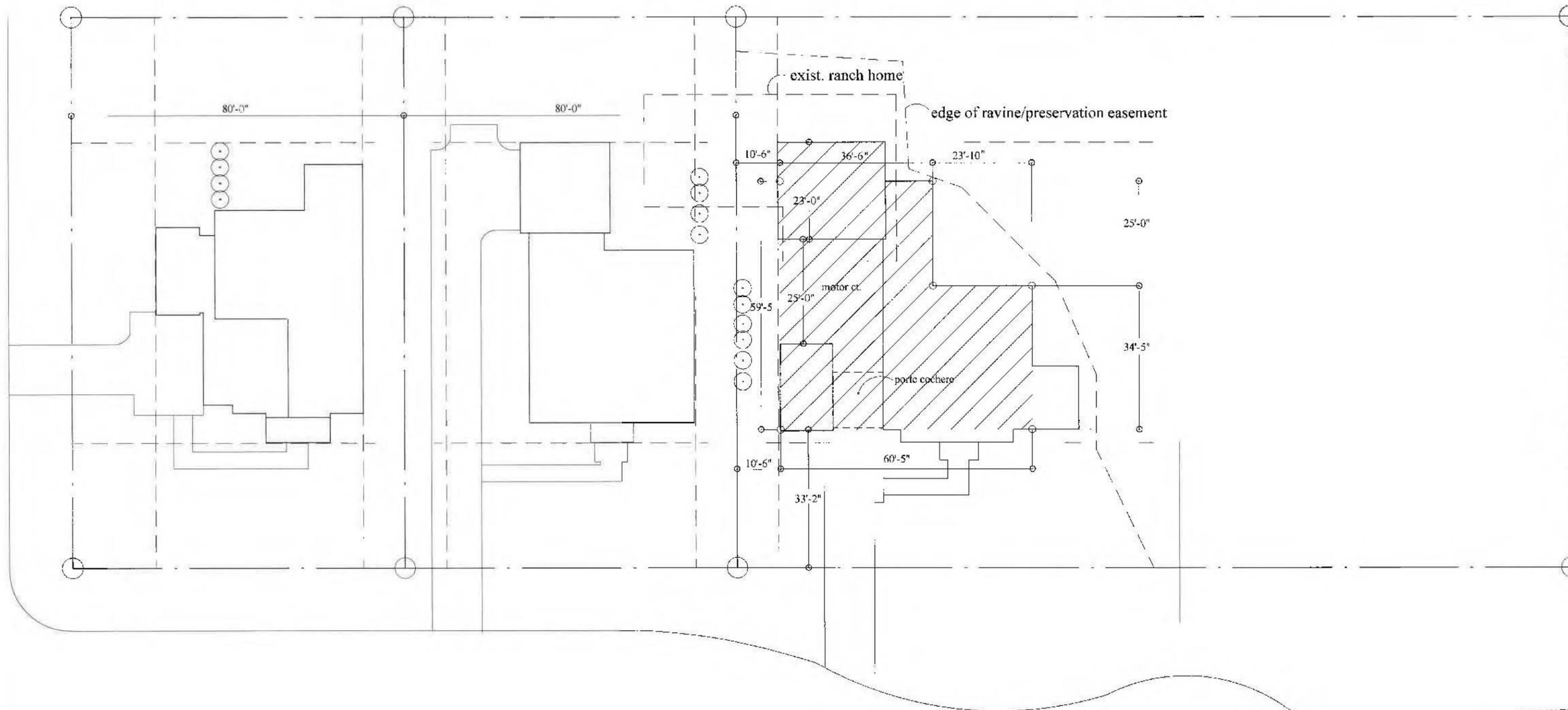
DATE 7-16-17



C. David Johnson
ARCHITECT
10000 W. 11th St.
Suite 1117, Overland Park, KS 66211
Tel: 913.241.1111
Fax: 913.241.1112
www.cdjohnson.com



BOB WEBB



7-13-17

CITY OF WORTHINGTON
SUB 02-17
DRAWING NO.
DATE 7-16-17



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 59-17
Date Received	7/5/17
Fee	\$7.00 pd
Meeting Date	7-27-17
Filing Deadline	
Receipt #	63906
	Amend AR 84-91

1. **Property Location** The Shops at Worthington Place 7227 N. High St.
2. **Present/Proposed Use** Landscaping
3. **Zoning District** _____
4. **Applicant** Worthington Square Venture, LLC
Address 7227 N. High St., Ste 88, Worthington, OH 43085
Phone Number(s) 614-312-9535
5. **Property Owner** Worthington Square Venture, LLC
Address 7227 N. High St., Ste 88, Worthington, OH 43085
Phone Number(s) 614-312-9535
6. **Project Description** replacement of parking lot screening that had been damaged by construction + old age.
7. **Project Details:**
 - a) **Design** See landscape plan
 - b) **Color** _____
 - c) **Size** _____
 - d) **Approximate Cost** \$7,000.00 **Expected Completion Date** 7/30/17

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Susan K. Nash
 Applicant (Signature)

7/5/17
 Date

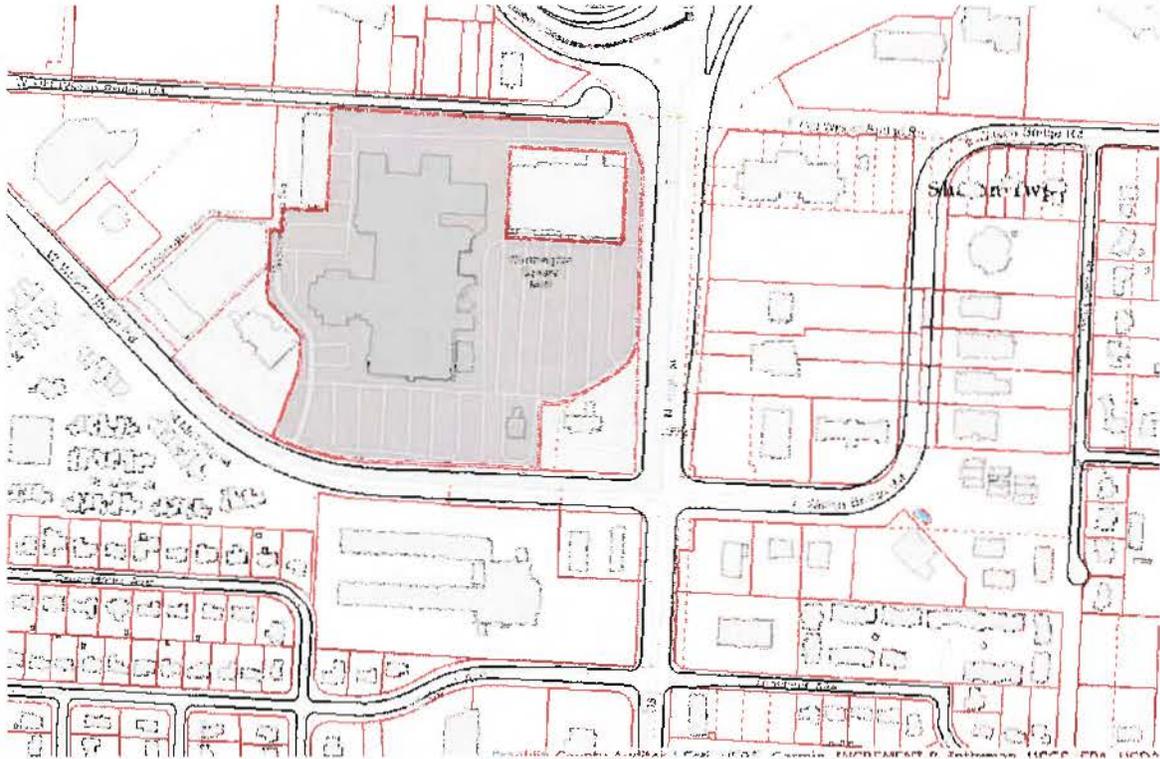
Susan K. Nash for Continental
 Property Owner (Signature)
 Realty Agent for Worthington
 Square Venture, LLC

7/5/17
 Date

Abutting Property Owners List for
7227 N. High St.

Corporate Hill LLC	Triangle Real Estate Investr	470 Old Worthington Rd. #100	Westerville, OH 43082
Edwin Popper		539 Old Farm Rd.	Columbus, OH 43213
Ohio Automobile Club		90 E. Wilson Bridge Rd.	Worthington, OH 43085
McDonalds Corporation		P.O. Box 182571	Columbus, OH 43218
McDonalds		80 E. Wilson Bridge Rd.	Worthington, OH 43085
Tsai & Chan LLC		40 Northwoods Blvd.	Columbus, OH 43235
Buca Di Beppo		60 E. Wilson Bridge Rd.	Worthington, OH 43085
Starbucks Coffee Co.		7176 N. High St.	Worthington, OH 43085
ImmediaDent		7174 N. High St.	Worthington, OH 43085
Jimmy John's		7172 N. High St.	Worthington, OH 43085
Sports Clips		7170 N. High St.	Worthington, OH 43085
Blaze Pizza		7166 N. High St.	Worthington, OH 43085
Worthington Duchess LLC		7141 N. High St.	Worthington, OH 43085
Worthington Duchess LLC		447 James Parkway	Heath, OH 43056
He Hari Inc.		7007 N. High St.	Worthington, OH 43085
Ville Charmante	Joseph Mezera	146 Saint Julien Avenue	Worthington, OH 43085
Insight Bank	Harvey Glick	150 W. Wilson Bridge Rd.	Worthington, OH 43085
Chase Bank		50 W. Wilson Bridge Rd.	Worthington, OH 43085
The Kroger Co.		4111 Executive Parkway	Westerville, OH 43081
Kroger		60 W. Wilson Bridge Rd.	Worthington, OH 43085

7227 N. High St.

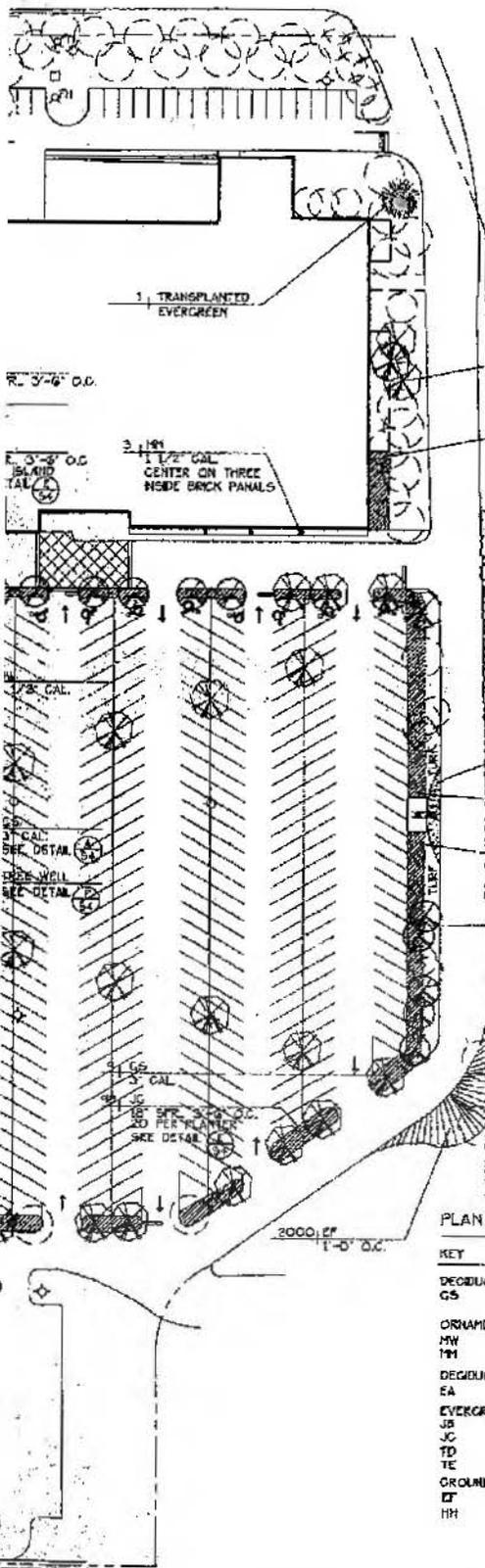


PREVIOUS APPROVAL



LEGEND

- DECIDUOUS SHADE TREE SEE DETAIL (A)
- ORNAMENTAL TREE SEE DETAIL (B)
- DECIDUOUS SHADE AND ORNAMENTAL TREES TRANSPLANTED
- EVERGREEN TREES TRANSPLANTED SEE DETAIL (A)
- EVERGREEN SHRUB AS PER PLAN SEE DETAIL (C)
- EVERGREEN SHRUB AS PER PLAN
- DECIDUOUS SHRUB AS PER PLAN SEE DETAIL (D)
- GROUNDCOVER AS PER PLAN
- SEASONAL COLOR

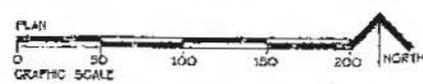


- 3, TRANSPLANTED DECIDUOUS TREES
- 30, JC 18" SPR. 3'-6" O.G.
- 48, EA 24' HT. 3'-6" O.G.
- NORTH HIGH STREET
- ALTERNATE G-U SEASONAL COLOR
- 121, JC 18" SPR. 3'-6" O.G. TIE INTO EXISTING JUMPER BVD
- 143, JC 18" SPR. 3'-6" O.G. TIE INTO EXISTING JUMPER BVD
- 5, HW 1 1/2" CAL. 15' O.G.

APPROVED - well detailed as attached
 Municipal Development Commission
 City of Worthington
 Date: 8/27/1971
 Clerk: *[Signature]*

PLANTING LIST

KEY	BOTANICAL NAME	COMMON NAME	QUAN.	SIZE	CONT.
DECIDUOUS TREES:					
GS	Gleditsia tr. Inermis 'Skyline'	Skyline Honeylocust	53	3' cal. 8+8	
ORNAMENTAL TREES:					
MW	Meln. 'White Candle'	White Candle Crabapple	24	1 1/2" cal. 8+8	
MM	Meln. 'Hozan'	Hozan Crabapple	3	1 1/2" cal. 8+8	
DECIDUOUS SHRUBS:					
EA	Euonymus a. 'Compactus'	Dwarf Burningbush	90	24' HT. 8+8	
EVERGREEN SHRUBS:					
JG	Juniper h. 'Wilton'	Blue Rug Juniper	26	18" spr. 8+8	
JC	Juniper chi. 'Py. Compacta'	Compact Pfitzer Juniper	3142	18" spr. 8+8	
TD	Taxus x.m. 'DwarfFortis'	Dwarf Yew	24	18" ht. 8+8	
TE	Taxus x.m. 'Everlow'	Everlow Yew	141	18" ht. 8+8	
GROUNDCOVER:					
EF	Diunymus f. 'Coloratus'	Purpleleaf Wintergreen	3740	2 yr.	
HH	Hedera helix	English Ivy	80	2 yr.	



PROPOSED PLANTING PLAN

WORTHINGTON SQUARE SHOPPING PLAZA

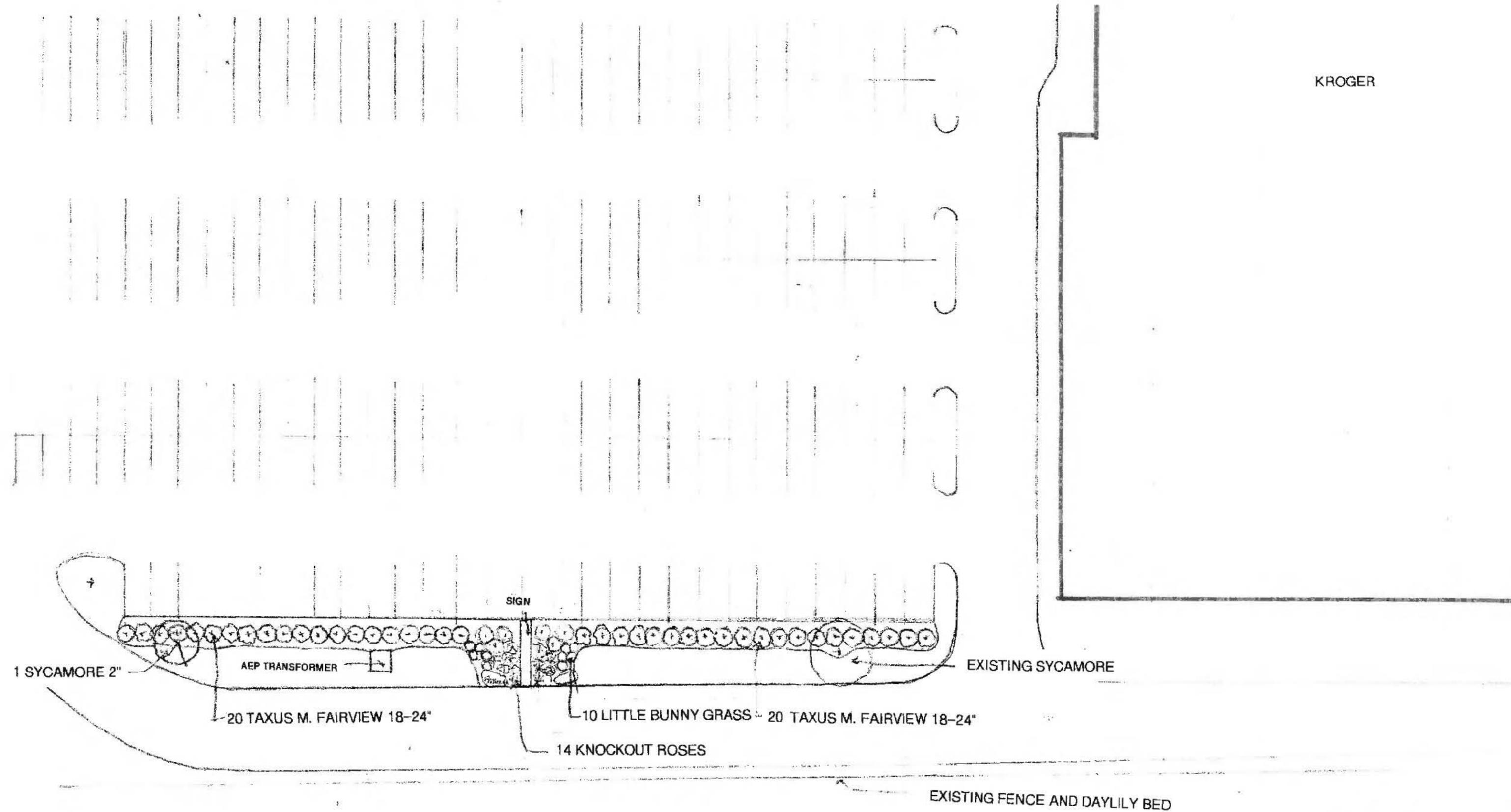
100 WEST WILSON BRIDGE ROAD WORTHINGTON, OHIO

DATE: 8-28-71
 DRAWN BY: *[Signature]*
 CHECKED BY: *[Signature]*
 REVISIONS:

JOB NO. W051
 SHEET NUMBER

S2

KROGER



THE SHOPS AT WORT

CITY OF WORTHINGTON
AR 59-17
DRAWING NO.
DATE 7-5-17

SCALE: 1" = 30' APPRO

DATE: 6-20-17

BILDSTEN LANDS



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

AMEND AR 05-17

Table with application details: Case # AR 60-17, Date Received 7/14/17, Fee \$2,000 pd, Meeting Date 7/27/17, Filing Deadline, Receipt # 63944

- 1. Property Location 50 W. Stafford Ave., 43085
2. Present/Proposed Use
3. Zoning District
4. Applicant Sean + Alyssa Harris, Address 50 W. Stafford Ave., 43085, Phone Number(s) 614-769-1994
5. Property Owner Alyssa Harris, Address 50 W. Stafford Ave., 43085, Phone Number(s) 614-716-8718
6. Project Description Balcony off master suite addition
7. Project Details: a) Design Balcony with railing, b) Color, c) Size 22 feet x 4 feet, d) Approximate Cost \$2,000, Expected Completion Date 8/1/17

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature)

Date 7/13/17

Property Owner (Signature)

Date 7/13/17

Abutting Property Owners
for
50 W. Stafford Ave.

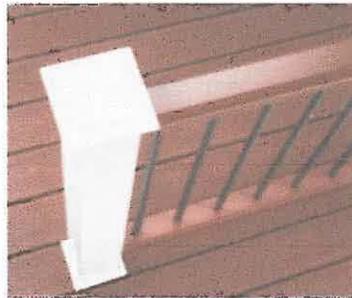
Angus Fletcher	Sarah Lagrotteria	850 Oxford St.	Worthington, OH 43085
Richard & Linda Gunther		40 W. Stafford Ave.	Worthington, OH 43085
Shoma Jha		45 W. Stafford Ave.	Worthington, OH 43085
Lee & Jolene Spector		55 W. Stafford Ave.	Worthington, OH 43085
Christopher & Jason Badley-Krauss		844 Oxford St.	Worthington, OH 43085

This balcony was originally approved by the Architectural Review Board with support posts down to the ground. That design made walking on the patio underneath the balcony impractical. The current proposed design uses arched supports instead, which are mounted to the exterior wall to support the balcony. This allows better clearance to walk under the balcony.

This second floor balcony sits off the master suite. It will face north, which is the back yard. It will not be visible from the street. The materials are composite decking from TREX in the color "Fire Pit" The posts will be white, with black square balusters in between.



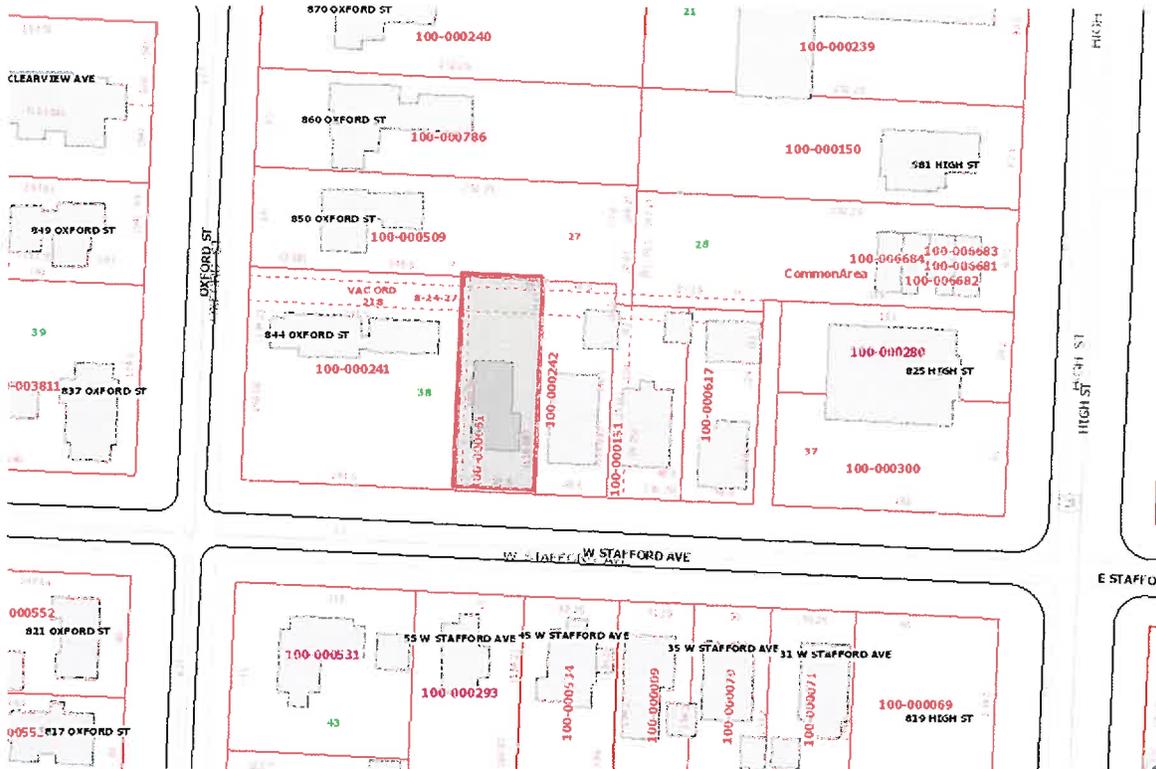
FIRE PIT



FP-3

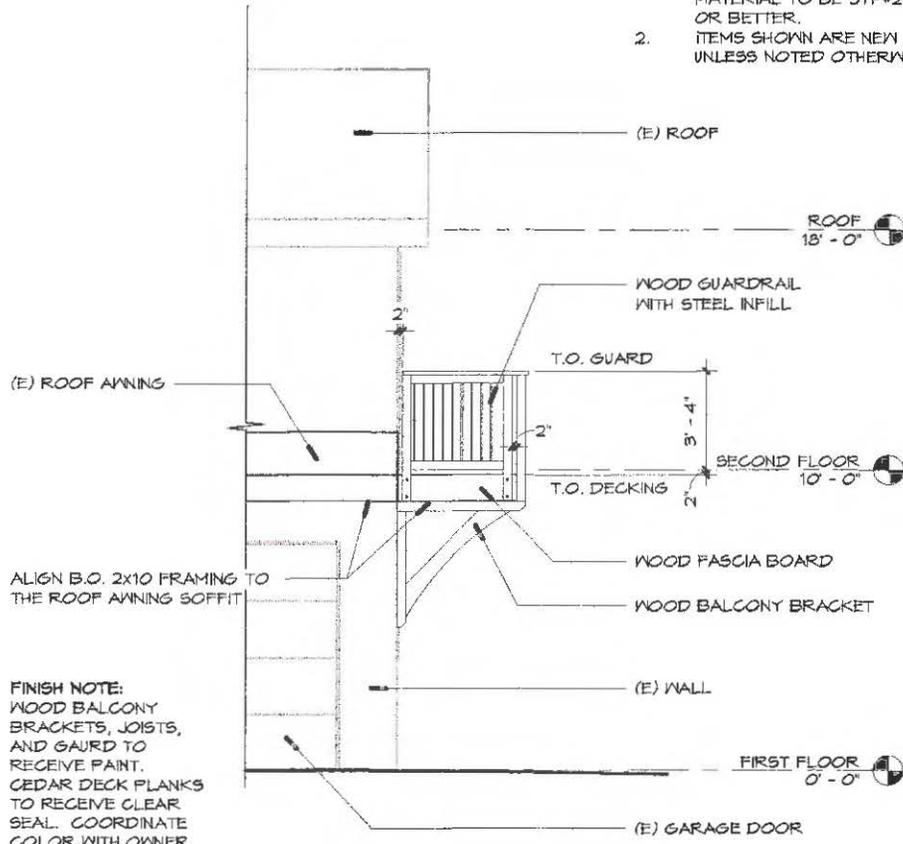


50 W. Stafford Ave.



100-000661 04/10/2014

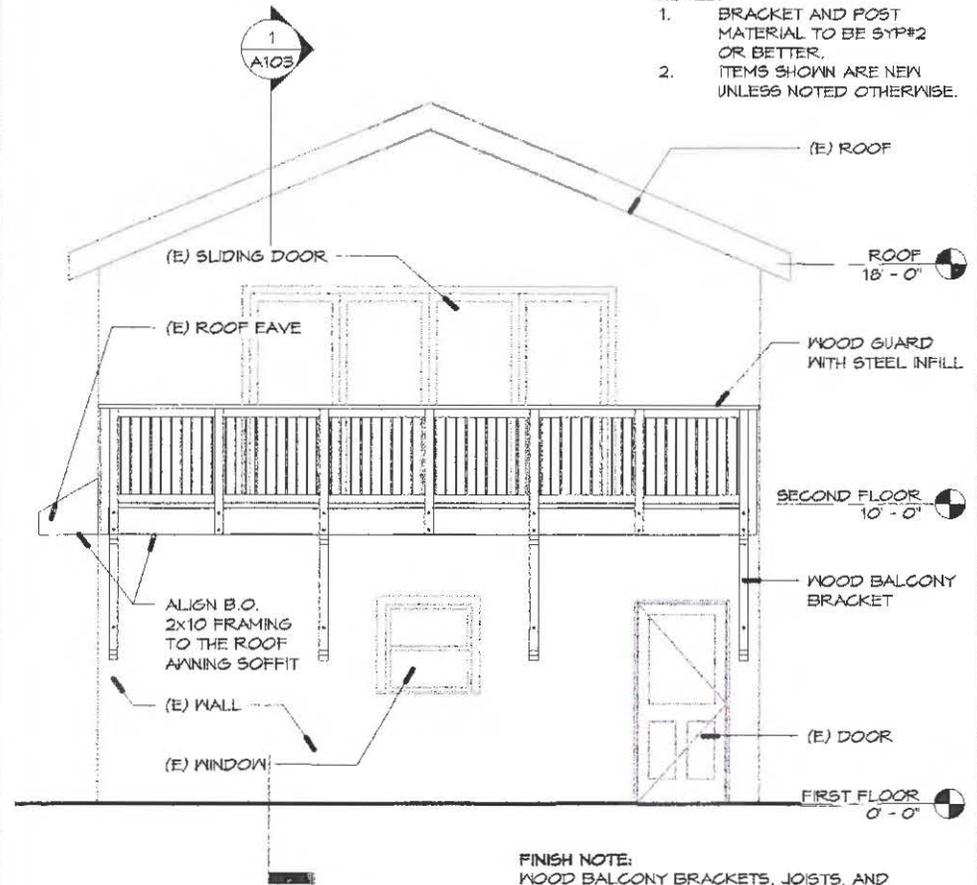
- NOTES:
1. BRACKET AND POST MATERIAL TO BE SYP#2 OR BETTER.
 2. ITEMS SHOWN ARE NEW UNLESS NOTED OTHERWISE.



② SOUTH ELEVATION
1/4" = 1'-0"

SIMILAR AT NORTH ELEVATION

- NOTES:
1. BRACKET AND POST MATERIAL TO BE SYP#2 OR BETTER.
 2. ITEMS SHOWN ARE NEW UNLESS NOTED OTHERWISE.



① EAST ELEVATION
1/4" = 1'-0"

CONCEPTUAL PLANS ONLY
NOT FOR CONSTRUCTION

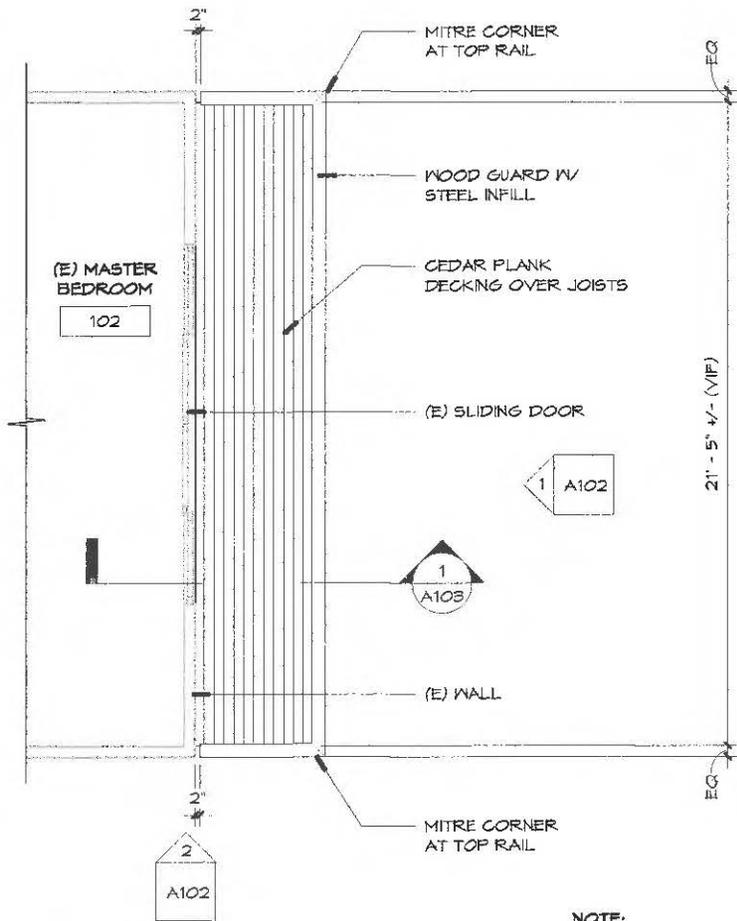
HARRIS MASTER BALCONY

No.	Description	Date

ELEVATIONS

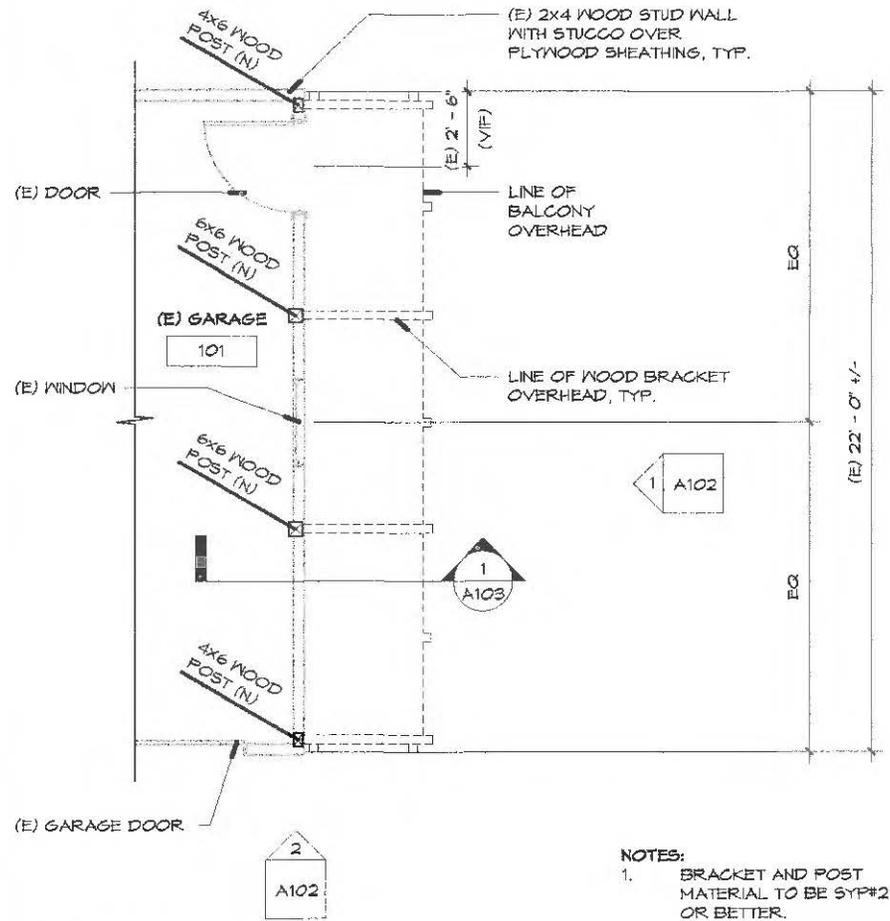
Project number	Project Number	A102
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
Scale		1/4" = 1'-0"

CITY OF WORTHINGTON
AR 60-17
DRAWING NO.
DATE 7-13-17



② SECOND FLOOR
1/4" = 1'-0"

NOTE:
ITEMS SHOWN ARE NEW
UNLESS NOTED OTHERWISE.



① FIRST FLOOR
1/4" = 1'-0"

NOTES:
1. BRACKET AND POST MATERIAL TO BE SYP#2 OR BETTER.
2. ITEMS SHOWN ARE NEW UNLESS NOTED OTHERWISE.

CONCEPTUAL PLANS ONLY
NOT FOR CONSTRUCTION

HARRIS MASTER BALCONY

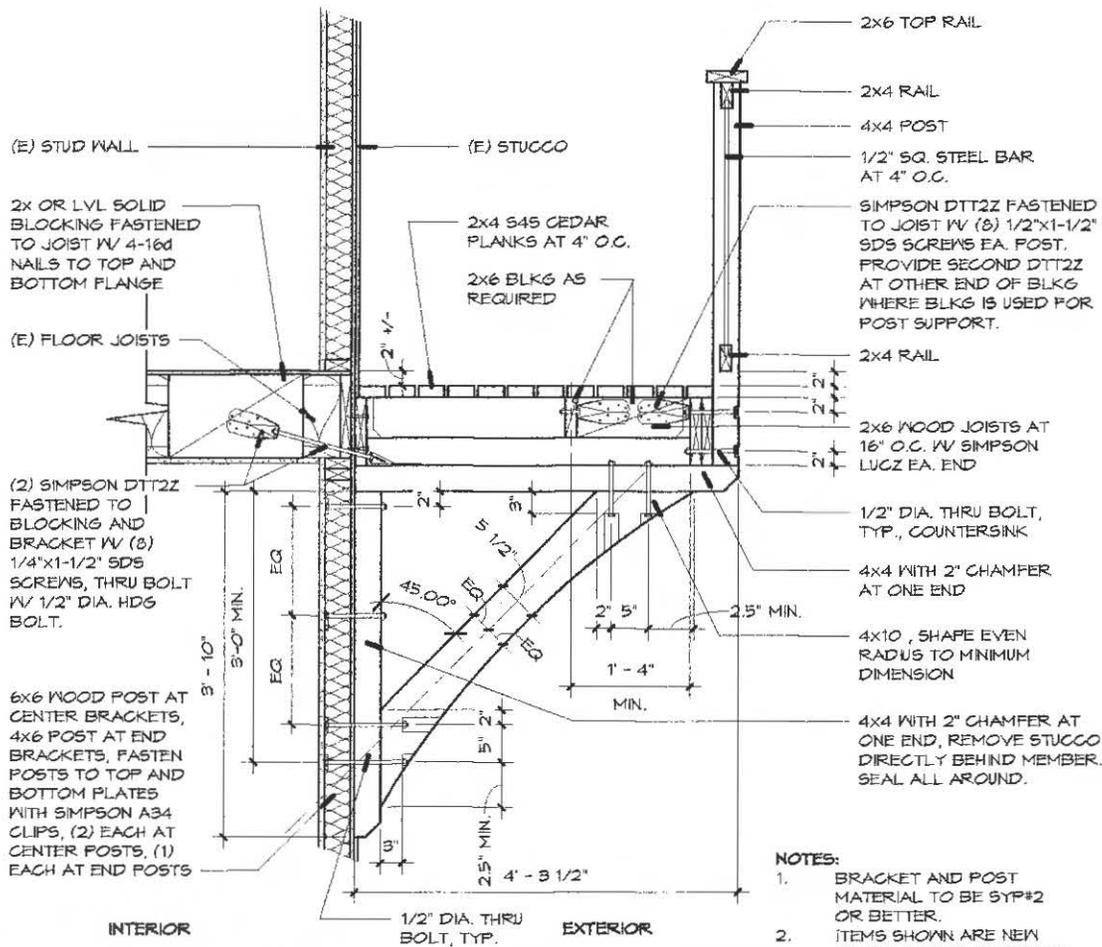
No.	Description	Date

PLANS

Project number	Project Number	A101
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale 1/4" = 1'-0"

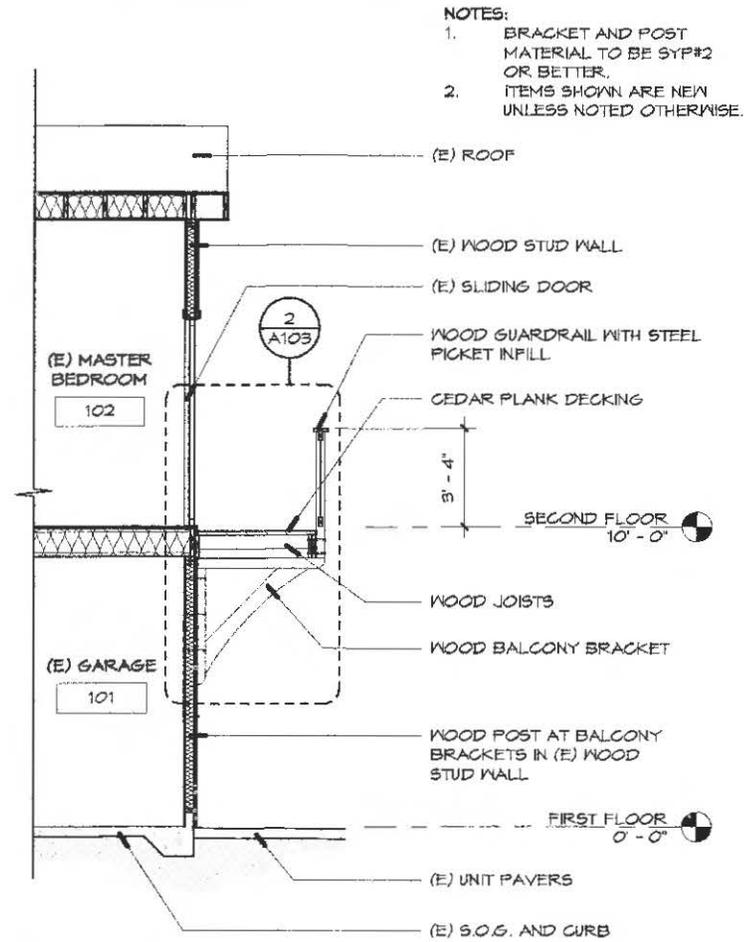
CITY OF WORTHINGTON
AR 60-17
DRAWING NO.

DATE 7-13-17



- NOTES:**
1. BRACKET AND POST MATERIAL TO BE SYP#2 OR BETTER.
 2. ITEMS SHOWN ARE NEW UNLESS NOTED OTHERWISE.

② BRACE AND GUARD DETAIL
3/4" = 1'-0"



- NOTES:**
1. BRACKET AND POST MATERIAL TO BE SYP#2 OR BETTER.
 2. ITEMS SHOWN ARE NEW UNLESS NOTED OTHERWISE.

① BALCONY SECTION
1/4" = 1'-0"

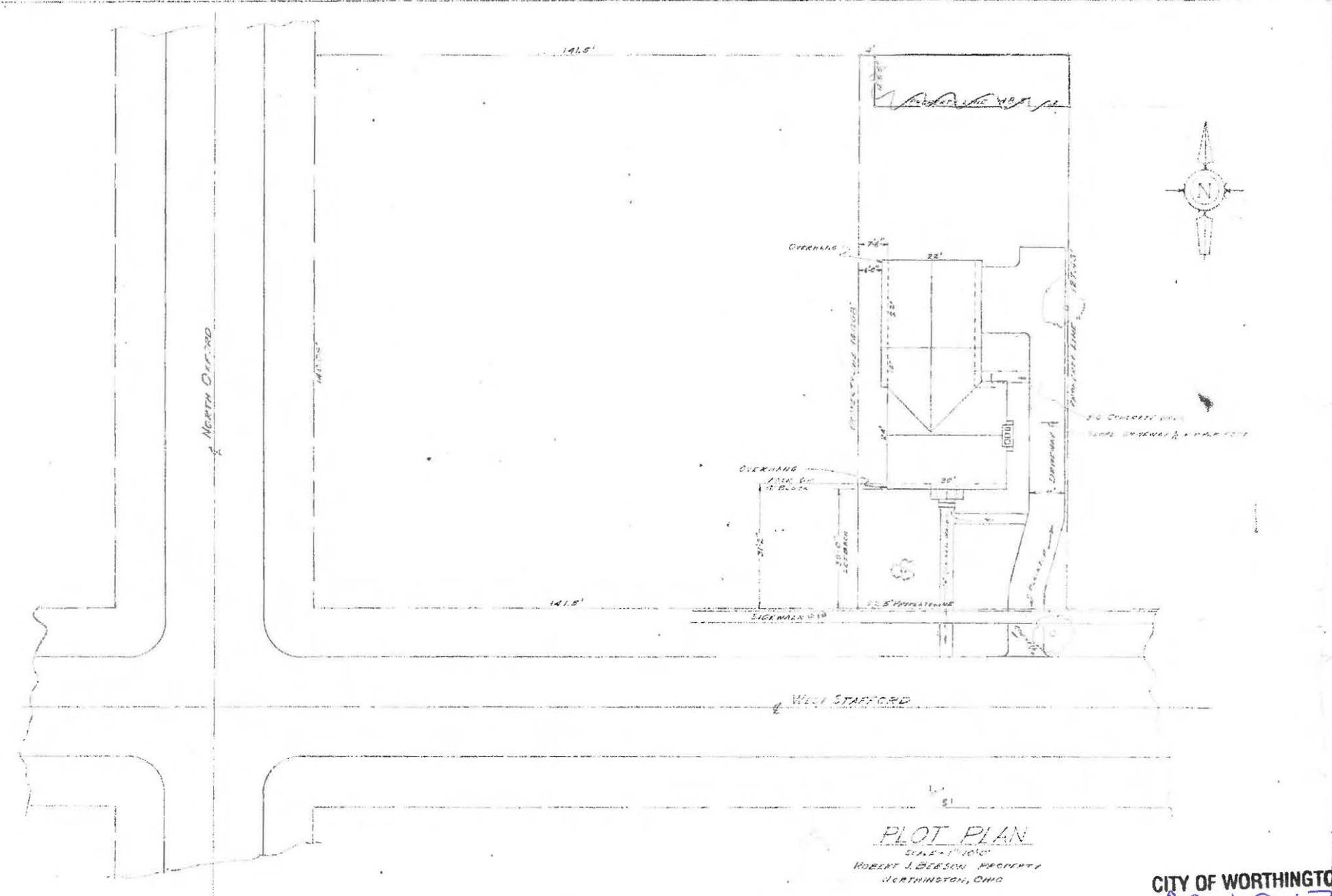
CONCEPTUAL PLANS ONLY
NOT FOR CONSTRUCTION

HARRIS MASTER BALCONY

No.	Description	Date

SECTION AND DETAILS	
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
A103	
Scale As indicated	

CITY OF WORTHINGTON
AR 60-17
DRAWING NO.
DATE 7-13-17



PLOT PLAN

SCALE: 1"=10'
 ROBERT J. BEESON, PROJECT
 WORTHINGTON, OHIO

DRAWN BY: ROBERT J. BEESON

CITY OF WORTHINGTON
 AR 160-17.
 DRAWING NO.

DATE 7-13-17



City of Worthington
ARCHITECTURAL REVIEW BOARD
 Certificate of Appropriateness
 Application

Case #	AR 161-17
Date Received	7-14-17
Fee #	2
Meeting Date	7-27-17
Filing Deadline	
Receipt #	63955

1. Property Location 510 HIGH ST
2. Present/Proposed Use OFFICE BUILDING
3. Zoning District _____
4. Applicant SIGNARAMA WORTHINGTON
 Address 6185 M HUNTLEY RD COLUMBUS, OH 43229
 Phone Number(s) 614-841-1255
5. Property Owner VA GROUP LTD
 Address 510 N HIGH ST WORTHINGTON, OH 43085
 Phone Number(s) 614-885-5158
6. Project Description REPLACE SIGN FACES IN EXISTING CABINET SIGN
7. Project Details:
 - a) Design POLYCARBONATE SIGN FACES, ^{CUT VINYL LETTERS} ~~WOOD~~ ON TRANSLUCENT VINYL
 - b) Color BLACK, WHITE, ~~GRAY~~ Gray Fuchsia Orange
 - c) Size DOUBLE SIDED - EACH SIDE 96" W X 45" H
 - d) Approximate Cost \$1,300 Expected Completion Date AUGUST 2017

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]
 Applicant (Signature)

7/13/17
 Date

[Signature]
 Property Owner (Signature)

7/13/17
 Date

Abutting Property Owners List for
510 High St.

Generick Holding LLC	11 Abbey Woods	Pittsford, NY 14534-2843
Susan Mayers	27 E. South St.	Worthington, OH 43085
Julie Mickley	100 W. Como Ave.	Columbus, OH 43202
Resident	24 Howard Ave.	Worthington, OH 43085
Brian & Maria Elliott	31 Howard Ave.	Worthington, OH 43085
Walhalla Ravine Properties LLC	252 Walhalla Rd.	Columbus, OH 43202
Rutherford Funeral Home	2383 High St.	Columbus, OH 43202
Rutherford Corbin Funeral Home	515 High St.	Worthington, OH 43085
JD Systems LLC	529 High St.	Worthington, OH 43085



July 13, 2017

City of Worthington
Architectural Review Board

ARB Certificate of Appropriateness Supporting Statement

The attached ARB Application from Signarama Worthington is for sign face replacement for the existing cabinet sign at 510 High Street in Worthington.

Intrinsic Care Chiropractic is moving into the offices vacated by Royal Oak Financial at 510-B High St. Jerman Family Dentistry is staying in their offices at 510-A High St. This application is to update the sign faces for the businesses.

There is an existing double-sided cabinet sign at 510 High St which is internally lit. This application is to replace the polycarbonate sign faces that are 96" w x 45" h, 30 square feet each. The faces will have the logos, etc. for the existing tenants, Jerman Family Dentistry, and the new tenant, Intrinsic Care Chiropractic. The design of the sign faces will be digital prints on translucent vinyl, applied to polycarbonate.

Upon ARB approval and approval of the sign permit, the new sign faces will be installed by Signarama Worthington. The estimated completion date for the project is August 2017.

Questions regarding this statement should be referred to Dave Mayer, President/Owner, Signarama Worthington, 614-841-1255, dave@signaramaworthington.com.

Submitted by:

David J Mayer
Signarama Worthington
614-841-1255

510 High St.



100-000621 03/26/2014

510 High St

Existing sign



04/13/2011

CITY OF WORTHINGTON
AR 61-17
DRAWING NO.
DATE 7-14-17

**WE CAN NOT PROCEED WITH YOUR ORDER
UNTIL YOU SIGN & FAX THIS PROOF
PH. 614-841-1255 FAX. 614-841-1366**



JOB INFO:

DATE: 7.20.17
NAME: Jerman Family Dental
SIZE: 96"W x 45"H
MATERIAL: Translucent Vinyl on
NOTES: Polycarbonate

SIGN & FAX TO 614.841.1366
Spelling is your responsibility.
Sizes are noted. Drawing is not to
scale. Colors on finished product
may vary from electronic proof. If
you require a press proof, please
check the appropriate box. By
signing this proof, you agree to
the layout and information above.

PLEASE MARK ONE:

PROOF APPROVED AS IS

**CHANGES ARE NOTED,
PLEASE SEND NEW PROOF**
(UP TO 3 PROOFS PROVIDED AT NO CHARGE)

PROVIDE PRESS PROOF
(IF COLOR ACCURACY IS CRITICAL ADD \$25)



PH. 614-841-1255
FAX. 614-841-1366

4.45"H



4.3"H 6.6"H
4.3"H 6.6"H
7.1"H 8"H
2.7"H

Jerman Family Dentistry Font = Berling Lt St Bold
Intrinsic Care Font = Custom Logo Text
Chiropractic Font = Nex Book

QTY - 2

CITY OF WORTHINGTON
AR 61-17
DRAWING NO.
DATE 7-14-17

SIGNATURE:

DATE:



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Amend AR 13-17

Table with application details: Case # AR 162-17, Date Received 7-14-17, Fee \$12, Meeting Date 7-27-17, Filing Deadline, Receipt #

1. Property Location 614 Oxford Street

2. Present/Proposed Use Residential, private home

3. Zoning District

4. Applicant Kristen + AJ Senff

Address 614-Oxford Street, Worthington, OH 43085

Phone Number(s) 614-571-4021

5. Property Owner Same as above

Address

Phone Number(s)

6. Project Description previously approved addition, we have a modification to windows, new front door, and retaining wall/drainage

7. Project Details:

a) Design Cottage/farmhouse door

b) Color Stained wood

c) Size

d) Approximate Cost \$12,000 Expected Completion Date 10/1/2017

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature) [Handwritten Signature]

Date 7/13/2017

Property Owner (Signature) [Handwritten Signature]

Date 7/13/2017

Abutting Property Owners List for
614 Oxford St.

Richard & Deanna Stovall	59 W. New England Ave.	Worthington, OH 43085
Martin Raupple & Amanda Shirilla	55 W. New England Ave,	Worthington, OH 43085
Showe Builders Inc.	45 N. 4th St. Ste 200	Columbus, OH 43215
Jerry C. Olds	623 High St.	Worthington, OH 43085
615 High St. Ltd.	615 High St.	Worthington, OH 43085
Donald & Julia Brogan	38 Short St.	Worthington, OH 43085
Punit & Janelle Agrawal	40 W. Short St.	Worthington, OH 43085
Donald & Heather Miesle	54 W. Short St.	Worthington, OH 43085
Denis & Natalie Moore	60 W. Short St.	Worthington, OH 43085
Diane Smullen	609 Oxford St.	Worthington, OH 43085
Lynn Bird	615 Oxford St.	Worthington, OH 43085
Resident	633 Oxford St.	Worthington, OH 43085
Resident	91 W. New England Ave.	Worthington, OH 43085
William Fallon	PO Box 465	Worthington, OH 43085

Supporting Statement

Architectural Review Board

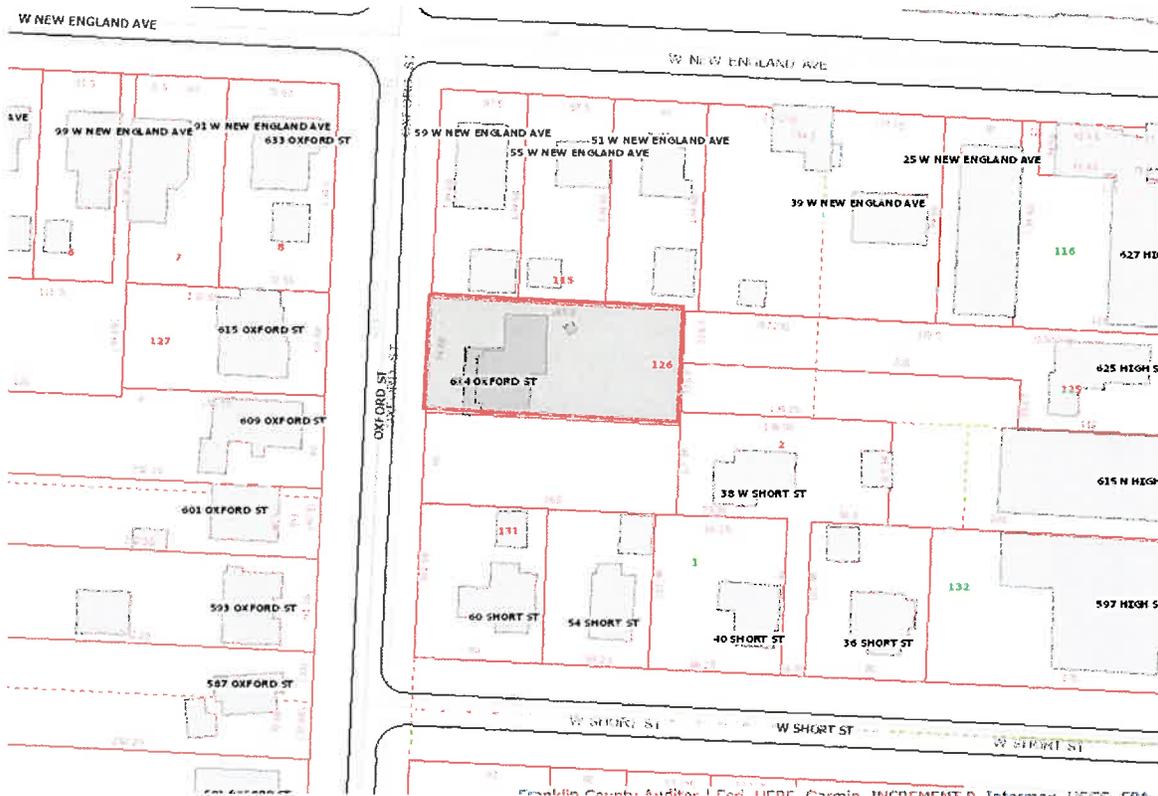
614 Oxford Street

Kristen and AJ Senff

We have a previously approved addition to the rear of our home, on the north side of the property. We have a couple changes to the original submission, which are highlighted below.

- **Modification to windows.** 2 windows on the rear of the addition (east side) are shorter than in original design. This was to accommodate a sink that will be placed under a window on the interior (in the laundry/mud room). On the west side of the addition, a window set that was originally proposed for 2 windows, now has 3 windows. We wanted to add as many windows as the design would allow to keep in line with Worthington design standards, and to enhance the beauty of the addition.
- **Addition of retaining wall/drainage.** As we have done the addition, the downward sloping grade of the lot has become more magnified. As a result, we need to add a retaining wall that will span the perimeter of the addition on 3 sides to keep the grade away from the siding of the home. From the exterior, almost all of the retaining wall will be underground. In addition, perforated drains will be added on the inside and outside of the retaining wall to aid with water drainage. We have met with the building department to propose this plan, as well as the product used, and they have agreed with our recommendation. Drawings and samples of the materials are included in the application.
- **New front door.** We are proposing replacing the existing front door and glass door. We are planning to remove the screen/glass door, and add a new wood front door, with approximately 2/3 glass, 6-lite. This will allow a more welcoming front entry consistent with the style of the home, as well as allow more light to enter the home. Doorknob will be an aged bronze finish to match the rest of the home. Images are included in application for the door and knobset.

614 Oxford St.



100-000708 04/10/2014

BELAIR WALL[®]

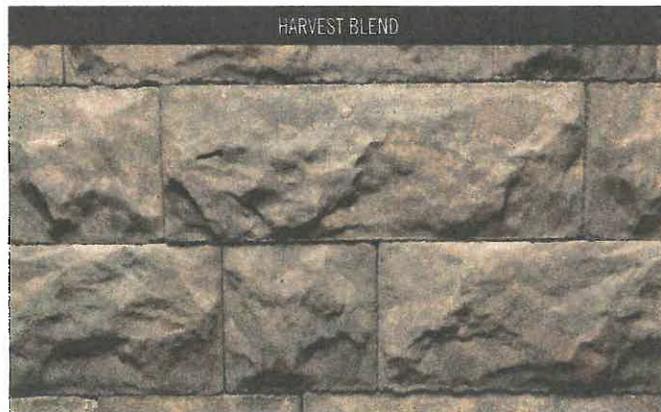
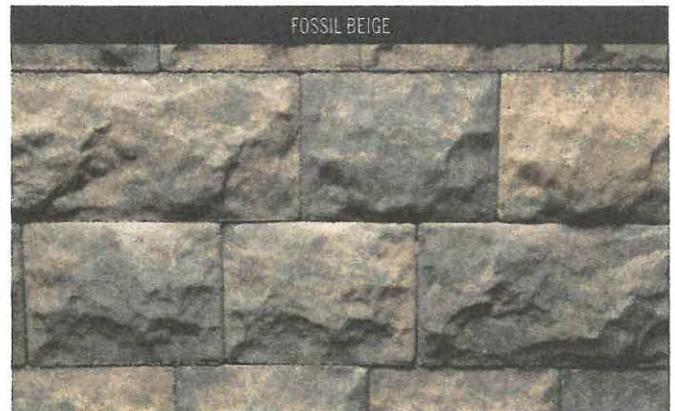
Freestanding Wall



RESIDENTIAL	COMMERCIAL	STEPS	COLUMNS	FIRE PIT	RETAINING WALLS	MAILBOX	FINISHES					
							STRAIGHT	BENELED	NATURAL	SPLIT FACE	WEATHERED	ANTIQUED
✓	✓	✓	✓	✓		✓	✓		✓			

PRODUCT SPECIFICATIONS

6" Freestanding Wall	Corner / Column	Cap
6x8 / 6x11 6x16 / 14x11 	6x16x8 	3x7 / 8x13 1/2



CITY OF WORTHINGTON
 AR 62-17
 DRAWING NO.
 DATE 7-14-17



Greentree Door Company

891 Rudolph Way
Greendale, IN 47025-8313

Phone: 812-537-4090
Fax: 812-537-7029

www.greentreedoors.com

Customer QUOTATION
QUOTE EXPIRES
Quote Not Certified

BILL TO:

SHIP TO:

Phone:

Fax:

Phone:

Fax:

QUOTE NAME	PROJECT NAME	CUSTOMER PO#	DATE REQUESTED
OXFORD	KRISTEN SENFF		1/1/0001
QUOTED BY	TERMS	SHIP VIA	QUOTE NUMBER
jogden			TBD

LineItem #	Description	Net Price	Quantity	Extended Price
100-1		\$1,447.60	1	\$1,447.60

*** Product ***

Mahogany Entry Door Pre-Hung 37.75 x 82.5

*** Door Options ***

Material Type = Mahogany, Door Style = BDL 6-Lite 3680, Lite Size = Beveled Divided Lite, Bore = Double, Handing & Swing (viewed from outside) = Left Hand Inswing, Glass Design and Inserts = Beveled Divided Lite



*** Frames ***

Jamb Size = 6-5/8, Sill Type = Standard, Sill Finish = Bronze

*** Hardware ***

Hinge Finish = Oil Rubbed Bronze (US10B), Lockset = None

*** Stain and Paint Colors ***

Prefinish = None

*** Wrapping - Exterior Casing ***

Brickmold Attached = Yes

*** Wrapping - Overall Dimensions ***

Overall Frame Width = 37.75, Overall Frame Height = 82.5, Overall Rough Opening Width = 38.25, Overall Rough Opening Height = 83

CITY OF WORTHINGTON
AK 102-11
DRAWING NO.

DATE 7-14-17

F60 ADD 505 SIE

Finish: Bright Brass **Handing Options: Bright Brass**

[Pin it](#)

[Save](#)



FEATURES

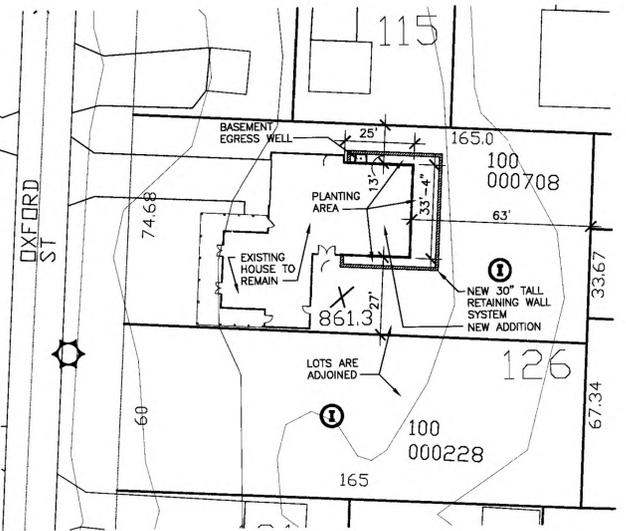
SPECIFICATIONS

HOW-TO CENTER

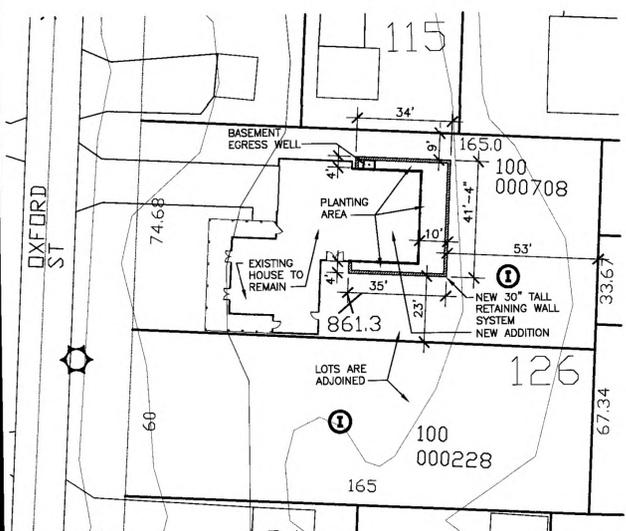
CITY OF WORTHINGTON
AD 62-17
DRAWING NO.

DATE 7-14-17

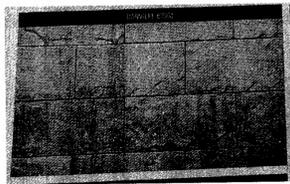
**PROPOSED NEW ROOM ADDITION FOR THE RESIDENCE AT
 614 OXFORD STREET WORTHINGTON, OHIO 43085**



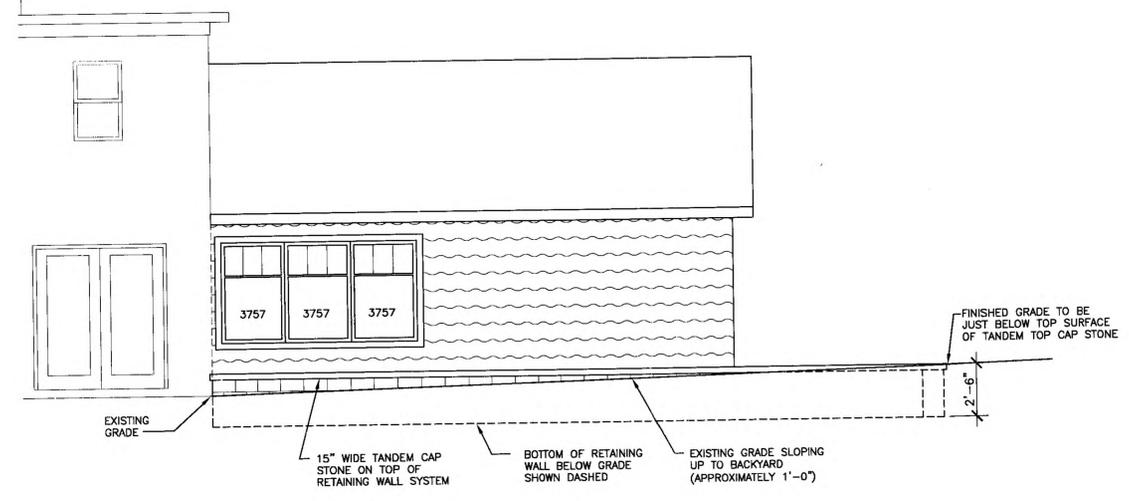
site plan
 1" = 30'-0"



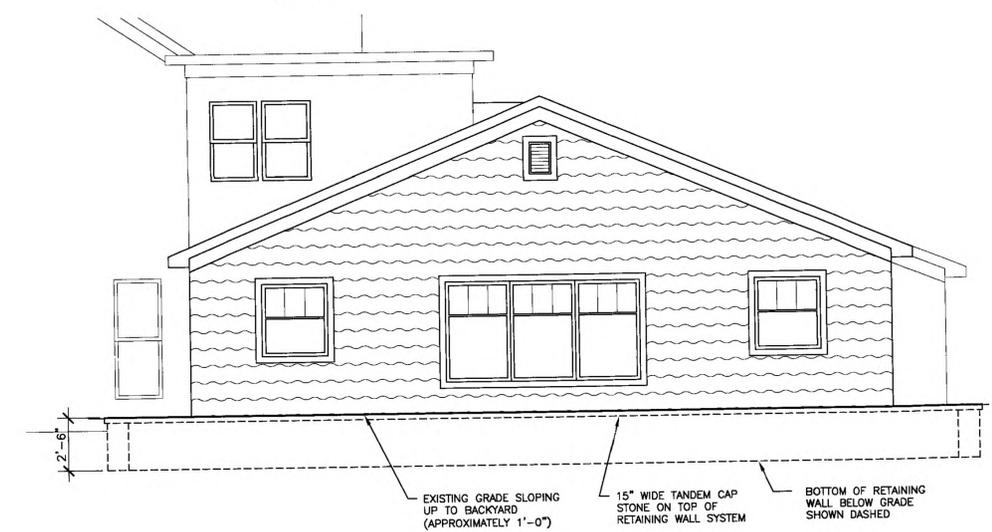
site plan
 1" = 30'-0" RETAINING WALL DIMENSIONS



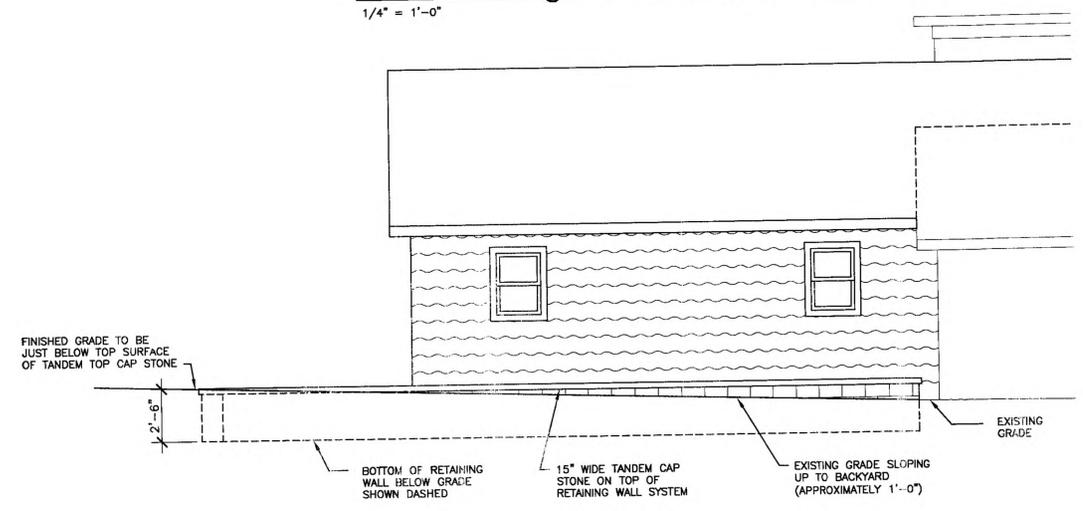
exterior style of retaining wall face
 N.T.S.



proposed south retaining wall elevation
 1/4" = 1'-0"



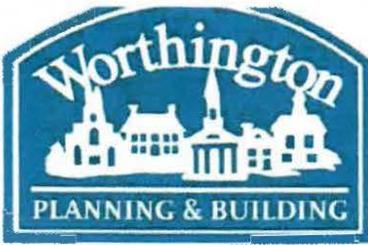
proposed south retaining wall elevation
 1/4" = 1'-0"



proposed north retaining wall elevation
 1/4" = 1'-0"

CITY OF WORTHINGTON
 AR 162-17
 DRAWING NO.
 DATE 7-14-17





City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Case # AR 63-17 Date Received 7-14-17 Fee \$150 Meeting Date 7-28-17 Filing Deadline Receipt # 63965

- 1. Property Location 822 Oxford St.
2. Present/Proposed Use Single Family Home
3. Zoning District R-10
4. Applicant James Ross

Address 6120 Crystal Valley Dr. Galena Ohio 43021
Phone Number(s) 614 204 5661

- 5. Property Owner Jim and Debbie Campbell
Address 1139 Baumuck Dr Columbus Ohio 43235
Phone Number(s) (614) 783-6105

6. Project Description Changing first floor layout to accommodate a first floor master, new kitchen, and bigger Family Room

- 7. Project Details:
a) Design New Plygem white vinyl Replacement windows (Grids BTWN Glass)
b) Color New Hardi Cement Siding & Trim/White
c) Size Moving/Removing some windows on N, S, E SIDES OF HM.
d) Approximate Cost 150K Expected Completion Date END OF Jan 2018

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME: The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

James Ross
Applicant (Signature)

7-14-17
Date

[Signature]
Property Owner (Signature)

7/12/2017
Date

Abutting Property Owners List for
822 Oxford St.

Christopher & Jason Bradley-Krauss	844 Oxford st.	Worthington, OH 43085
Lee & Jolene Spector	55 W. Stafford Ave.	Worthington, OH 43085
Louis & Jennifer Flocken	810 Oxford St.	Worthington, OH 43085
Jessica Boucher	817 Oxford St.	Worthington, OH 43085
Earl & Linda Riley	821 Oxford St.	Worthington, OH 43085
Jeffrey & Cherie Nelson	837 Oxford St.	Worthington, OH 43085

Supporting Statement for City of Worthington Architectural Review Board:

We recently purchased the home on 822 Oxford Street. In order to accommodate our lifestyle as well as address some needed maintenance, updates are required. We have worked closely with Jim Ross of Ross Builders and Design to prepare a plan for these changes. All intended modifications include elements we believe were previously approved as part of an addition performed on the 822 Oxford home several years ago. This addition included new windows as well the use of Hardiplank siding. Our vision is to complete a first floor renovation to achieve a layout consistent with our preferences and lifestyle as well as update the balance of the home with new, previously approved Hardiplank siding and windows. The interior renovation will require some changes to window location which are outlined in Jim Ross's design plans. None of these changes are on the front of the home and only minor on the North and East side of the home. The internal renovation will include converting a dining room / sun room to a first floor master/master bath, opening up and updating the kitchen and expanding the family room. A new garage door will also be added using a design consistent with those used currently in many Worthington homes.

Jim and Debbie Campbell

822 Oxford St.

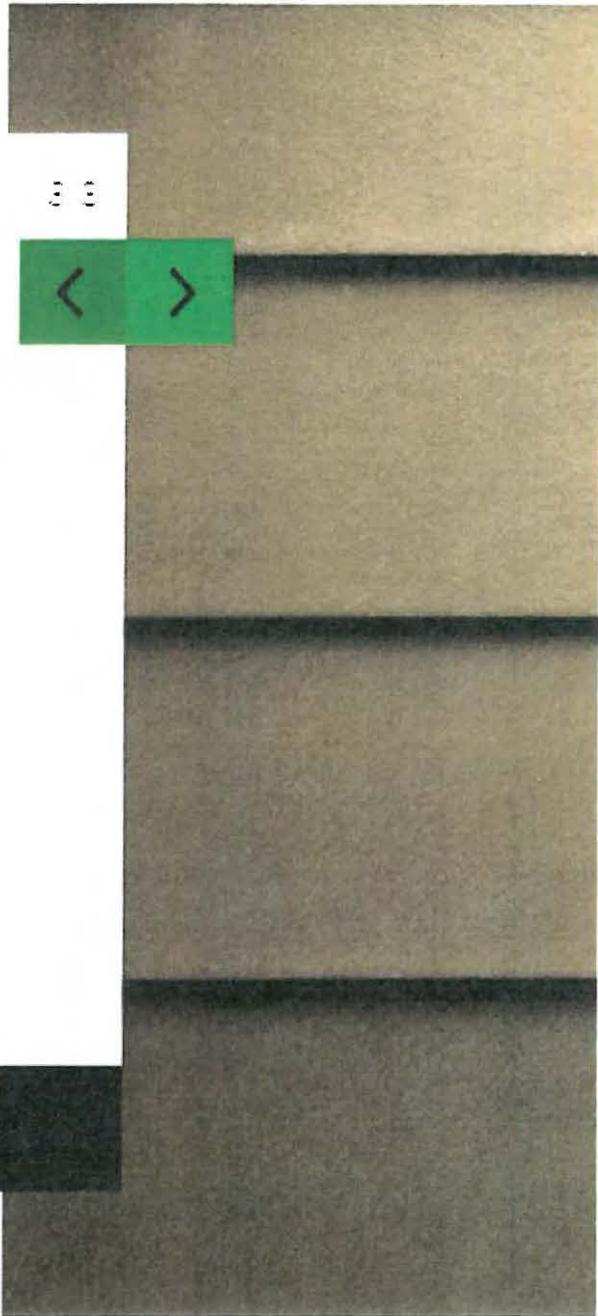


100-000531 04/10/2014

HardiePlank® Lap Siding SMOOTH

THICKNESS:	0.812			
LENGTH:	124" standard			
WIDTHS:	8" 25	8" 25	8" 25	8" 25
EXPOSURES:	4"	8"	8"	8"
	12" -	9" 25" +		
	10" 75"	8"		

This Siding & Exposure. Try Match Cement Trim on North Addition. in white



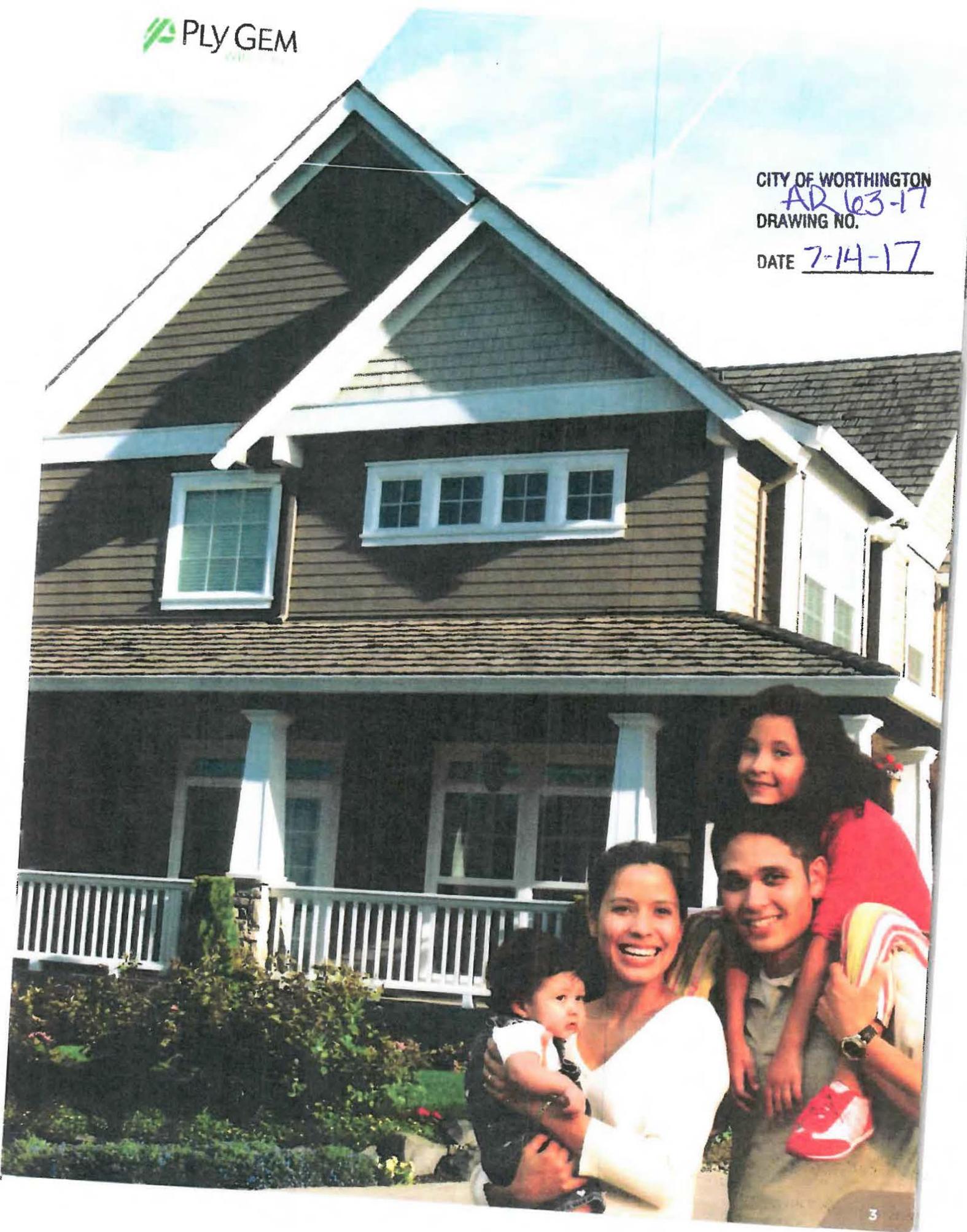
[Download Product Catalog](#)

CITY OF WORTHINGTON
AR 163-17
DRAWING NO.
DATE 7-14-17

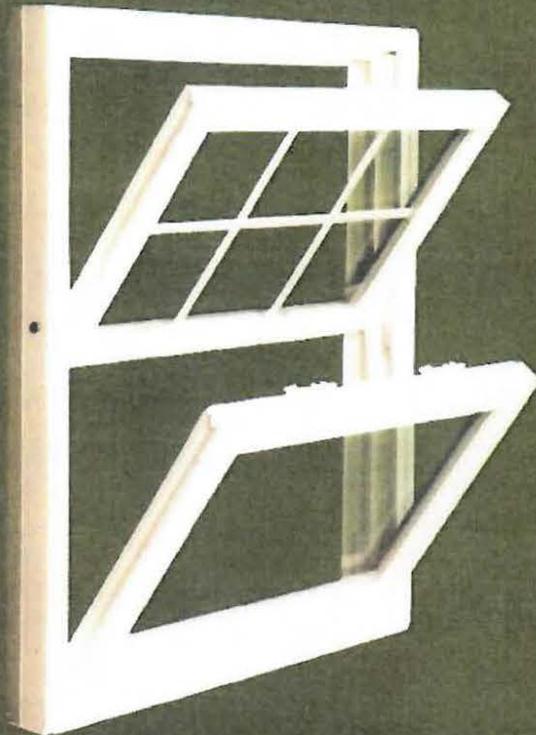
CITY OF WORTHINGTON

AR 63-17
DRAWING NO.

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DOUBLE HUNG WINDOW



Color Options



Colors are reproduced as accurately as printer technology allows. Please see your authorized Ply Gem Windows representative for actual samples.

FEATURES

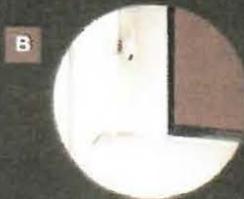
1. New, equal sightline sash to match traditional wood window appearance
2. Ventilation limit-locks for added security when windows are partially open. Optional child safety vent latch available
3. Fusion-welded frames and sash stay strong and in place for a lifetime of dependable performance
4. Fin and pile weatherstripping on both sash and mainframe for protection against air, dust and moisture
5. Constant force balance system
6. New, sleek, low-profile design — two cam-action locks on windows over 25" wide
7. Warm Edge (standard) or Warm Edge+ (optional upgrade) spacer systems and HP or HP^{MAX} glass package options offer increased energy efficiency
8. Lift rail for ease of operation
9. Ergonomically designed tilt latch buttons for easy tilting in of both sash makes it easy and safe to clean the exterior of window
10. New Generation uPVC vinyl never needs painting or caulking and resists conducting heat and cold
11. Extruded aluminum half screen with fiberglass mesh
12. SillLock design — featuring sloped sill to keep windows dry and weather-tight seal at sill
13. Integral interlock and dual fin and pile weatherstripping on both sash and mainframe for protection against air, dust and moisture



A Cam-action locks



C Optional child safety vent latch



B Ventilation limit latches



D Tilt latch for ease of cleaning

1. Most double hung windows meet a Design Pressure (DP) of 35.

CITY OF WORTHINGTON

AR 63-17

DRAWING NO.

DATE 7-14-17

CUSTOM GRILLES

* This Grill Selection

GRILLES BETWEEN THE GLASS



1/2" Flat Colonial



1/2" Flat Diamond



1/2" Flat Parimeter



3/4" Sculptured Colonial



1" Sculptured Colonial

ICON GLOSSARY

Below is a glossary of our icons that you will see throughout the Ply Gem Windows Replacement brochures. These icons identify features and benefits for each window so you can easily understand what is available to you with each style.



WARM EDGE TECHNOLOGY

The Warm Edge glass spacer system within Ply Gem Pro Series Replacement windows reduces thermal transfer around the glass perimeter by utilizing a unique U-shaped channel to separate glass panes and interrupt the natural flow of heat to cold. Warm Edge is one continuous piece creating a stronger, more energy-efficient insulated glass unit. Plus it flexes with glass expansion and contraction to ensure a strong seal for the life of the window.



SIL LOCK

Pro Series Replacement double hung windows with SILlock are built with a sloped sill which forces water to drain to the exterior of the window, keeping your windows dry. This unique design also ensures a tight weatherstrip contact at the sill.



WARM EDGE+ TECHNOLOGY

The Warm Edge+ Spacer System has all of the features of the Warm Edge Spacer, but utilizes a new, less conductive material which provides a lower U-Factor.



CUSTOM SIZING

Ply Gem windows and patio doors can be ordered in 1/8 inch increments to accommodate any replacement application providing a perfect fit and minimizing installation time and special trimming requirements.



R-CORE[®] INSULATION

Available as an option on the Ply Gem Windows Pro Series, the vinyl mainframes can be filled with patented R-Core[®] offers more than twice the insulating performance as the typical wood frame and nearly four times more than hollow vinyl or aluminum frames.

* U.S. Patent Number 4,516,296



COASTAL HARDWARE

Typical hardware can easily become corroded or damaged when exposed to constant salt in the air. Ply Gem windows with coastal hardware will consistently stand up to saltwater and other harsh coastal conditions.



NEW GENERATION VINYL

Wood or metal windows can stick when they swell or deteriorate from corrosion. New Generation Vinyl withstands harsh weather and wear-and-tear better. Ply Gem Pro Series Replacement windows are constructed with rugged, maintenance-free New Generation uPVC. Its low conductivity and high energy-efficiency properties are ideal for Ply Gem's advanced window construction. And because vinyl's base color is solid through-and-through, you'll never need to paint or stain these windows.



DP CERTIFIED

Ply Gem Pro Series Replacement windows are tested to meet the air, water and structure requirements of AAMA/WDMA 101/LS 2. Our products meet a Design Pressure (DP) rating of 35 (double hung) to as high as DP70 operating casement (gateway size of 24" x 60"). With advanced level engineering and top-notch innovation, you are assured of the most durable, high-performing windows available nationwide.



PINCH FUSION WELDING

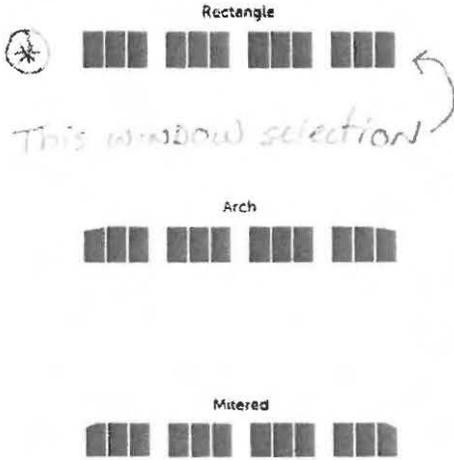
Ply Gem Pro Series Replacement windows are entirely fusion-welded – sashes and mainframes – to create a solid, one-piece unit that maintains its strength over the years. Our state-of-the-art fusion process ensures frame and sash corners won't have the excess variance found with other welding techniques.

CITY OF WORTHINGTON
AR 63-17
DRAWING NO.
DATE 7-14-17

Place Garage Doors

Select from the images below.

Select garage door type and drag over your image size. Image is moving to the end points of the door's text outline to the desired position.



ZOOM + - X RESET X REMOVE

TO PAN THE IMAGE ON SCREEN: Press and hold the [SPACEBAR], then left click the photo with your mouse. While holding the [SPACEBAR], mouse movement will change the placement of the image on screen.

TO ZOOM THE IMAGE ON SCREEN: Use your mouse wheel to zoom the image in or out.

For best results, apply the same door configuration as existing.

Show Preview

Send Feedback

Disclaimer: Actual products and colors may vary from the images displayed here. We strongly recommend that you view actual product samples before making a final product color selection. If you are having difficulty with the site, please contact Chameleon Power at 866-380-5080 for assistance.

Wayne Dalton

- Model 9510
- Designer Steel "Vicksburg"
- White
- Stockbridge 3 Panel

CITY OF WORTHINGTON
AR 63-17
DRAWING NO.

DATE 7-14-17



DALTON ADVANTAGES

Dalton's Model 9510 Designer Steel features tall section heights, large windows, and a full-section embossment sure to catch the eyes of neighbors, friends and anyone walking by. This door also has the TorqueMaster® Plus balance system's exclusive spring and anti-drop safety technology as well as pinch-resistant door panels. The 9.5 R-value* of 12 and WindSafe® options to comply with building codes in high wind regions.

* Dalton uses a calculated door section R-value for our insulated doors.

IGN

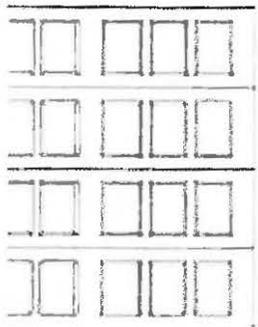
COLORS

WINDOWS

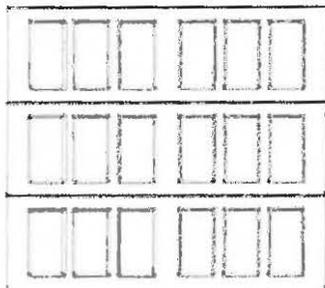
HARDWARE

FEATURES

DOCUMENT



Vicksburg (8ft.)

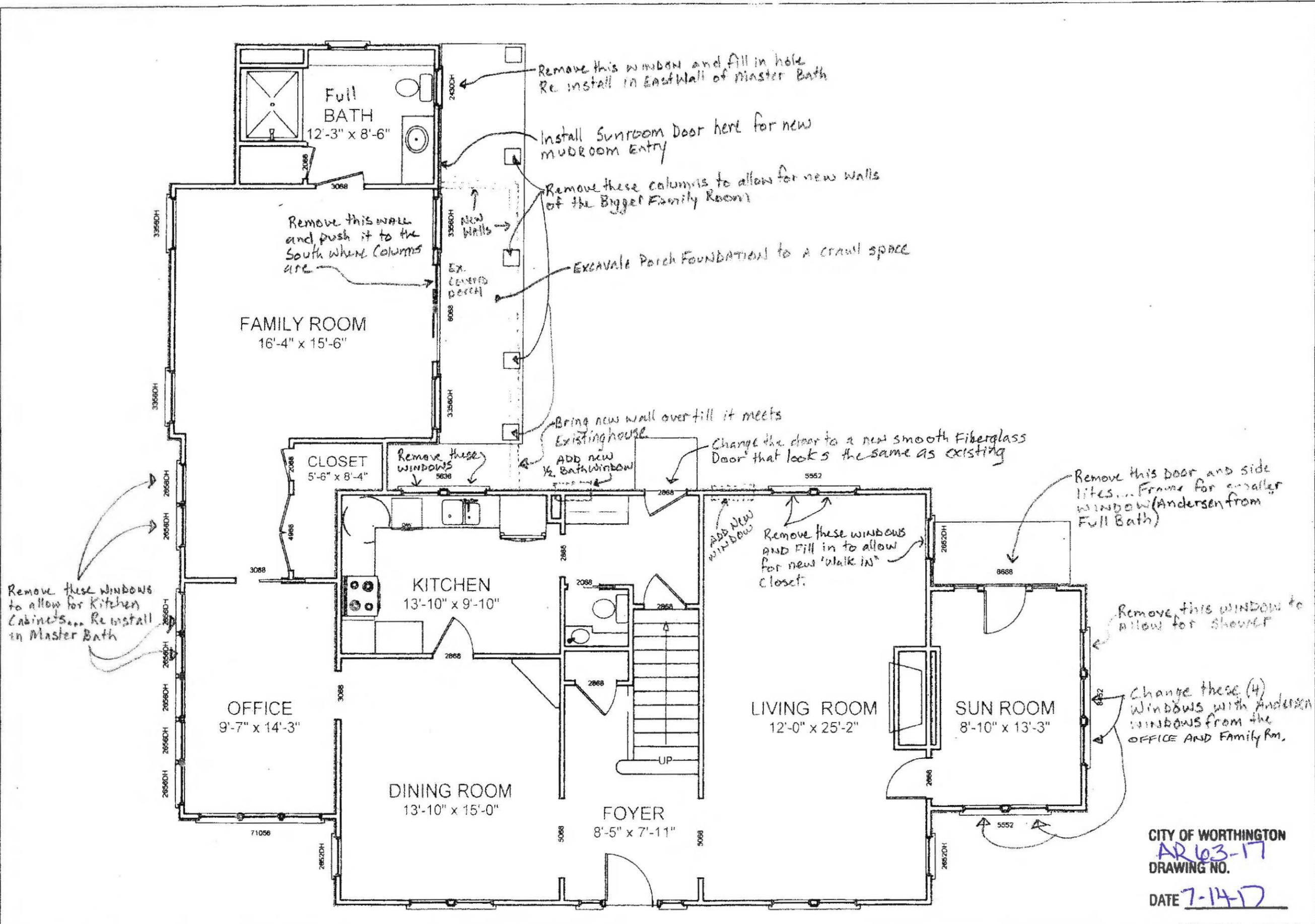


Vicksburg (7ft.)

** This panel below windows in 'White' - 16'x7' Door*



CITY OF WORTHINGTON
AR 63-17
DRAWING NO.
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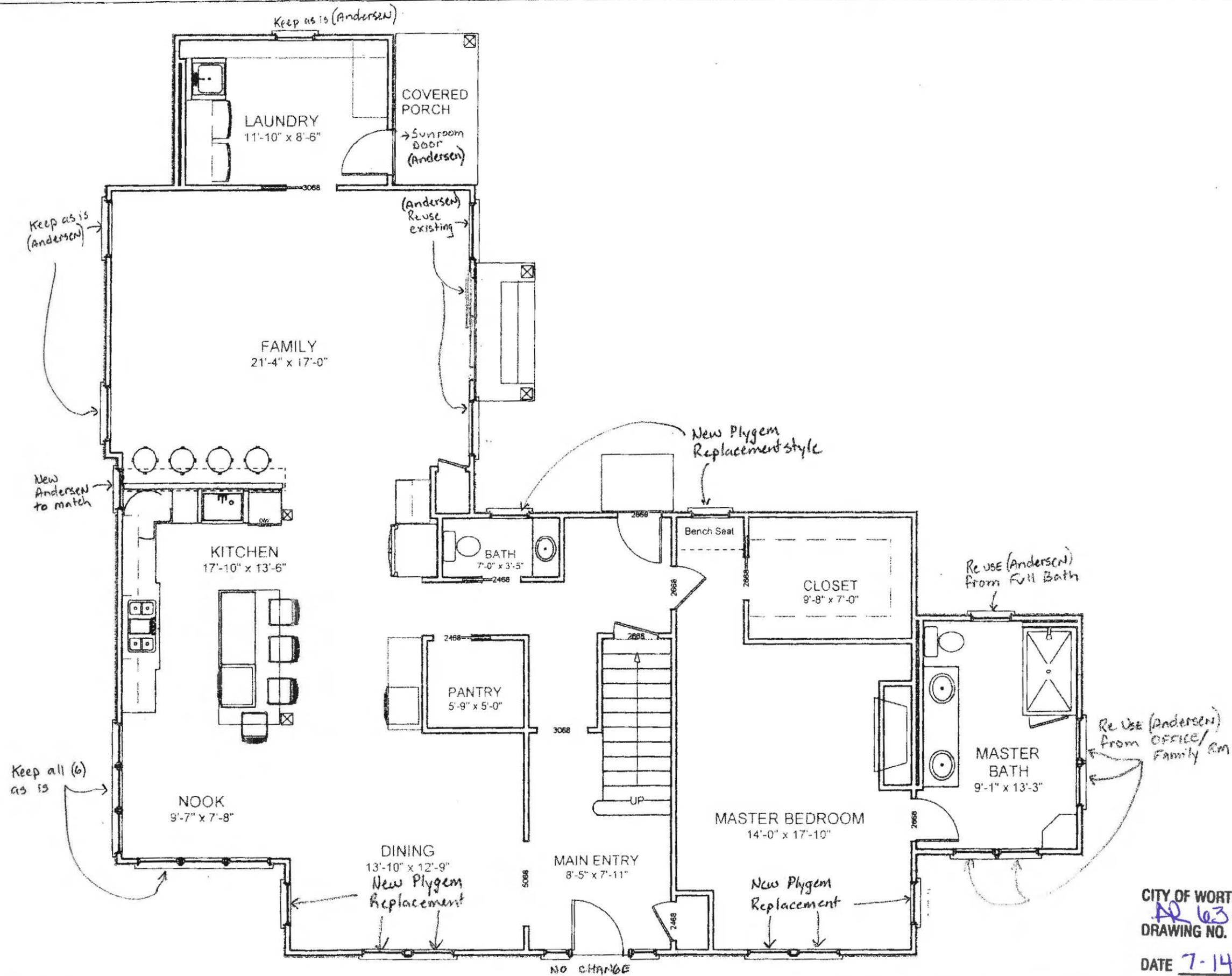
Ross Builders and Design
 6120 Crystal Valley Dr
 Galena, OH 43021
 614-204-5661

Plan #: EXISTING Floor Plan
 Scale: $\frac{3/16" = 1'}$
 Date: 7-12-17

The Campbell Residence
 822 Oxford St.
 Worthington Ohio 43085

ROSS
 BUILDERS AND DESIGN

CITY OF WORTHINGTON
 AR 63-17
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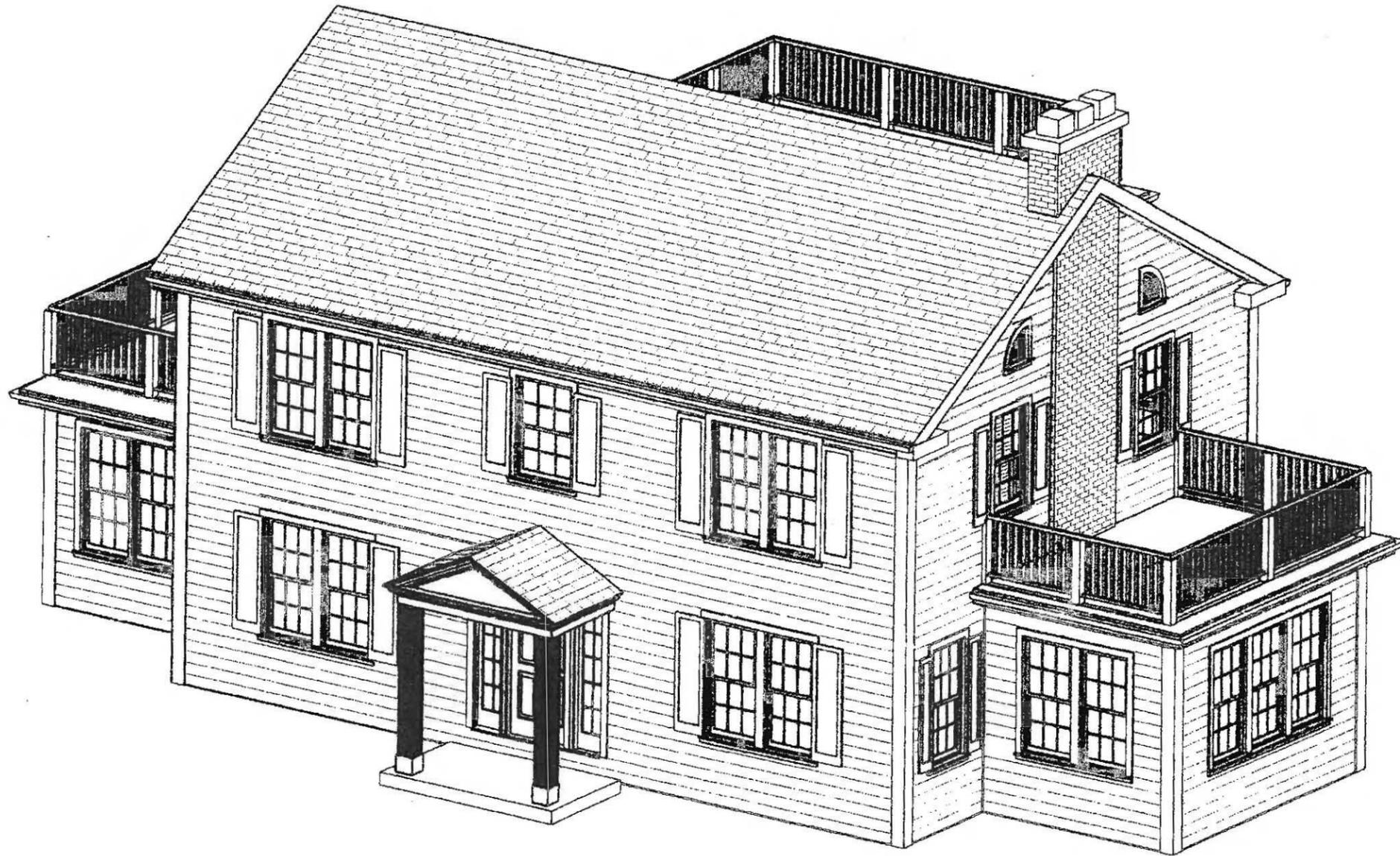
Ross Builders and Design
 6120 Crystal Valley Dr
 Galena, OH 43021
 614-204-5661

Plan #: New First Floor
 Scale: 3/16" = 1'
 Date: 7-12-17

The Campbell Residence
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 Worthington Ohio 43085

ROSS
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CITY OF WORTHINGTON
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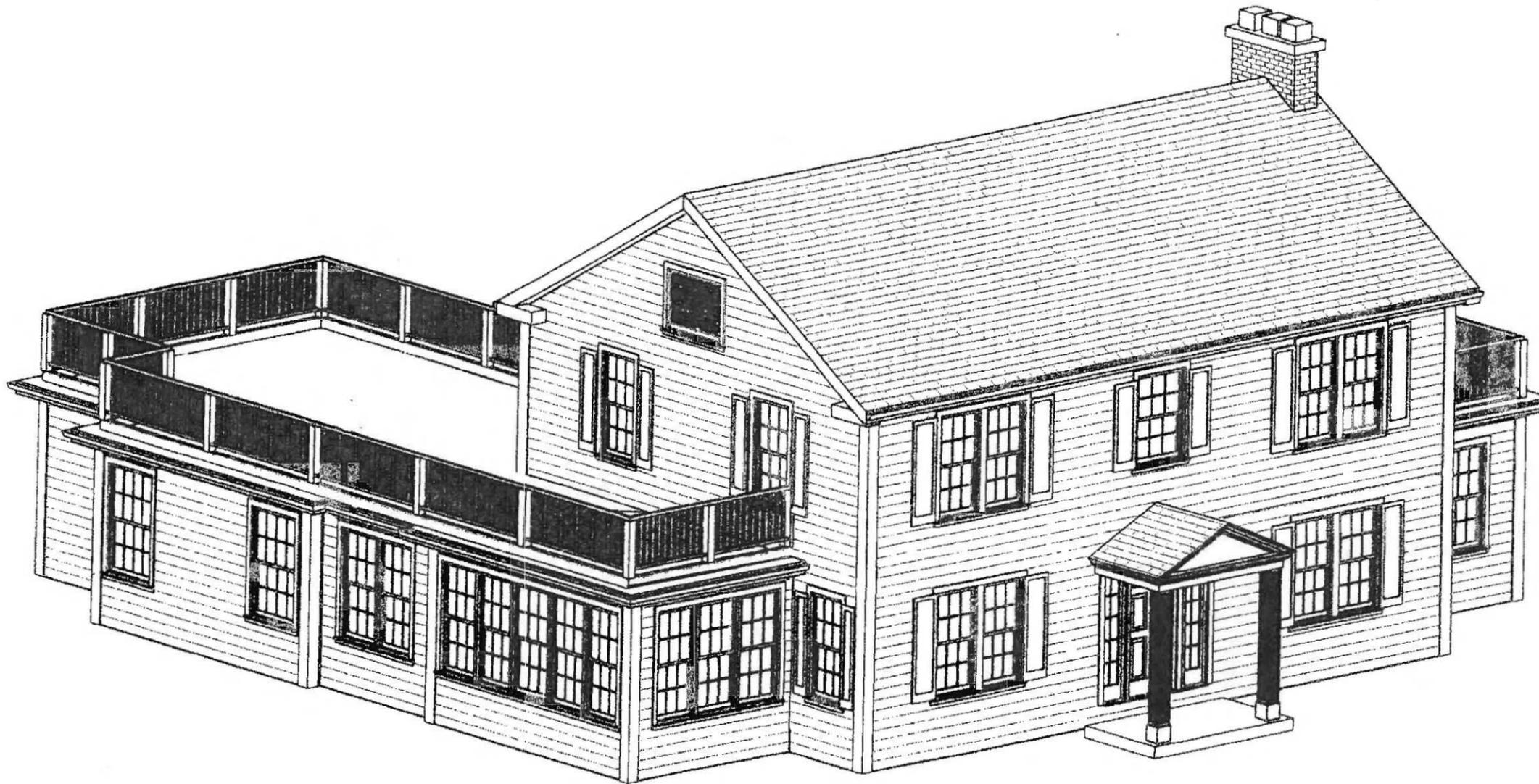
P3

Plan #: Existing SW Perspective
Scale: N/A
Date: 7-12-17

The Campbell Residence
822 Oxford St.
Worthington Ohio 43085

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CITY OF WORTHINGTON
AR 163-17
DRAWING NO.
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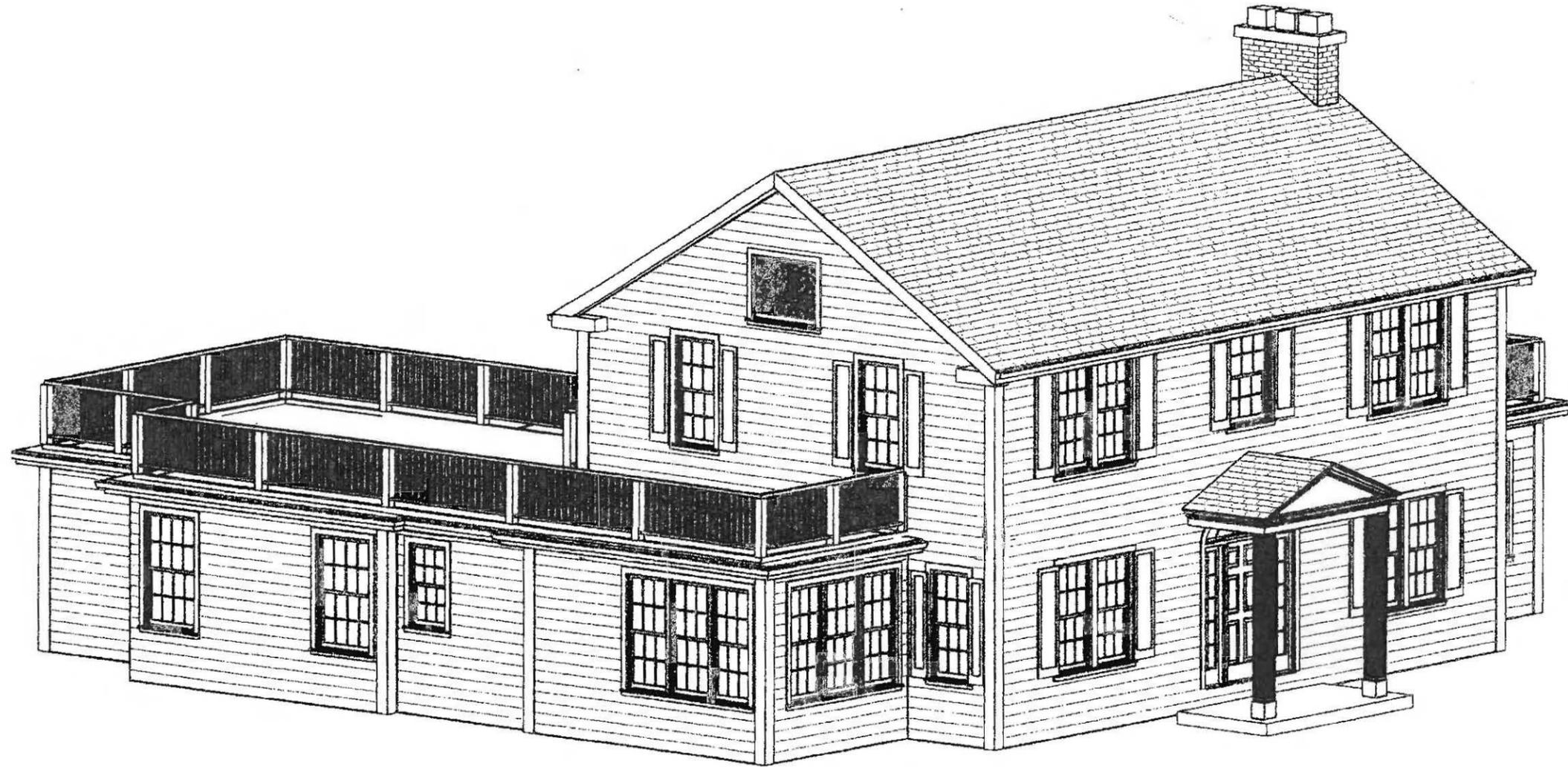
PH

Plan #: Existing NW Perspective
Scale: N/A
Date: 7-12-17

The Campbell Residence
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CITY OF WORTHINGTON
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DATE 7-14-17



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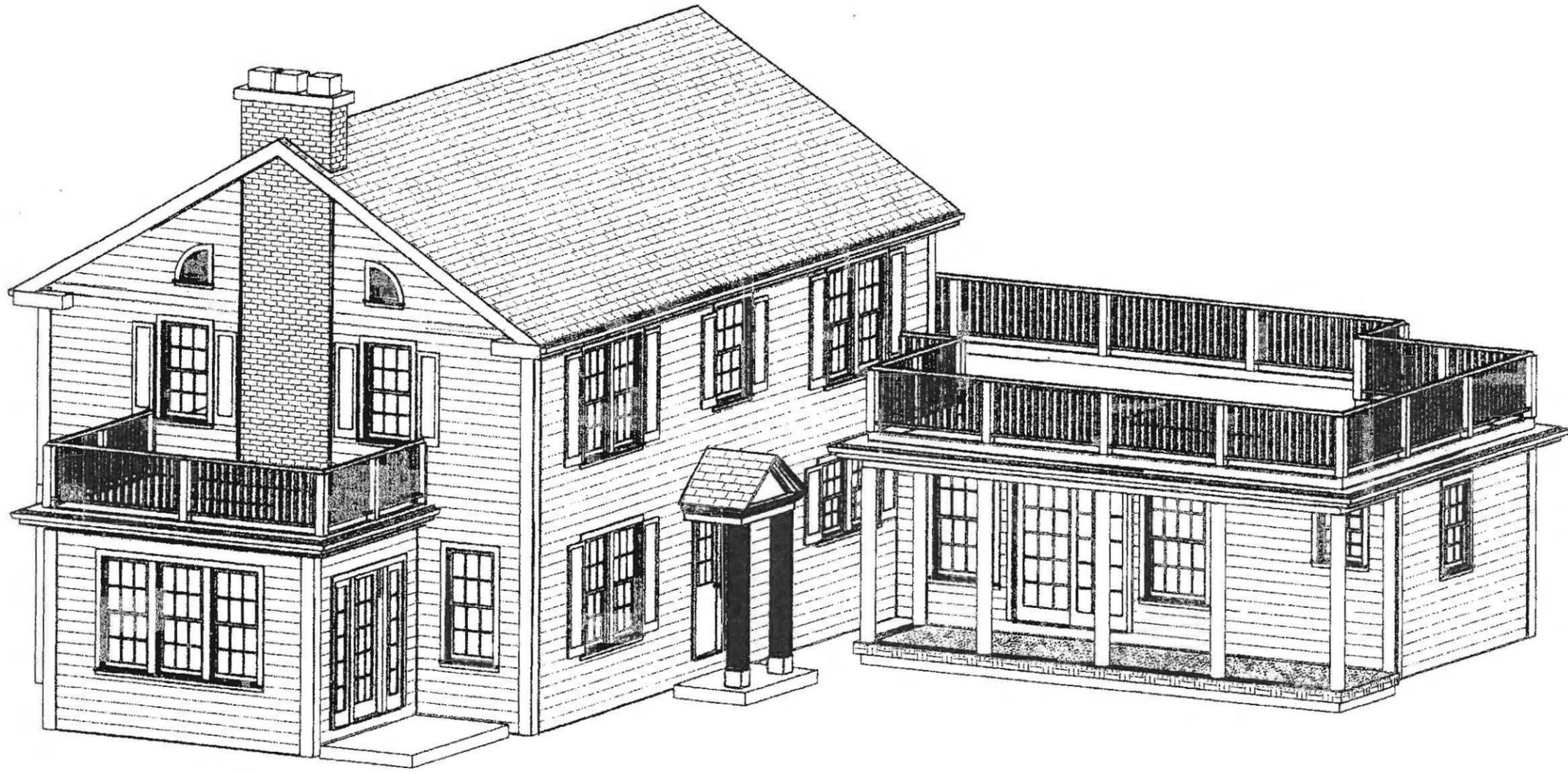
P5

Plan #: New NW Representative
Scale: N/A
Date: 7-12-17

The Campbell Residence
822 Oxford St.
Worthington Ohio 43085

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CITY OF WORTHINGTON
AR 63-17
DRAWING NO.
DATE 2-14-17



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Galena, OH 43021
614-204-5661

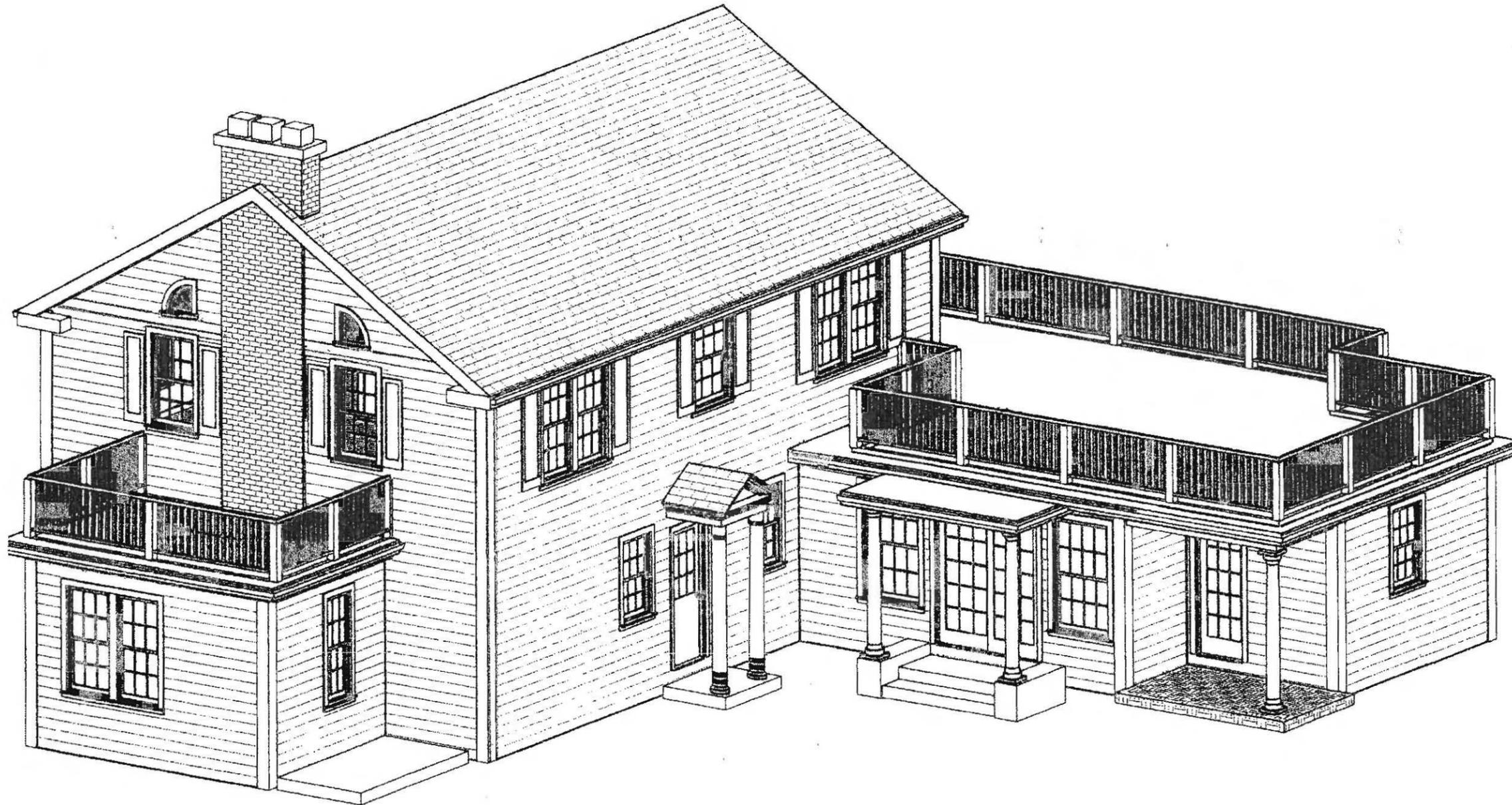
P6

Plan #: Existing SE Perspective
Scale: N/A
Date: 7-12-17

The Campbell Residence
822 Oxford St.
Worthington Ohio 43085

ROSS
BUILDERS AND DESIGN

CITY OF WORTHINGTON
AR 63-17
DRAWING NO.
DATE 7-14-17



Ross Builders and Design
6120 Crystal Valley Dr
Galena, OH 43021 (P7)
614-204-5661

Plan #: New SE Perspective
Scale: N/A
Date: 7-12-17

The Campbell Residence
822 Oxford St.
Worthington Ohio 43085

ROSS
BUILDERS AND DESIGN

CITY OF WORTHINGTON
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DRAWING NO.
DATE 7-14-17