



**ARCHITECTURAL REVIEW BOARD  
MUNICIPAL PLANNING COMMISSION  
-AGENDA-  
Thursday, November 10, 2016 at 7:00 P.M.**

Louis J. R. Goorey Worthington Municipal Building  
The John P. Coleman Council Chamber  
*6550 North High Street  
Worthington, Ohio 43085*

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the October 27, 2016 meeting
4. Affirmation/swearing in of witnesses

**B. Architectural Review Board**

**1. New**

- a. Windows – **324 E. Granville Rd.** (APCO Industries/Zack) **AR 127-16**

**C. Municipal Planning Commission**

**1. Amendment to Development Plan - Unfinished**

- a. Signage – **160 W. Wilson Bridge Rd.** (Worthington Square Acquisition, LLC)  
**ADP 08-16**

**2. Subdivision without Plat**

- a. Lot Split – **6069 Olentangy River Rd.** (Jamie & Katy Burrier/Chase) **SWOP 02-16**

**B. Architectural Review Board** (continued)

**2. Unfinished**

- a. Holiday Inn Site Redevelopment – **7007 N. High St.** (Alliance Hospitality, Inc.)  
**AR 32-16**

**D. Other**

**E. Adjournment**



## MEMORANDUM

TO: Members of the Architectural Review Board  
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: November 4, 2016

SUBJECT: Staff Memo for the Meeting of November 10, 2016

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### **B. Architectural Review Board**

#### **1. New**

- a. Windows – **324 E. Granville Rd. (APCO Industries/Zack) AR 127-16**

#### **Findings of fact & Conclusions**

##### **Background & Request:**

This house was constructed around 1900, and is two-stories with a clipped gable on the front and a cross gable at the rear. There is a one-story sunroom in the front (southeast corner), and a one-story gabled area extends to the rear. The lap siding on the house is wood, and is being replaced as necessary. A variety of window sizes and styles is in place, with many appearing to be original to the house and some having been replaced. Most of the windows have sashes that are tan in color.

The new owner is remodeling the house and would like to replace 12 of the original windows.

##### **Project Details:**

1. All of the new windows are proposed to be Jeld-Wen, wood clad in “Desert Sand” colored aluminum with simulated divided light mullions. The wood trim on the exterior would remain.
2. On the front of the house, only the first floor window to the west is proposed for replacement. The window is double hung, and tall and narrow with “wavy” glass. The applicant indicates a pair of double-hung windows on the second floor was replaced with clad wood windows in recent years, before the purchase by the current owner. The windows do not have divided lights, but the owner indicates grids could be made. The

other front windows are part the sunroom on the east side of the first floor. Those windows are double-hung wood windows with 6 over 6 lights.

3. In the rear part of the house there is a narrow window facing south that is likely proposed for replacement. It is also wood with “wavy” glass.
4. On the west side, the first floor windows are proposed for replacement. The windows are also tall and narrow, and likely have “wavy” glass although it is difficult to tell due to the existing storm windows and screens. The window on the second floor was replaced as stated above.
5. The rear elevation has one first floor window and two smaller second floor windows that are proposed for replacement. There is also a window on the east side of the rear one-story part of the house that would be replaced.
6. The east side of the east-west gable has 2 windows proposed for replacement, 1 upstairs and 1 downstairs. There is also a second floor window in the front part of the north-south gable that would be replaced.

### **Land Use Plans:**

#### Worthington Design Guidelines and Architectural District Ordinance

Retention and repair of existing historic windows is always preferable to replacement. Because they usually comprise so much of a building’s exterior surface, windows are a major part of its character. Keeping them is one of the most important ways to protect that character. Even non-original windows may be of sufficient age and design quality to warrant their retention.

If energy efficiency is a concern, interior or exterior storm windows can greatly increase the insulating quality of windows. Some interior storm windows are held in place by magnetic strips and are easy to remove for cleaning and maintenance; many exterior storm windows slide in tracks and include screens so windows can be opened in warm weather. In some thicker window sashes it may be possible to re-glaze with insulated panes -- but avoid removing historic “wavy” glass to do so; use storm windows instead. If these measures do not provide adequate energy efficiency, new replacement windows may be appropriate.

If historic windows are too deteriorated to repair cost effectively and replacement is justified, the preferred option is an in-kind replacement in the same material and design. This usually means real wood windows with true through-the glass muntins (if appropriate) in dimensions and profiles that duplicate the originals.

Refer to the style guide and be sure that window designs are appropriate for the style or time period of the house. Multiple-paned windows, for example, are not appropriate for a Four-Square house or a Ranch, but they are fine for a Colonial Revival style house. Avoid use of inappropriate window designs.

Some earlier houses may have been re-done with later windows. In general, it is better to retain the older non-original windows (since they probably are quite old themselves, even if not original) than to replace them with new ones. If the non-original windows are deteriorated and require replacement, it would be appropriate either to return to an original window design (with true muntins; refer to the style guide) or to install new 1-over-1 windows.

**Recommendations:**

As the Guidelines suggest, retention and repair of existing historic windows is always preferable to replacement. Retention of “wavy” glass is important to honor the history and character of structures. At the very least, retention of the historic windows that face south should be required. If the other windows are too deteriorated to repair, replacement with wood windows to match the existing is preferred. The addition of muntins to create a divided light look is not appropriate for the style and age of this house. Having divided light windows in the sunroom and garage does not warrant adding that look to the rest of the house.

**Motion:**

**THAT THE REQUEST BY APCO INDUSTRIES ON BEHALF OF THOMAS ZACK FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE WINDOWS AT 324 E. GRANVILLE RD., AS PER CASE NO. AR 127-16, DRAWINGS NO. AR 127-16, DATED OCTOBER 26, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**C. Municipal Planning Commission****1. Amendment to Development Plan - Unfinished**

- a. Signage – 160 W. Wilson Bridge Rd. (Worthington Square Acquisition, LLC) ADP 08-16

**Findings of fact & Conclusions****Background & Request:**

The Heights at Worthington Place was approved and constructed between 2012 and 2015, and the residential units are substantially occupied. The Ohio State University Wexner Medical Center is planning to move offices into the first floor commercial space. The future second floor tenant has not been identified.

As part of the previous Development Plan approvals, 2 wall signs were approved to be painted on the building. One sign is on the back of the building facing the Shops, and one is above the parking garage entrance along Corporate Hill Dr. Also, address numbers were approved at both locations. Temporary signs have been installed in the windows and on the building over the last couple of years.

This request is to allow permanent wall, freestanding and directional signs for both the residential and commercial tenants of the building.

**Project Details:**

1. The proposed freestanding sign (A) would be located near the intersection of W. Wilson Bridge Rd. and Corporate Hill Dr. The proposed sign would be 6’8” high x 7’6” wide (50 square feet in area per side), and sit on a 3’ high x 7’6” wide x 18” deep stone base in the same material as the building. The base would be built into the slope of the ground in front of the building.

The sign is proposed with 3 roughly equal tenant spaces, and an address in a pediment on top. The top panel would identify “The Heights Luxury Apartments”; in the middle would be “The Ohio State University Wexner Medical Center”; and the future office tenant for the second floor is proposed at the bottom.

Construction would be with aluminum, with graphics routed thru and internally illuminated. The apartments would have 1” thick acrylic for the lettering and logo, and the others would use acrylic flush with the sign. The proposed background color is dark gray, and the cap and reveals would be silver. All graphics would be white, but the medical office logo would have black, red and white, and would illuminate white at night.

2. A directional sign (B) is proposed along Corporate Hill Dr. beside the entrance to the parking garage. The proposed sign would 3’3” high x 2’4” wide with the framing, and the above grade height would be 4’. A variance would be needed for sign size and height. The aluminum sign would have red framing, and the brushed aluminum panels would identify “The Ohio State University Wexner Medical Center” with the logo; “Patient Drop-Off” with an arrow in black and a blue icon; and “Parking” with an arrow in black and a blue icon.
3. Wall signs identifying the 2 commercial tenants are proposed on the sides of the building above the windows. Sign C is proposed on the northwestern side and would be up to 40 sf for a future tenant. Sign D is proposed on the southeastern side and would be a 40 sf sign for The Ohio State University Wexner Medical Center. The lettering would consist of 4” deep aluminum channel letters, underscore and logo with acrylic faces. The internally illuminated lettering would be black and illuminate white. The block “O” logo would be red and black.
4. Sign E was a sign for the apartments above the main office entrance, but is now non-illuminated, 23.25”, dark gray address numbers.
5. Two matching aluminum projection signs (F) are proposed to be mounted on the brick upstairs of the building to advertise the apartments. The signs would be approximately 23 square feet in area, and line up with the bottom and top edges of the adjacent windows. The background panels would be dark gray, the lettering white, and the mounting supports are proposed as brushed silver. Variances would be needed for the size of the signs.

## **Land Use Plans:**

### Wilson Bridge Corridor - Signs

Exterior lighting fixtures are the preferred source of illumination.

- Freestanding Signs
  - There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.
  - Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10’. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.
  - Freestanding signs may include the names of up to eight tenants of that parcel.
  - Light sources shall be screened from motorist view.

- Wall-mounted Signs
  - Each business occupying 25% or more of a building may have one wall sign and one projection sign. Wall-mounted signs shall not exceed 40 square feet in area, and projection signs shall not exceed 12 square feet in area per side.
  - Wall-mounted and projection signs shall be designed appropriately for the building, and shall not be constructed as cabinet box signs or have exposed raceways.

Worthington Planning and Zoning Code

“Directional sign” means a sign used to direct on-site traffic and identify services such as restrooms, hours of operation, etc., and of which no more than fifty-percent of the graphic area is non-directional information. The display area for such signs shall not exceed twenty-four inches in height or width, and the above grade height for freestanding directional signs shall not exceed thirty-six inches. The total area for all such signage shall be no more than 20 square feet per parcel. Directional signs are excluded in the computation of sign area.

Development Plan Amendment Ordinance

When an applicant wishes to make modifications following approval of a Final Development Plan, and variances are included, the modification must be approved by the City Council.

**Staff Analysis:**

Staff is recommending *approval* of this application with the following considerations:

- The directional sign should be reduced in height, with the text centered vertically on the sign.
- External illumination or possibly halo illumination should be considered.

**Motion:**

**THAT THE REQUEST BY WORTHINGTON SQUARE ACQUISITION, LLC TO AMEND THE DEVELOPMENT PLAN BY ADDING SIGNS AT 160 W. WILSON BRIDGE RD. AS PER CASE NO. ADP 08-16, DRAWINGS NO. ADP 08-16, DATED NOVEMBER 1, 2016, BE RECOMMENDED TO CITY COUNCIL FOR APPROVAL BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**2. Subdivision without Plat**

- a. Lot Split – **6069 Olentangy River Rd. (Jamie & Katy Burrier/Chase) SWOP 02-16**

**Findings of Fact & Conclusions**

**Background & Request:**

The property at 6069 Olentangy River Rd. is 1.43 acres in area and has been vacant since the demolition of a house in 2011-2012. The parcel is adjacent to the south of Rau Lane, which is a private drive that provides access to 5 homes, and south of Congregation Beth Tikvah. Under the same ownership as 6069 is a 0.14 acre parcel to the south fronting on Clayton Dr. that is “Reserve

A” of the Clayton Dr. subdivision, reserved for storm water drainage facilities. All of the properties in this area are in the R-10 Zoning District.

The applicants would like to purchase these properties, and split the northern parcel into 2 lots.

**Project Details:**

1. Division of the parcel would be by way of a new east to west property line. The resultant lot to the north would have 80’ of frontage along Olentangy River Rd.; the resultant lot to the south would have 133.34’ of frontage along Olentangy River Rd. Both lots would exceed the minimum required lot size of 10,400 square feet for the R-10 Zoning District. One single-family home would be allowed on each parcel. The applicant indicates the homes would each be at least 2000 square feet in area.
2. As required for the Olentangy River Rd. Corridor Overlay District, the setback from the right-of-way would be 50’; and the setback from adjacent existing lots to the north, west and south would be 40’. The side setback from the new property line would be 8’ to meet the R-10 zoning requirements.
3. A recreation path exists along the front of the property.
4. The applicant has committed to planting new trees at least equal in size to what is being removed, which has been identified as 164” total – 72” on the south lot and 92” on the north lot.
5. The portion of the property shown to the centerline of Olentangy River Rd. would need to be dedicated as right-of-way.

**Land Use Plans:**

Worthington Subdivision Regulations

"Subdivision" means the division or combination of any parcel or parcels of land shown as a unit or as contiguous units on the latest tax roll. A proposed Subdivision of a parcel of land along an existing Public Street in any R-16 or R-10 Zoning District, not involving the opening, widening or extension of any street, road or access point and involving a tract of land from which no more than five Lots can be created after the original tract has been completely subdivided may be submitted to the Municipal Planning Commission for approval without Plat. If the commission is satisfied that such proposed Subdivision complies with applicable Zoning requirements, it may direct the Director of Planning and Building to stamp conveyances for Lots within the Subdivision "Approved by Municipal Planning Commission, No Plat Required." The Commission may also establish reasonable necessary procedures and requirements to be met by the owner desiring to subdivide property pursuant to this section.

Olentangy River Road Corridor Overlay District

The following standards are applicable to all new Subdivisions and Planned Unit Developments within the District:

(a) Setback: All Structures shall be the following distances from the property line:

- (1) Olentangy River Road - 50'
- (2) Side and Rear Yards abutting existing Lots - 40'

Within the Setback area: retention of existing native vegetation and planting of new vegetation is expected. Fences may be appropriate in required Side and Rear Yards but shall not be placed in Front Yards or within the Olentangy River Road required setback. Accessory Structures

- and/or parking areas shall not be placed within the Olentangy River Road required setback.
- (b) Dwelling Units: The allowable number of Dwelling Units shall be no greater than 3.5 per acre. Dwelling Units may not be built above one another (i.e. stacked so that there are different Dwelling Units on different floors of the same Structure). The minimum living space for each Dwelling Unit shall be 1600 square feet.
  - (c) Grade: Grade shall not be raised or lowered more than 2' except otherwise provided in the approved Subdivision or Planned Unit Development.
  - (d) Recreation Paths and Sidewalks: Recreation Paths or Sidewalks shall be required in the Right-of Way along Olentangy River Road, except such Recreation Paths and Sidewalks may be placed in the Setback area where needed or required. All such Recreation Paths and Sidewalks shall follow the existing grade as closely as possible, and be constructed around trees 6" caliper or larger.
  - (e) Trees: All healthy trees 6" caliper or larger shall be retained, or replaced with total tree trunk equal in diameter to the removed tree.

Code Section 1101.06:

Whenever any new single-family lots are created in accordance with the provisions of this Code in any residential zoning district, then the subdivider, developer or owner, as the case may be, shall make a cash payment to the City of five hundred dollars (\$500.00) per each new Lot created for deposit in the Special Parks Fund. Such deposits shall be used for the capital costs associated with the City's parks, playground and recreation areas.

**Recommendation:**

Staff is recommending approval of this application, with the following items being required as part of the subdivision:

- Access and utility easements be defined
- Right-of-way dedication be finalized
- A public area payment of \$500 be made to the City for the Special Parks Fund.

**Motion:**

**THAT THE REQUEST BY JAMIE & KATY BURRIER FOR APPROVAL OF SUBDIVISION WITHOUT PLAT TO SPLIT THE PROPERTY AT 6069 OLENTANGY RIVER ROAD INTO TWO LOTS, AS PER CASE NO. SWOP 02-16, DRAWINGS NO. SWOP 02-16, DATED OCTOBER 28, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

## **B. Architectural Review Board (continued)**

### **1. Unfinished**

- a. Holiday Inn Site Redevelopment – **7007 N. High St.** (Alliance Hospitality, Inc.) **AR 32-16**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

This roughly 7.5 acre parcel, zoned C-4, Highway and Automotive Services, has been home to a hotel since 1975. The original approval was for a Hilton Inn. The brand has changed several times over the years with the most recent being the conversion to a Holiday Inn in 2007, which included many upgrades to the building and site.

The owner is now proposing demolition of the existing hotel, and redevelopment of the site with a mix of uses. Concepts for the site were discussed at the March 10<sup>th</sup> and June 23<sup>rd</sup> ARB meetings, and the applicant received feedback from the Board and the public. The application was tabled without discussion at the October 13<sup>th</sup> meeting so the applicant could revise the drawings. This submittal contains more detail of the proposal.

#### **Project Details:**

1. Uses:

- Two hotels, with 110 guest rooms and 95 guest rooms, are proposed. The existing Holiday Inn has 232 guest rooms.
- Other potential uses on the site are describe as restaurants and professional services.
- In the C-4 Zoning District, personal and business services and hotels are Permitted Uses. Restaurants and offices (professional services) are Conditional Uses needing approval from the MPC.

2. Site Plan and Landscaping:

- The proposed plan shows an entrance to the site from each of the adjacent rights-of-way. All three entrances would be situated similarly to existing site entrances. On W. Wilson Bridge Rd., the entrance is proposed at the west end; on Caren Ave. the proposed entrance is toward the middle of the site but on the eastern half; and on N. High St. the entrance would be near the middle of the site. Elimination of an existing entrance toward the east end of the site on W. Wilson Bridge Rd. is proposed.
- The buildings are laid out as in the last submission, concentrated to the north and east sides of the site, being further away from the adjacent residential than the existing hotel.
- W. Wilson Bridge Rd. - Three building are proposed along W. Wilson Bridge Rd. about 36' from the roadway and 20' from the existing right-of-way line. The City has requested an additional 15' of right-of-way be dedicated, so the building would be 5' from the new line. In addition to the existing grass strip and sidewalk in the right-of-way, an area to plant street trees and a sidewalk adjacent to the buildings are proposed. Two pedestrian access points would be provided between the buildings which would also allow for restaurant seating areas.
  - At the west end of the site would be the drive entrance with one lane in and two lanes out, separate by an island with trees.

- A small parking area with a screen wall would be adjacent to the east. Included is a service area that apparently leads to interior storage of trash, etc. Clarification of how service areas work is needed for the entire site.
- Building #1 – This building would be about 158’ from the west property line, and 95’ wide. The building is designated for professional services.
- Building #2 - A 140’ wide restaurant is proposed 40’ west of Building #1 with a pedestrian access, planting and seating area between the buildings.
- Building #3 - At the east end would be a 131’ wide building housing a 95 key hotel, and a restaurant on the first floor. Between Buildings #2 and #3 would be a 51’ wide pedestrian access, planting and seating area. Building #3 would be 17’ from the east property, at the rear of the BP site.
- Building #4 – This building would be a 110 key hotel located about 153’ from the south property line and 225’ from the west property line. A 3987 square foot restaurant would be on the first floor at the west end of the hotel.
- A traffic circle denoted as the “Village Square” is proposed between Buildings #2, 3 & 4, with a fountain in the middle. The areas adjacent to the traffic lanes would provide pedestrian access, planting and seating opportunities. The road leading to the “Village Square” from the W. Wilson Bridge Rd. entrance would be tree-lined, and have sidewalks and parallel parking. From the south entrance off of Caren Ave., there would also be tree islands and a sidewalk to accommodate pedestrians.
- N. High St. – Two buildings are proposed along the N. High St. frontage with a drive entrance between. The buildings are proposed 15’ from the existing right-of-way. Additional right-of-way dedication was discussed along N. High St. but is not shown on the plan. There would be sidewalks extending from both N. High St. and Caren Ave. to these buildings, with a pedestrian connection between the buildings.
  - Building #5 – This building is shown 16’ from the BP property line and 69’ in width. It is designated as a restaurant.
  - Building # 6 – Designated as a professional service building, this building would be 71’ wide along N. High St. and 128’ wide along Caren Ave.
- A sidewalk is shown along the southern edge of the site, with access to the public sidewalk east of the Caren Ave. entrance, and at the southwest corner of Building #6.
- Stairs to the existing sidewalk west of the site are planned to allow pedestrian access for the residents.
- The remainder of the site would be surface parking with tree islands added. The applicant calculates 524 parking spaces would be required on the site based on the proposed uses, and 388 spaces are being provided. Should there be any times the site could not accommodate all of the guests, parking agreements with property owners to the south may be possible. Any parking agreements obtained would be subject to approval by the Board of Zoning Appeals with the variance request.
- A combination of evergreen and deciduous trees and shrubs are proposed to be densely planted along the west and south property lines adjacent to the existing residential properties.
- The Arbor Advisory Committee reviewed the plans and made the following comments:
  - Pyrus Calleryana (Cleveland Select) Pear trees can hybridize and are now being considered an invasive species by some, and should not be used.

- Street trees species recommendations: Exclamation London Plane; Espresso Kentucky Coffeetree; Nyssa Sylvatica “Red Rage” or “Wildfire” – Not Tupelo Tower
  - Low shrubs (Taxus?) should be added along Caren Ave.
  - Only native species should be used in Caren lot (not sure if that is already the case).
  - Diversify screen planting around BP station – add arborvitae, etc.
  - West/southwest screening recommendations – Viburnum Prunifolium, Canadian hemlock, Cornelian Cherry Dogwood, Arborvitae, Serbian Spruce, Winterberry and ilex x meserveae Holly. The Committee thought the Blue Spruce, which needs full sun, may not be ideal for that planting in the quantities shown.
  - Need to see specs for planting (not sure what ODOT specs are)
  - Need appropriate bed depth and type of fill in parking islands
  - Why are there not any foundation plantings?
  - Consideration should be given to burying overhead utility lines at the south property line.
  - A storm water plan will be required.
  - A preliminary traffic study has been submitted, but additional information will be needed to determine the viability of installation of a traffic signal at the W. Wilson Bridge Rd. entrance.
3. Buildings:
- The buildings are all shown as having four-sided architecture that is described as Colonial style. A variety of building heights, roof forms, materials and details are proposed across the site. A sheet with a large variety of proposed materials is included in the packet. The renderings do not necessarily reflect the exact color and materials. Storage of mechanical equipment on the roof would likely be possible on all buildings.
  - Building #1 –
    - One-story; 6967 square feet (sf); professional services
    - Combination of different gabled roof lines to give the look of many different 1 ½ story buildings; asphalt shingles, standing seam metal roofing
    - South side entrance only; service door on west with screen wall at service area adjacent to parking
    - Bricks, lap siding, divided light windows, chimneys
  - Building #2 –
    - One story; 10,099 sf; restaurant
    - Combination of different roof lines to give the look of many different 1½ and 2 story buildings; asphalt shingles, standing seam metal roofing
    - Entrances on the south, east and west sides; service entrances on the north side
    - Bricks, lap siding, divided light windows on first and second floors, storefront windows, chimneys, dormers, awnings
  - Building #3 –
    - Four story hotel with 3264 sf restaurant space on first floor (northwest corner)
    - Look of hipped roof with standing seam metal and asphalt shingles
    - Main hotel entrance on west side, fitness center entrance on north side; restaurant entrances on west and south sides
    - Combination of bricks, lap siding

- Divided light windows with shutters, store front windows, chimneys, trellis, brick detailing, “Widow’s Walk” at entrance roof
  - Building #4 –
    - Four story hotel with 3987 sf restaurant space on first floor (west end)
    - Look of hipped and mansard roofs; asphalt shingles, standing seam metal
    - Main hotel entrance on north side; restaurant entrances on west and north sides
    - Combination of bricks, lap siding
    - Divided light windows with and without shutters, store front windows, dormers, brick detailing, arched entry for hotel and passageway between hotel and restaurant
  - Building #5 –
    - One story; 5134 sf; restaurant space
    - Combination of gables to give the look of 1 ½ and 2 story building; standing seam metal
    - Entrance on the south sides; service entrance on the west side
    - Brick, lap siding, divided light windows on first and second floors, storefront windows, two-story features, awnings
  - Building #6 –
    - Two story; 16,292 sf; professional services space
    - Combination of mansard, gable and barrel roof lines; standing seam metal
    - Entrance on the north side; service entrance on the west side
    - Brick, lap siding, divided light windows on first and second floors, two-story features
4. Lighting:
- A lighting plan has been submitted, and includes photometrics and catalogue cuts of fixtures. The photometric plan shows some light level spilling onto adjacent properties.
  - A variety of light fixtures are proposed for the buildings.
5. Signage:
- Signage review will be required.
6. Variances:
- Application to the Board of Zoning Appeals would be required to approve any variances requested for the site.
  - The applicant is applying as part of the C-4 Zoning District, but is also trying to meet the requirements for the Wilson Bridge Corridor. Variances would likely be needed for setback, building height and parking not meeting the C-4 regulations.
7. Conditional Use Permits:
- Needed for restaurants and offices

**Staff Analysis and Recommendation:**

1. The proposed site plan generally reflects the discussions at the ARB meetings, and is appropriate for the site. Consideration should be given to eliminating the sidewalk near Wilson Bridge Rd., and instead running the sidewalk up to and along the buildings. The sidewalk would then lead pedestrians to the site and be better protected from traffic, and a wider, more prominent planting area would be created adjacent to the street.
2. Right-of-way vacation along both streets is still requested, but has only been shown along W. Wilson Bridge Rd.

3. The following comments relate to the Worthington Design Guidelines and Wilson Bridge Corridor Development Standards regarding the buildings:
  - While the effort to have the development look like a village that has developed over time is honorable, some of the resultant buildings may be too complicated in their massing and form. The roof lines that are especially complex may not feel as authentic as intended. Some design elements seem out of character with the community.
  - A simpler mix of materials and colors may be warranted. The extensive use of lap siding, bright colors and metal roofing, especially on the larger buildings, does not seem appropriate. A simpler, more subtle use of colors could provide a development that fits in better with Worthington. The shades of yellow shown in the renderings appear particularly vibrant and out of character with the community. Clarification is needed regarding the proposed materials for siding and roofing. Vinyl siding should not be used.
  - Entrances face the interior roads but do not face the public streets.
4. The Arbor Advisory Committee comments about the landscaping plan should be addressed.
5. Lighting should not spill onto neighboring properties. A different style of pole lights may be needed, especially adjacent to residential properties. LED lighting color above 2700 K is not appropriate.
6. Staff is recommending *tabling* of this application after discussion, to allow the applicant to make modifications and add detail based on the guidelines and any recommendations made at the meeting.

### **Land Use Plans:**

#### Worthington Design Guidelines and Architectural District Ordinance

**Scale, Form & Massing:** Simple geometric forms and uncomplicated massing tend to make buildings more user-friendly and help to extend the character of Old Worthington into the newer development areas. Inclusion of sidewalks, pedestrian-scaled signage, and planting and lawn areas will help communicate a sense of a walkable pedestrian scale. Carefully designed building facades that employ traditional storefronts -- or similarly-sized windows on the first floor -- will help make new buildings more pedestrian-friendly.

**Setbacks:** Parking areas should be located toward the rear and not in the front setbacks if at all possible. Unimpeded pedestrian access to the front building facade from the sidewalk should be a primary goal. Building up to the required setback is desirable as a means of getting pedestrians closer to the building and into the main entrance as easily as possible.

**Roof Shape:** Generally, a traditional roof shape such as gable or hip is preferable to a flat roof on a new building. Roof shapes should be in scale with the buildings on which they are placed. Study traditional building designs in Old Worthington to get a sense of how much of the facade composition is wall surface and how much is roof.

**Materials:** Traditional materials such as wood and brick are desirable in newer areas, but other materials are also acceptable. These include various metals and plastics; poured concrete and concrete block should be confined primarily to foundation walls. Avoid any use of glass with highly reflective coatings. Some of these may have a blue, orange, or silver color and can be as reflective

as mirrors; they generally are not compatible with other development in Worthington. Before making a final selection of materials, prepare a sample board with preferred and optional materials.

**Windows:** On long facades, consider breaking the composition down into smaller “storefront” units, with some variation in first and upper floor window design. Use traditional sizes, proportions and spacing for first and upper floor windows. Doing so will help link Old Worthington and newer areas through consistent design elements.

**Entries:** Primary building entrances should be on the street-facing principal facade. Rear or side entries from parking lots are desirable, but primary emphasis should be given to the street entry. Use simple door and trim designs compatible with both the building and with adjacent and nearby development.

**Ornamentation:** Use ornamentation sparingly in new developments. Decorative treatments at entries, windows and cornices can work well in distinguishing a building and giving it character, but only a few such elements can achieve the desired effect. Traditional wood ornamentation is the simplest to build, but on new buildings it is possible to use substitute materials such as metal and fiberglass. On brick buildings substitute materials can be used to resemble the stone or metal ornamental elements traditionally found on older brick buildings. As with all ornamentation, simple designs and limited quantities give the best results.

**Color:** For new brick buildings, consider letting the natural brick color be the body color, and select trim colors that are compatible with the color of the bricks. Prepare a color board showing proposed colors.

**Signage:** While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the “monument” type; they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

### Wilson Bridge Corridor

#### Site Layout:

**Setbacks:** Buildings and parking should be set back to provide a buffer between the sidewalk and building, with some variations in the Building Setback Line encouraged throughout the WBC.

- Buildings 50,000 square feet in area or less shall be located between 5’ and 20’ from adjacent Right-of-Way Lines. Buildings greater than 50,000 square feet in area shall be located at least 20’ from adjacent Right-of-Way lines.
- Buildings on properties abutting properties in “R” districts shall not be located closer than 50’ to the property line. Parking facilities and access drives on properties abutting properties in “R” districts shall not be located closer than 25’ to the property line.

- Setback areas in front of retail uses shall be primarily hardscaped, and may be used for outdoor dining and other commercial activities.
- As building height increases, the buildings should consider the relationship between the setback, the street corridor, and the building height. A variety of techniques will be implemented to mitigate any potential “canyon/tunneling” effect along the corridor, such as the use of floor terracing, changes in building massing, insertion of a green commons, recessed seating and dining areas, and lush landscaping.

**Right-of-Way Dedication:** Dedication of Right-of-Way may be required to accommodate public improvements.

**Screening:** All development on parcels abutting properties in “R” districts shall be permanently screened in the setback area with the combination of a solid screen and landscape screening. The solid screen shall consist of a wall or fence at least 6’ in height and maintained in good condition without any advertising thereon. Supporting members for walls or fences shall be installed so as not to be visible from any other property which adjoins or faces the fences or walls. This shall not apply to walls or fences with vertical supporting members designed to be identical in appearance on both sides. Landscape screening shall consist of one of the following options at a minimum:

- One large evergreen tree with an ultimate height of 40’ or greater for every 20 linear feet, plus one medium evergreen tree with an ultimate height of 20’ to 40’ for every 10 linear feet. Evergreen trees shall be at least 6’ in height at the time of planting. Shrubs and ornamental grasses shall be incorporated into the setback area as to complement the tree plantings. A minimum of one shrub or ornamental grass, at least 24” in height, shall be provided for every 5 linear feet. Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.
- One large deciduous tree with an ultimate height of 50’ or greater for every 25 linear feet, plus one medium deciduous tree with an ultimate height of 20’ to 40’ for every 15 linear feet. Shrubs and ornamental grasses shall be incorporated into the setback area as to complement the tree plantings. A minimum of one shrub or ornamental grass, at least 24” in height, shall be provided for every 5 linear feet. Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.

**Equipment:** Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence or landscaping. Such equipment shall be completely screened from view. Materials shall be consistent with those used in the building and/or site. Equipment located on buildings shall match the color of the building.

**Tract Coverage:** A maximum of 75% of the property shall be covered with impervious surfaces.

**Pedestrian Access:** Sidewalks with a minimum width of 5’, Recreation Paths with a minimum width of 10’, or a combination of both shall be provided along all Rights-of-Way. Pedestrian connections from Sidewalks, Recreation Paths and parking lots to building entrances shall be provided.

Landscaping: There shall be landscaping that complements other site features and creates relief from buildings, parking areas and other man-made elements.

- Drought tolerant, salt tolerant, non-invasive, low maintenance trees and shrubs should be utilized.
- Deciduous trees shall be a minimum of 2” caliper at the time of installation; evergreen trees shall be a minimum of 6’ in height at the time of installation; and shrubs shall be a minimum of 24” in height at the time of installation.
- Parking lot landscaping shall be required per the provisions in Chapter 1171.
- Seasonal plantings should be incorporated into the landscape plan.
- The approved landscape plan must be maintained across the life of the development.

#### Building Design:

- A principal building shall be oriented parallel to Wilson Bridge Road (or High Street), or as parallel as the site permits, and should have an operational entry facing the street.
- The height of a building shall be a minimum of 18’ for flat roof buildings measured to the top of the parapet, or 12’ for pitched roof buildings measured to the eave.
- Extensive blank walls that detract from the experience and appearance of an active streetscape should be avoided.
- Building Frontage that exceeds a width of 50’ shall incorporate articulation and offset of the wall plane to prevent a large span of blank wall and add interest to the facade.
- Details and materials shall be varied horizontally to provide scale and three-dimensional qualities to the building.
- Entrances shall be well-marked to cue access and use, with public entrances to a building enhanced through compatible architectural or graphic treatment.
- When designing for different uses, an identifiable break between the building’s ground floors and upper floors shall be provided. This break may include a change in material, change in fenestration pattern or similar means.
- Where appropriate, shade and shadow created by reveals, surface changes, overhangs and sunshades to provide sustainable benefits and visual interest should be used.
- Roof-mounted mechanical equipment shall be screened from view on all four sides to the height of the equipment. The materials used in screening must be architecturally compatible with the rooftop and the aesthetic character of the building.

#### Materials:

- Any new building or redevelopment of a building façade should include, at a minimum, 75% of materials consisting of full set clay bricks, stone, cultured stone, wood or fiber cement board siding. Samples must be provided.
- Vinyl siding and other less durable materials should not be used.
- Long-lived and sustainable materials should be used.
- The material palette should provide variety and reinforce massing and changes in the horizontal or vertical plane.
- Especially durable materials on ground floor façades should be used.
- Generally, exterior insulation finishing systems (EIFS), are not preferred material types.
- A variety of textures that bear a direct relationship to the building’s massing and structural elements to provide visual variety and depth should be provided.

- The color palette shall be designed to reinforce building identity and complement changes in the horizontal or vertical plane.

#### Windows and Doors:

- Ground-floor window and door glazing shall be transparent and non-reflective. Above the ground floor, both curtain wall and window/door glazing shall have the minimum reflectivity needed to achieve energy efficiency standards. Non-reflective coating or tints are preferred.
- Windows and doors shall be recessed from the exterior building wall, except where inappropriate to the building's architectural style.
- For a primary building frontage of a commercial use, a minimum of 30% of the area between the height of 2' and 10' above grade shall be in clear window glass that permits a full, unobstructed view of the interior to a depth of at least 4'.

Lighting: All exterior lighting shall be integrated with the building design and site and shall contribute to the night-time experience, including façade lighting, sign and display window illumination, landscape, parking lot, and streetscape lighting.

- The average illumination level shall not exceed 3 footcandles. The light level along a property line shall not exceed 0 footcandles.
- The height of parking lot lighting shall not exceed 15' above grade and shall direct light downward. Parking lot lighting shall be accomplished from poles within the lot, and not building-mounted lights.
- For pedestrian walkways, decorative low light level fixtures shall be used and the height of the fixture shall not exceed 12' above grade.
- Security lighting shall be full cut-off type fixtures, shielded and aimed so that illumination is directed to the designated areas with the lowest possible illumination level to effectively allow surveillance.

#### Signs:

Exterior lighting fixtures are the preferred source of illumination.

- Freestanding Signs
  - There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.
  - Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10'. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.
  - Freestanding signs may include the names of up to eight tenants of that parcel.
  - Light sources shall be screened from motorist view.
- Wall-mounted Signs
  - Each business occupying 25% or more of a building may have one wall sign and one projection sign. Wall-mounted signs shall not exceed 40 square feet in area, and projection signs shall not exceed 12 square feet in area per side.

- Wall-mounted and projection signs shall be designed appropriately for the building, and shall not be constructed as cabinet box signs or have exposed raceways.

Parking:

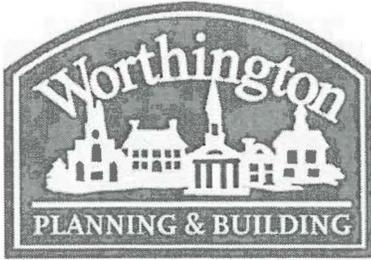
- Non-residential Uses. Parking shall be adequate to serve the proposed uses, but shall in no case exceed 125% of the parking requirement in Section 1171.01.
- Bicycle Parking. Bicycle parking should be provided and adequate to serve the proposed uses.

Public Spaces: A minimum of one Public Space Amenity as approved by the Municipal Planning Commission shall be required for every 5,000 square feet of gross floor area of multi-family dwellings, commercial or industrial space that is new in the WBC. Public Space Amenities are elements that directly affect the quality and character of the public domain such as:

- An accessible plaza or courtyard designed for public use with a minimum area of 250 square feet;
- Sitting space (e.g. dining area, benches, or ledges) which is a minimum of 16 inches in height and 48 inches in width;
- Public art;
- Decorative planters;
- Bicycle racks;
- Permanent fountains or other Water Features;
- Decorative waste receptacles;
- Decorative pedestrian lighting; and
- Other items approved by the Municipal Planning Commission.

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan identifies the High Street Corridor (Extents Area) as a place where consistent site design should be encouraged such as landscape screening and interior planting of surface parking areas, and the location of large parking areas should be to the rear of the site. The corridor could accommodate redevelopment at a higher density, with such projects meeting the needs of the City, providing green setbacks and meeting the Architectural Design Guidelines. The plan recommends promoting a high quality physical environment, encouraging the City to continue to emphasize strong physical and aesthetic design, and high-quality development. Also recommended is encouraging the private market to add additional commercial office space within the City.



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR 127-16
Date Received	10-26-16
Fee	\$12
Meeting Date	11-10-16
Filing Deadline	
Receipt #	628123

1. Property Location 324 E Granville Rd

2. Present/Proposed Use \_\_\_\_\_

3. Zoning District \_\_\_\_\_

4. Applicant APCO Industries

Address 777 Michigan Ave Cols, OH 43215

Phone Number(s) (614) 224-2726

5. Property Owner Thomas ZACH

Address 324 E Granville Rd

Phone Number(s) (614) 975-6996

6. Project Description Replacing existing wood windows with wood clad exterior will have simulated DIVIDED lites. to match the front wood windows Done in the addition.

7. Project Details:

a) Design WOOD INTERIOR painted / clad exterior

b) Color Desert sand to match other trim

c) Size \_\_\_\_\_

d) Approximate Cost \$12,000 Expected Completion Date 12/15/16

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

John Simer  
 Applicant (Signature)

10/26/16  
 Date

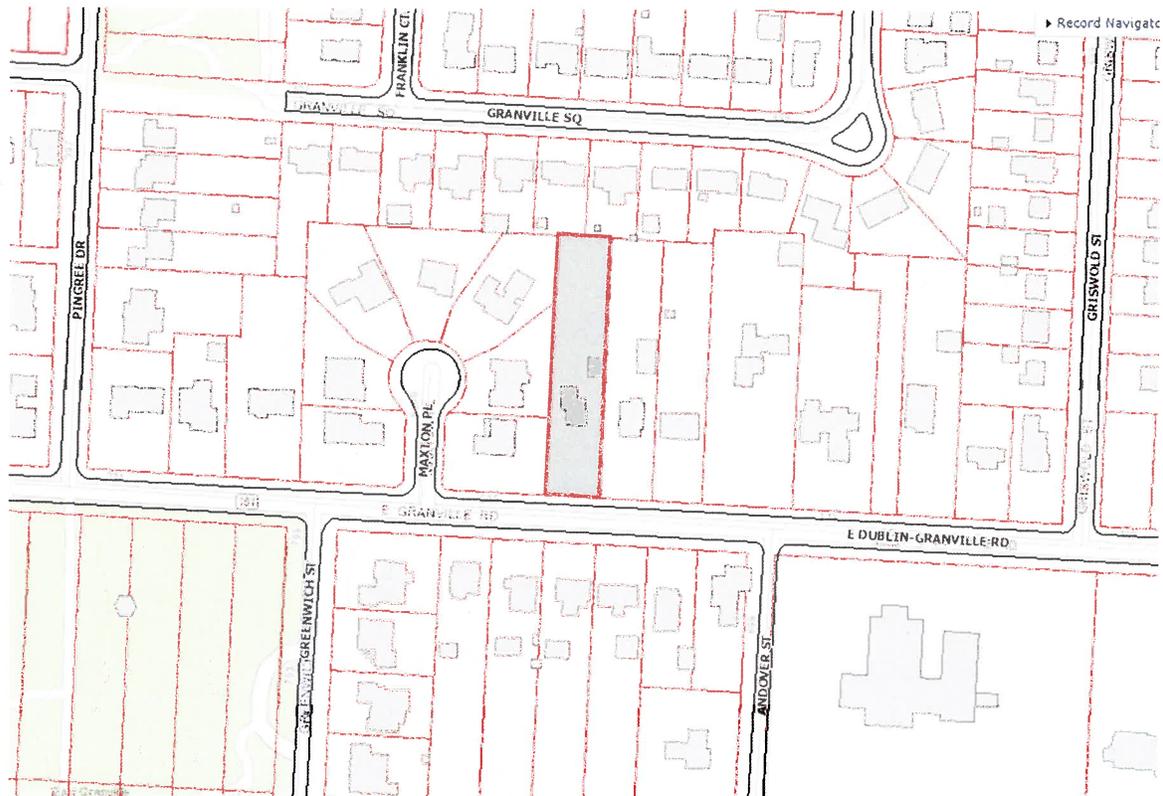
Tom Zach  
 Property Owner (Signature)

10/26/16  
 Date

ABUTTING PROPERTY OWNERS FOR  
324 E. Granville Rd.

William & Vickie Clark	377 Granville Sq.	Worthington, OH 43085
David Kelly	385 Granville Sq.	Worthington, OH 43085
Kim Munk	334 E. Granville Rd.	Worthington, OH 43085
Craig & Ser Jackson	323 E. Granville Rd.	Worthington, OH 43085
Martin & Nancy Schmidt	317 E. Granville Rd.	Worthington, OH 43085
Treetops at German Village LLC	885 S. Pearl St.	Columbus, OH 43206
Resident	307 E. Granville Rd.	Worthington, OH 43085
Vijay & Sahiti Kanumilli	6152 Maxton Pl.	Worthington, OH 43085
Lee & Kristin Fischer	6162 Maxton Pl.	Worthington, OH 43085
Douglas & Dianne Hoover	6174 Maxton Pl.	Worthington, OH 43085

# 324 E. Granville Rd.



100-000480 03/31/2014

THIS ROOM WAS NOT ORIGINAL TO HOME  
HAS TOP AND BOTTOM GRIDS  
NOT REPLACING AT THIS TIME

THESE ② WINDOWS  
ALREADY REPLACED  
WOOLGLAD WINDOWS  
NO GRIDS. FULL SCREENS  
• HAS KIRBLER MAKING  
GRIDS TO MATCH ROOM  
ADDITION (see close up)

PART OF 12 WINDOWS  
GETTING REPLACED



FRONT ELEVATION.

324 E GRANVILLE RD

CITY OF WORTHINGTON  
AR 127-16  
DRAWING NO.

DATE 10-26-16



CLOSE UP OF 2 FRONT WINDOWS ALREADY  
REPLACED. WOOD/CLAD. TRIM WRAPPED  
FULL SCREENS WE CAN MATCH EXACTLY  
TO KEEP CONSISTENT APPEARANCE

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AR 127-16  
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DATE 10-26-16

ALREADY REPLACES  
WOOD/CLAD. HAS QUOTE  
FROM KIRBLER TO MAKE  
GRIDS

NEW

NEW



WEST SIDE

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AR 127-16  
DRAWING NO.

DATE 10-26-16

CLOSE UP OF WOOD/CLAD  
WINDOW ON WEST SIDE  
ELEVATION:



WEST SIDE CLOSE UP

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NEW



BACK ELEVATION

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DRAWING NO.

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EAST SIDE

CITY OF WORTHINGTON  
AR 127-16  
DRAWING NO.  
DATE 10-26-16

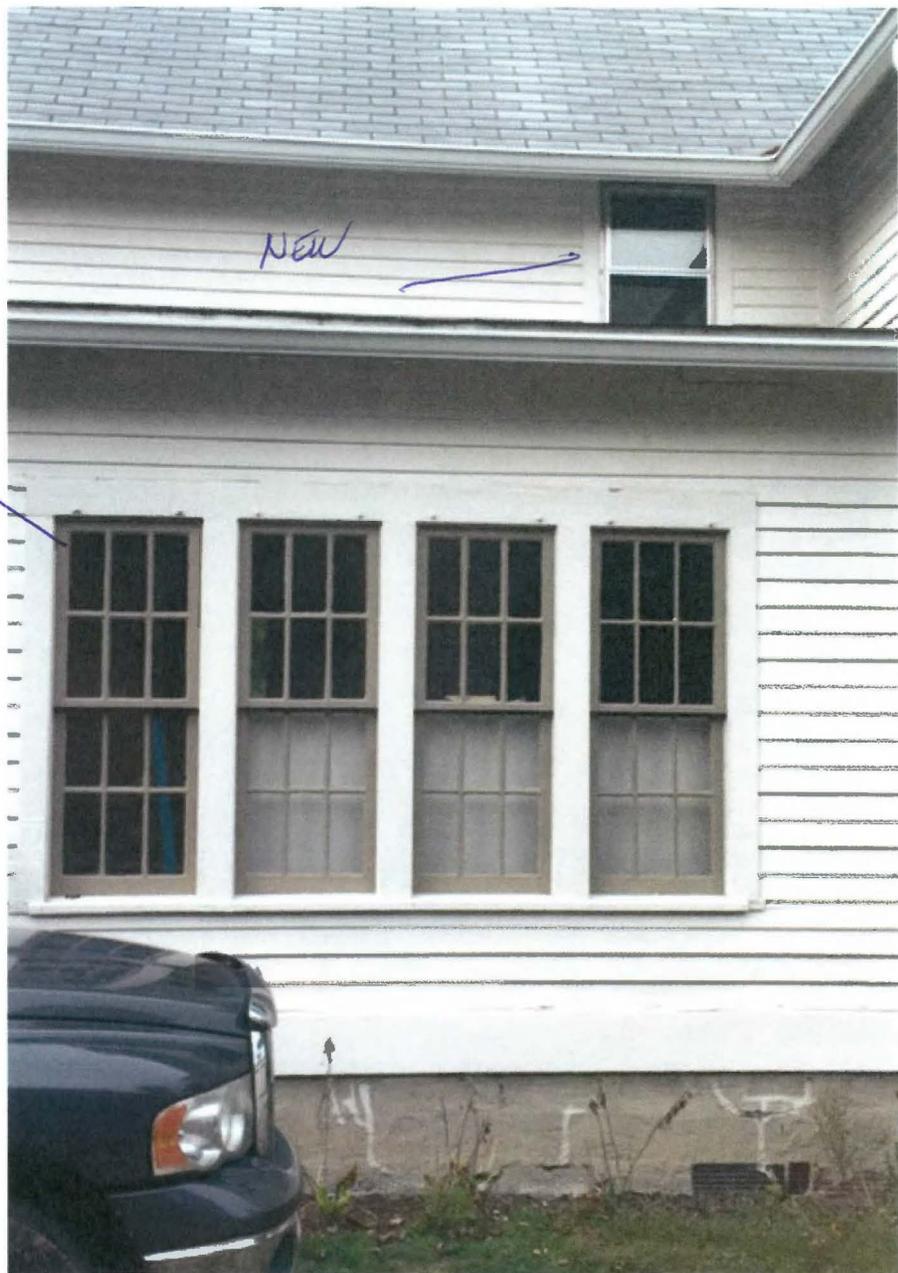


EAST SIDE

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AR 127-16  
DRAWING NO.

DATE 10-26-16

COLOR TO  
MATCH.



EAST SIDE CLOSE UP  
OF WINDOWS IN THE NEWER  
ROOM ADDITION HE IS NOT  
REPLACING. HE WANTS TO  
ADD COLONIAL GRIDS TO  
MATCH EXISTING PREDOMINANT  
⑦ WINDOWS IN THIS  
FRONT, DRIVEWAY CORNER.  
HE IS CHOOSING DESERT SAND  
AS A COLOR TO MATCH THESE  
WINDOWS

EAST SIDE CLOSE UP

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DRAWING NO.

DATE 10-26-16

GRIPS



garage has GRIPS IN DOORS

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AR 127-16  
DRAWING NO.

DATE 10-26-16



neighbor to west  
wood/clad with trim.  
- IF THIS MATTERS? 😊

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AR 127-16  
DRAWING NO.

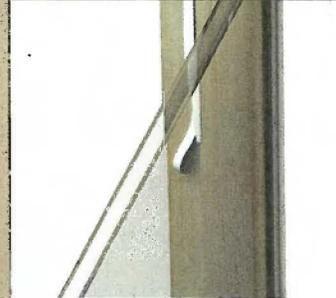
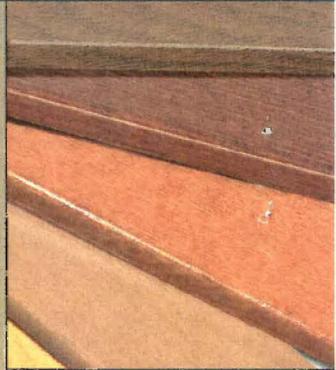
DATE 10-20-16



neighbor to east.  
wood/clad with trim  
- if this matters? 😊

CITY OF WORTHINGTON  
AR 127-16  
DRAWING NO.

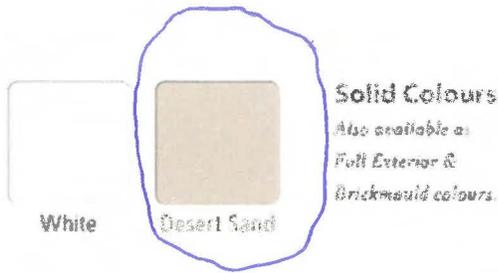
DATE 10-26-16



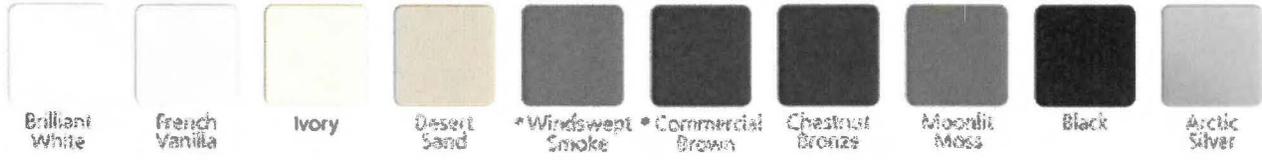
Tom Zach  
324 E Granville Rd,  
Worthington, OH 43085

CITY OF WORTHINGTON  
AR 127-110  
DRAWING NO.

DATE 10-26-16



**Standard • Vinyl Window and Aluminum Clad Exterior Door Standard Colours**

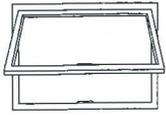


*Variances in photography and printing may cause colours shown in this catalogue to vary from the actual finish.*

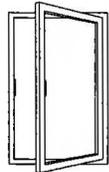
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AR 127-16  
DRAWING NO.  
DATE 10-26-16

# STYLES, LITES, COLORS & GLASS

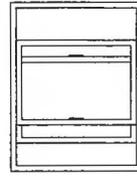
## Window Styles



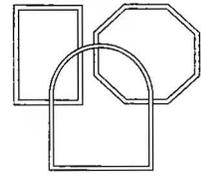
Awning



Casement



Double-Hung

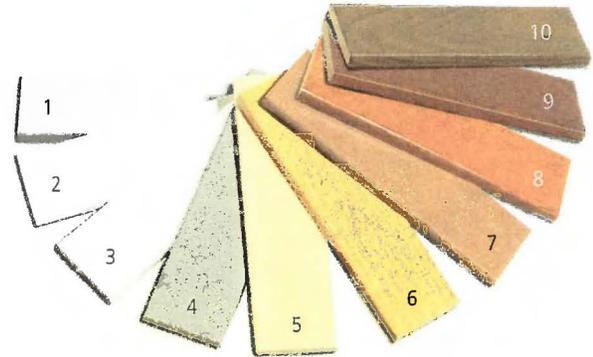


Fixed, Radius & Geometric

## Standard Prefinished Interiors\*

- |                    |              |
|--------------------|--------------|
| 1. Primed          | 6. Wheat     |
| 2. Brilliant White | 7. Cider     |
| 3. Ivory           | 8. Fruitwood |
| 4. Desert Sand     | 9. Cordovan  |
| 5. Clear Lacquer   | 10. Walnut   |

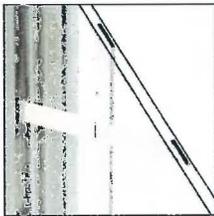
\*Colors shown may vary from final finish.



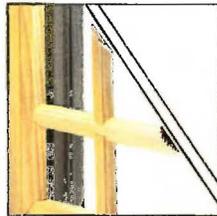
**SUSTAINABLE FORESTRY INITIATIVE**  
SFI-00364

FSC® certified or SFI® certified wood available. See your JELD-WEN dealer for details.

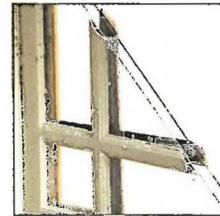
## Divided Lites



Grilles Between the Glass (GBG)



Full-Surround (FS) and Knocked-Down (KD) Removable Wood Grilles



Simulated Divided Lites (SDL)

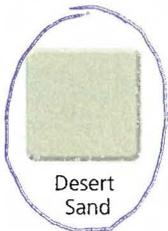
## Clad Colors\*



Brilliant White



French Vanilla



Desert Sand



Hartford Green



Mesa Red



Chestnut Bronze



Black

\* Colors shown may vary from actual color.

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## Decorative Glass Options

### Tinted Glass

Reduces glare and is ideal for areas that get a lot of direct sunlight in the summer.



Low-E



LoE3-366

### Textured Glass

Lets light in while maintaining privacy.

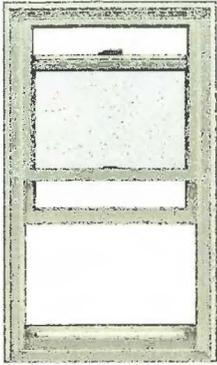


Obscure

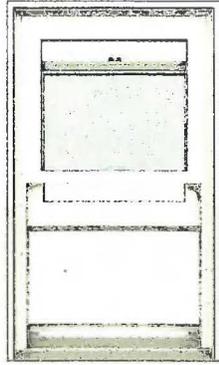
# HARDWARE & SCREEN OPTIONS



## Double-Hung Sash Options



Standard Sash Option



Traditional Sash Option

## Window Hardware



Nesting Handle



Sash Lock

## Painted Finishes



White



Desert Sand



Chestnut Bronze

## Plated Finishes



Polished Brass



Oil-Rubbed Bronze



Brushed Chrome

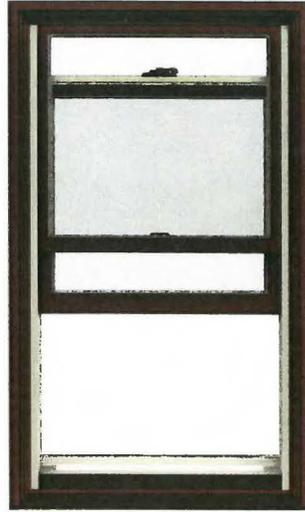


Antique Brass

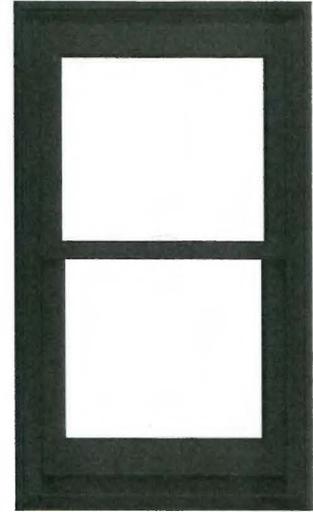
## Double-Hung Jamb Liner Options



Without Optional Jamb Liner Edge Cover



With Optional Jamb Liner Edge Cover



## Screen Options\*

These screens are designed to keep insects outside, while letting more natural light inside. They feature fine, black fiberglass mesh with a light gloss finish. BetterVue® insect screens are standard for awning, casement and double-hung windows.

Regular Screen

BetterVue® Screen

UltraVue® Screen



View through regular fiberglass insect screen



View through BetterVue insect screen (standard)



View through optional UltraVue insect screen



\*These images are for illustration purposes only. Insect screens are intended to allow air and light in, while keeping insects out. They are not intended to stop children from falling through an open door or window. For safety screens and other security devices, contact your local building supply retailer.

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# PERFORMANCE GLASS OPTIONS

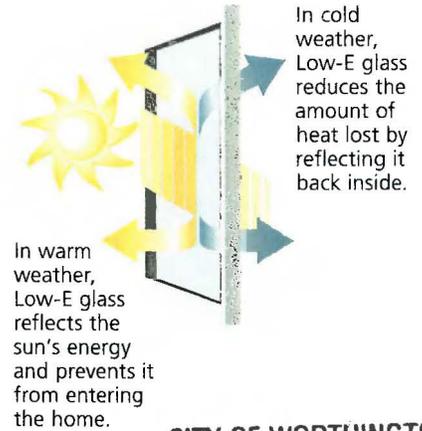
## Low-E, LoE<sup>3</sup>-366 and Low-E EC Insulating Glass

High-performance Low-E insulating glass comes standard to help lower energy costs, allows homes to stay cooler in the summer and warmer in the winter, prevents fading of interior furnishings, and reduces condensation. It also delivers greater visible light transmittance than tinted glass. We also offer optional LoE<sup>3</sup>-366, which provides even more protection against heat loss and fading, as well as greater energy savings.

Most windows and patio doors with Low-E glass are ENERGY STAR® qualified. ENERGY STAR products help Americans save energy, save money, and reduce their carbon footprints. ENERGY STAR criteria for windows are based on the U-factor and SHGC combinations that provide significant energy efficiency for a given climate zone. Just tell your JELD-WEN® dealer you want JELD-WEN windows that are ENERGY STAR qualified for your climate zone.

For even more protection, choose Low-E EC for an "extra coating" that improves the thermal performance of our windows and is the optimal solution for meeting ENERGY STAR criteria in certain regions of the country.

For more information, visit [www.jeld-wen.com/energyefficiency](http://www.jeld-wen.com/energyefficiency).



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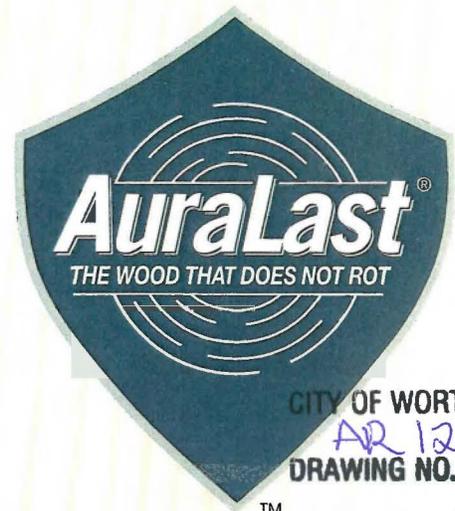
### ENERGY STAR®

The W-2500 line meets ENERGY STAR criteria in all four climate zones in the United States. ENERGY STAR criteria are achieved in North, North Central, and South Central climate zones with the standard glass package of LoE<sup>2</sup>-270 with argon, and in the Southern zone when grilles are used. Without grilles, Southern zone ENERGY STAR criteria are achieved with LoE<sup>3</sup>-366 and argon.

### Tax Credits, Rebates and Incentives

The JELD-WEN website is a great source of information for Tax Credits, Rebates and Incentives on energy efficient products. Visit [www.jeld-wen.com](http://www.jeld-wen.com) for more information. Because the windows in our W-2500 window line are so energy efficient, replacing old windows can mean money in your pocket.





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**AuraLast® Wood protects against wood rot for as long as you own and occupy your home. Guaranteed.**



### Guaranteed Protection Against Wood Rot

JELD-WEN® wood windows and patio

doors made with exclusive pine AuraLast Wood are guaranteed not to rot for as long as you own and occupy your home. Wood components made from AuraLast Wood maintain their structural integrity even in the toughest climates. Visit [jeld-wen.com](http://jeld-wen.com) to view the full warranty.\*



### Surface-to-Core Protection

Because of our vacuum/pressure process, AuraLast Wood provides virtually 100% penetration of the protective ingredients. Other manufacturers use submersion/dip-treatment methods, which only protect the outer surface of the wood.



### Working With AuraLast Wood is Easy

AuraLast offers the strength and beauty of real wood because it is real wood, not a composite. AuraLast Wood is colorless, stainable and odorless.



### AuraLast is Safe

AuraLast Wood is made by using a water-based solution to deliver the effective ingredients to the core of the wood. Traditional dip-treatments use a solvent-based chemical bath. During production our AuraLast process releases 96% fewer volatile organic compounds than the traditional dip-treatment method.



Traditional treatments only protect the outer surface

### A JELD-WEN Exclusive

Only JELD-WEN makes window and door products with natural pine AuraLast Wood that are built to last.

### Protects Against Water Saturation

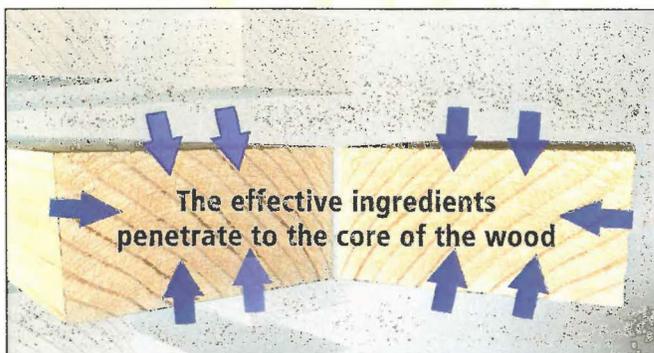
AuraLast Wood offers superior resistance to water saturation, which protects against swelling that causes windows and doors to stick.

### Protects Against Termites

Harmful termites will eat through unprotected wood—not so with AuraLast Wood.

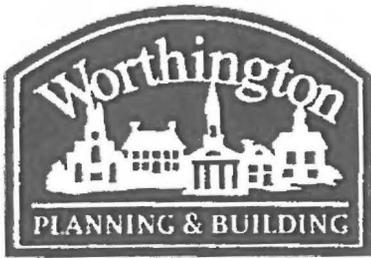
Visit [jeld-wen.com/auralast](http://jeld-wen.com/auralast) for more information

**\*AuraLast Lifetime Limited Warranty Coverage for Wood Decay and Termite Damage**



Virtually 100% Surface-to-Core Protection

**JELD-WEN products made from pine AuraLast Wood will not rot.**



# Amendment to Development Plan Application

Case #	ADP 08-16
Date Received	<del>10-13-16</del>
Fee #	50 <del>11-1-16</del>
Meeting Date	<del>10-27-16</del>
Filing Deadline	
Rcpt 62814	

- Property Location 160 W. Nilsonbridge Rd
- Present Use & Proposed Use Apartments / office.
- Present & Proposed Zoning WBC
- Applicant Worthington Spence Acquisition LLC  
Address 555 metro pl N Ste 600  
Phone 513 271 9026
- Property Owner Worthington Spence Acquisition LLC  
Address 555 metro pl N. Ste 600  
Phone 513 271 9026
- Project Description External Signage
- Variances Requested \_\_\_\_\_

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
Applicant (Signature)

10/12/16  
Date

Table 10/27/16

[Signature]  
Property Owner (Signature)

Oct. 12, 2016.  
Date

For: Phil Philippou  
Member Worthington Spence Acquisitions, LLC.

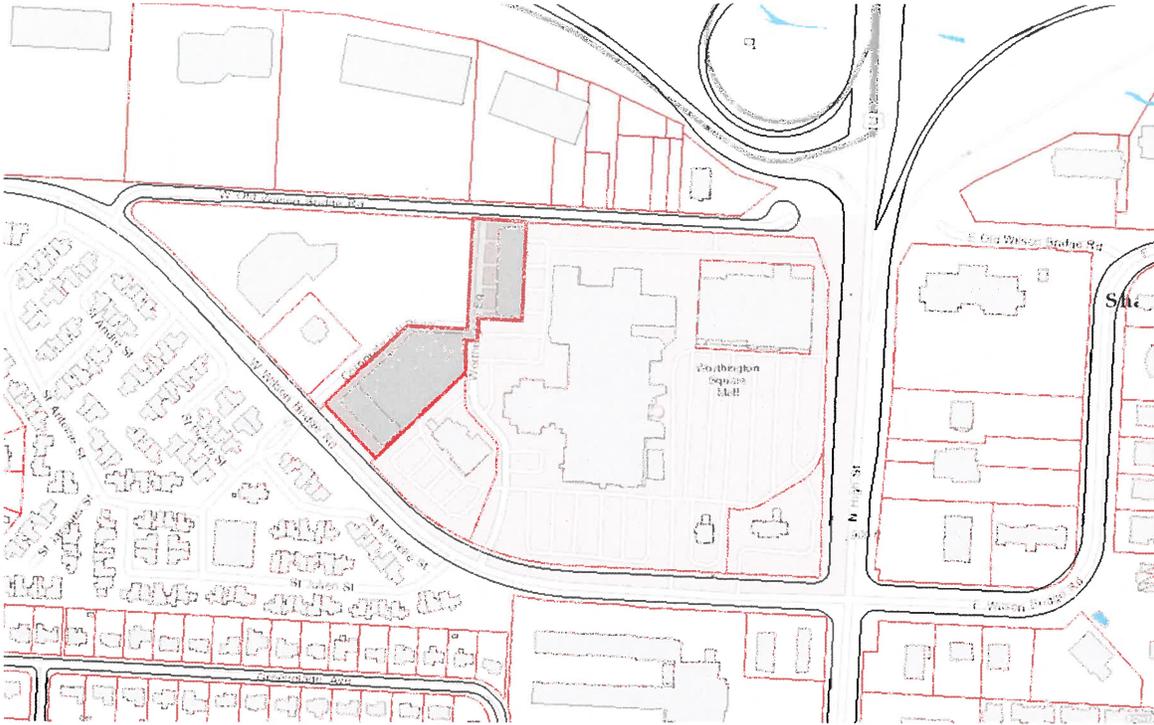
MPC Approval Date:

City Council Approval Date:

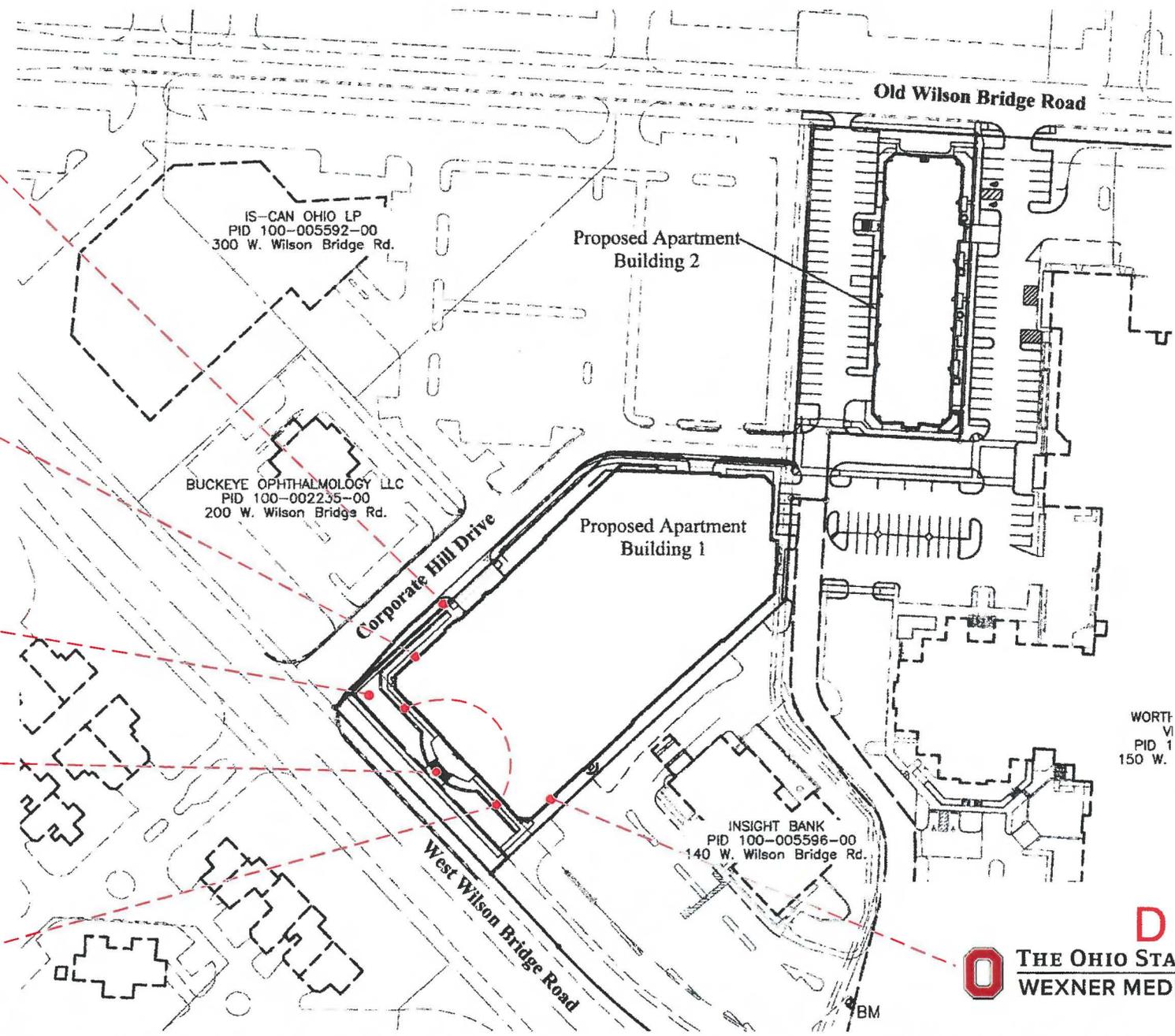
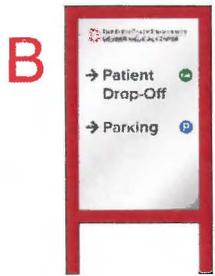
ABUTTING PROPERTY OWNERS FOR  
160 W. Wilson Bridge Rd.

Buckeye Ophthalmology LLC	46464 Bellbrook Pl.	Worthington, OH 43085
Buckeye Vision and Aesthetic Center	200 W. Wilson Bridge Rd.	Worthington, OH 43085
IS-CAN Ohio X LLLP	2600 Corporate Center Dr., Ste 1	Columbus, OH 43231
The Shops at Worthington Place	7227 N. High St.	Worthington, OH 43085
First Financial Bank	150 W. Wilson Bridge Rd.	Worthington, OH 43085
Towne Properties	Joseph Swartz 777-A Dearborn Park Ln	Worthington, OH 43085
Stephen Lewis	126 Saint Andre St.	Worthington, OH 43085

# 160 W. Wilson Bridge Rd.



**C**  
**FUTURE TENANT**



WORTHINGTON VI  
PID 1  
150 W.

CITY OF WORTHINGTON  
*ADP 08-16*  
DRAWING NO.  
DATE 11-1-16



CLIENT APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

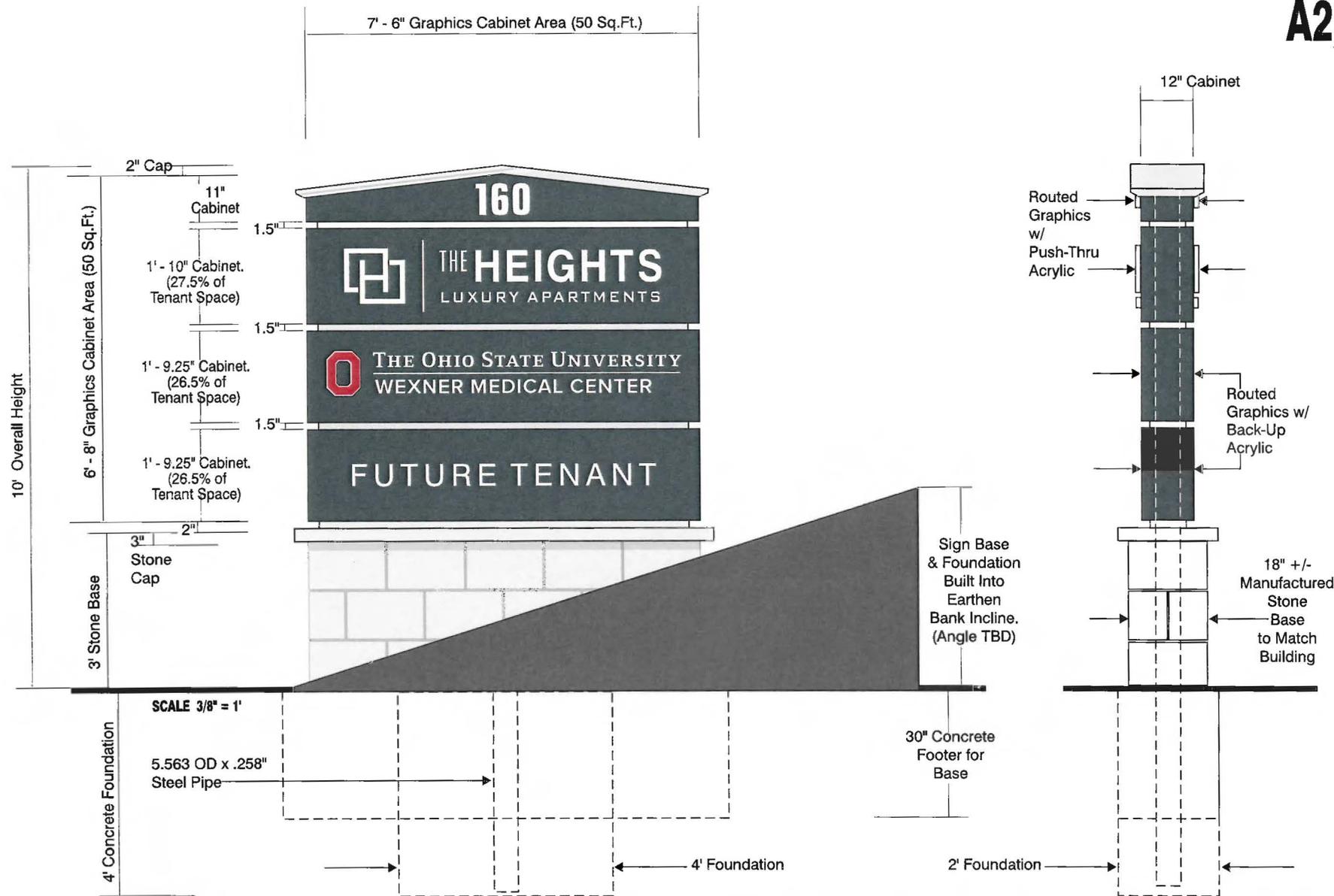
PRODUCTION ART REQUIRED  
Colors on Printed Documents May Vary

PROJECT NAME THE HEIGHTS  
LOCATION \_\_\_\_\_  
CITY COLUMBUS STATE \_\_\_\_\_

REVISION 5-18-16 7-6-16  
8-1-16 9-13-16 10-7-16  
10-12-16

SALES BMS  
DESIGN KD  
SIZE 14

DATE 4-18-16  
SCALE Noted  
PROJECT# 16239



# A2) 1 Total---- D.F MONUMENT TENANT SIGN

GRAPHIC AREA = 50 SQ. FT. MAX.

ALL INFORMATION SHOWN A PRELIMINARY & SUBJECT TO VERIFICATION.

ALUMINUM CLAD CABINETS, REVEALS & CAP CONSTRUCTED OVER WELDED METAL FRAMEWORK.

ADDRESS & MIDDLE CABINET - GRAPHICS ARE ROUTED THRU THE FACE PLATES & BACKED UP WITH 1" THICK PUSH-THRU ACRYLIC.

TENANT CABINETS - GRAPHICS ARE ROUTED THRU THE FACE PLATES & BACKED UP WITH BACK-UP ACRYLIC.

ALL GRAPHICS ILLUMINATED WITH LED LIGHT CLUSTERS HOUSED INSIDE CABINETS & POSITIONED FOR OPTIMUM LIGHT.

SIGN SECURED TO 5.563 OD X .258" STEEL CENTER PIPE. PIPE SET IN CONCRETE FOUNDATION = 2' X 4' X 4'

BASE - CONSTRUCTED OF MANUFACTURED STONE TO MATCH BUILDING FASCIA. BASE & SUBGRADE CONCRETE FOOTER - BY OTHERS.

SIGN BASE, FOOTER & PIPE FOUNDATION BUILT INTO EXISTING EARTHEN BANK AT SITE. AREA FOR INSTALL TO BE EVALUATED & VERIFIED.

COLORS-----

- TOP CAP - MAP SATIN SILVER.
- ALL CABINETS- DARK GREY PMS#432 (verify)
- REVEALS - MAP SATIN SILVER.
- ADDRESS - ILLUMINATED WHITE W/ WHITE HALO GLOW.
- "THE HEIGHTS" - GRAPHICS - ILLUMINATED WHITE W/ WHITE HALO GLOW.
- OSU BLOCK "O" - ILLUMINATED BLACK, RED, WHITE.
- TEXT - ILLUMINATED WHITE.

CITY OF WORTHINGTON  
ADP 08-16  
DRAWING NO.

DATE 11-1-16



CLIENT APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

PRODUCTION ART REQUIRED  
Colors on Printed Documents May Vary

PROJECT NAME THE HEIGHTS  
LOCATION \_\_\_\_\_  
CITY COLUMBUS STATE \_\_\_\_\_

REVISION	5-18-16	7-6-16
	8-1-16	9-13-16
	10-12-16	10-25-16
		11-1-16

SALES BMS  
DESIGN KD  
SIZE 14

DATE 4-18-16  
SCALE Noted  
PROJECT# 16239



B1)

**DIRECTIONAL PARKING SIGN**

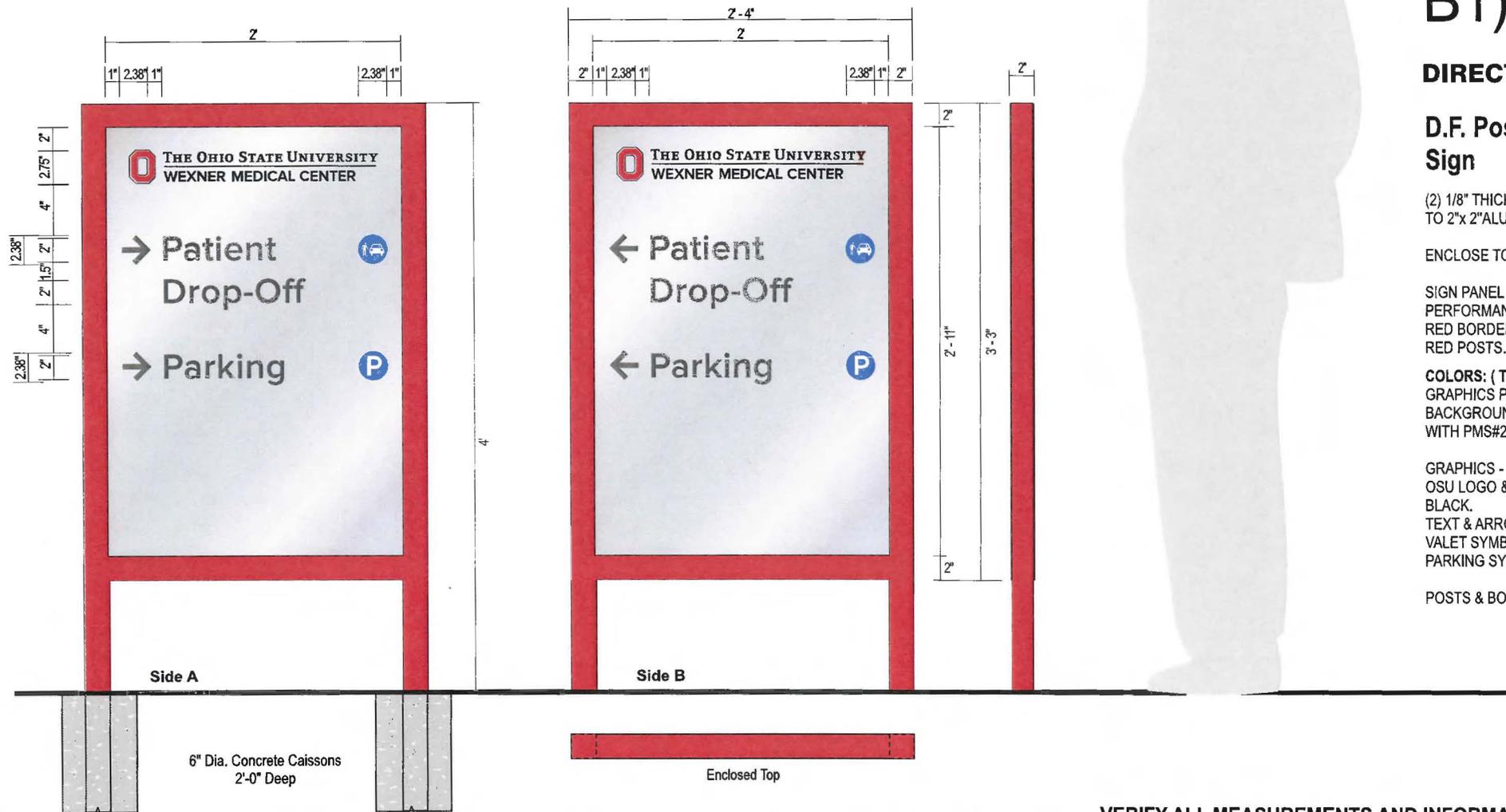
**D.F. Post & Panel Wayfinding Sign**

APPROX. SCALE 1/4" = 1' +/-

VERIFY ALL MEASUREMENTS AND INFORMATION PRIOR TO PRODUCTION

CITY OF WORTHINGTON:  
ADP 08-16  
DRAWING NO.

DATE 11-1-16



B1)

**DIRECTIONAL PARKING SIGN**

**D.F. Post & Panel Wayfinding Sign**

(2) 1/8" THICK ALUMINUM SIGN PANELS SECURED TO 2"x 2" ALUMINUM POSTS.

ENCLOSE TOP OF SIGN/POSTS.

SIGN PANEL GRAPHICS ARE OPAQUE HIGH PERFORMANCE VINYL  
RED BORDER ON SIGN PANELS TO MATCH WITH RED POSTS.

**COLORS: ( TO BE CONFIRMED)**  
GRAPHICS PANELS - BRUSHED ALUMINUM BACKGROUND WITH PMS#200 RED BORDERS..

GRAPHICS - OSU LOGO & TEXT - PMS#200 RED, WHITE & BLACK.  
TEXT & ARROWS - NIMBUS GREY.  
VALET SYMBOL - BLUE & WHITE.  
PARKING SYMBOL - BLUE & WHITE

POSTS & BORDER - PTM RED, PMS #200

CITY OF WORTHINGTON  
ADP 08-16  
DRAWING NO.

DATE 11-1-16

VERIFY ALL MEASUREMENTS AND INFORMATION PRIOR TO PRODUCTION

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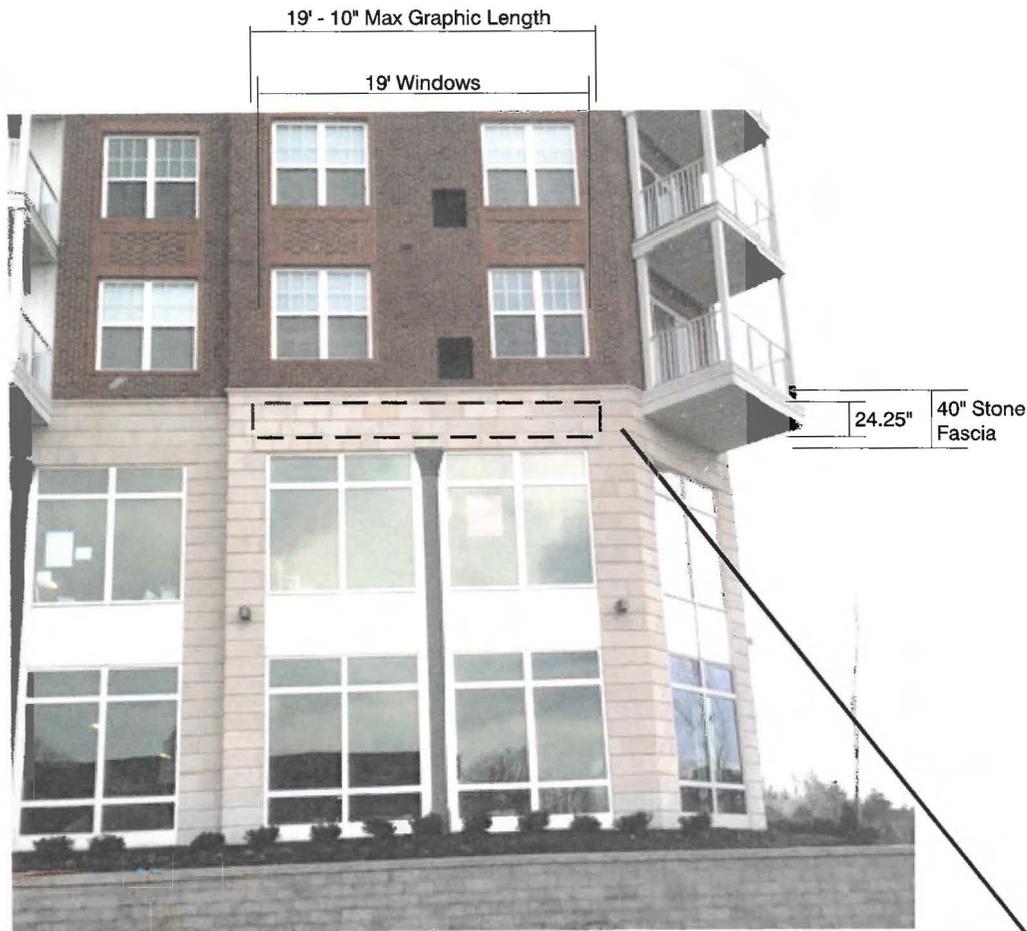
CLIENT APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

PRODUCTION ART REQUIRED  
Colors on Printed Documents May Vary

PROJECT NAME THE HEIGHTS  
LOCATION \_\_\_\_\_  
CITY COLUMBUS STATE \_\_\_\_\_

REVISION 10-12-16

SALES BMS  
DESIGN KD  
SIZE 14  
DATE 8-17-16  
SCALE Noted  
PROJECT# 16445



NORTHWEST ELEVATION // SCALE 3/32" = 1'

**C) 1 Set Total- FACE ILLUMINATED CHANNEL FORMED GRAPHICS**

**Up To 40 sq.ft. Max.**

Information Shown as Preliminary & Subject to Change

GRAPHICS - INDIVIDUALLY FABRICATED ALUMINUM CHANNEL LETTERS, UNDERSCORE & LOGO WITH ALUMINUM BACKS 4" DEEP.

ACRYLIC FACES ARE HELD IN WITH TRIMCAP RETAINERS.

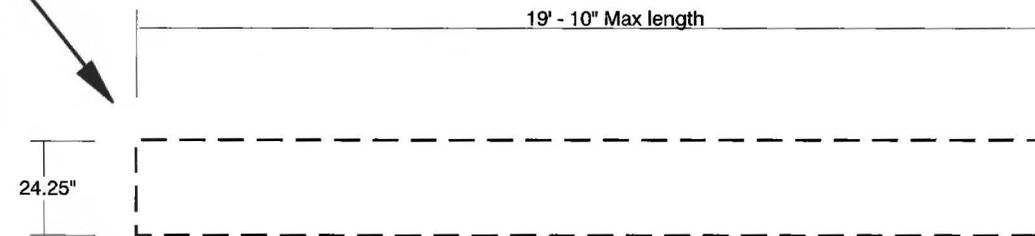
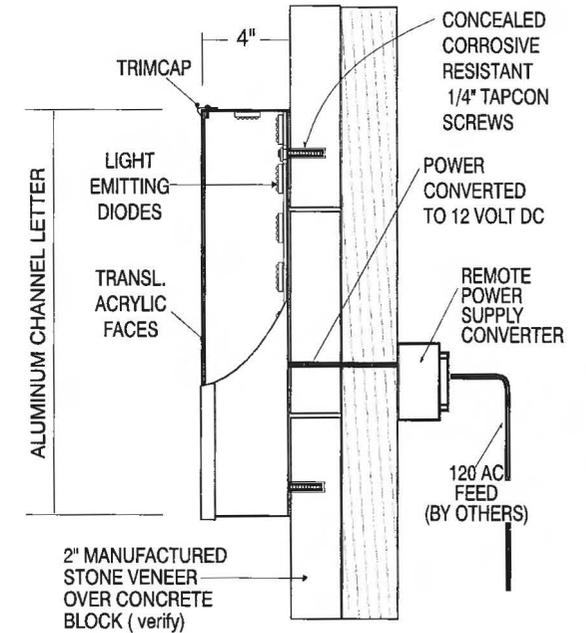
HIGH OUTPUT LIGHT EMITTING DIODES (LED) CLUSTERS ARE HOUSED INSIDE EACH SHAPE & EMIT LIGHT THROUGH ACRYLIC FACES.

LED'S ARE POWERED BY 120 AC FEED BROUGHT TO SIGHT BY OTHERS

GRAPHICS ARE MOUNTED FLUSH TO STONE CLAD WALL WITH CONCEALED, CORROSIVE RESISTANT 1/4" TAPCON CONCRETE SCREWS MINIMUM DEPTH - 1.25" INTO STONE

3 FASTENERS MINIMUM PER LETTER; EVENLY SPACED.

**COLORS**-----  
 LETTER FACES - ILLUMINATED ACRYLIC COLOR TO CONTRAST WITH FASCIA.  
 ALL TRIMCAP & RETURNS - TO MATCH OR COMPLIMENT FACE COLOR



SCALE 1/4" = 1'

CITY OF WORTHINGTON  
 ADP 08-16  
 DRAWING NO.

DATE 11-1-16

19' Windows

17' - 4" Overall



SOUTHEAST ELEVATION // SCALE 3/32" = 1'

1 Set Total- FACE ILLUMINATED CHANNEL LETTERS, UNDERSCORE & LOGO

40 sq.ft. Max.

Information Shown as Preliminary & Subject to Change

GRAPHICS - INDIVIDUALLY FABRICATED ALUMINUM CHANNEL LETTERS, UNDERSCORE & LOGO WITH ALUMINUM BACKS 4" DEEP.

ACRYLIC FACES ARE HELD IN WITH TRIMCAP RETAINERS.

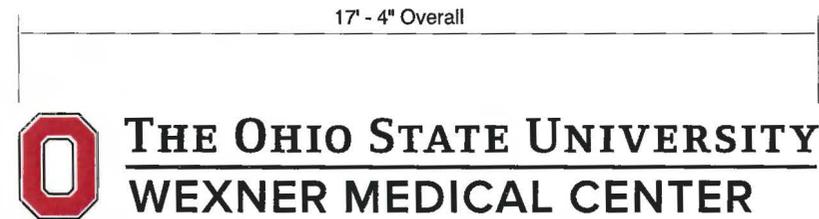
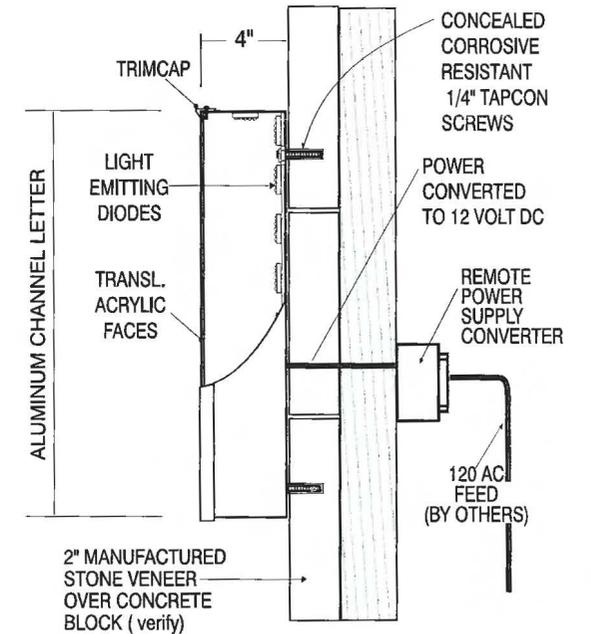
HIGH OUTPUT LIGHT EMITTING DIODES (LED) CLUSTERS ARE HOUSED INSIDE EACH SHAPE & EMIT LIGHT THROUGH ACRYLIC FACES.

LED'S ARE POWERED BY 120 AC FEED BROUGHT TO SIGHT BY OTHERS

GRAPHICS ARE MOUNTED FLUSH TO STONE CLAD WALL WITH CONCEALED, CORROSIVE RESISTANT 1/4" TAPCON CONCRETE SCREWS MINIMUM DEPTH - 1.25" INTO STONE

3 FASTENERS MINIMUM PER LETTER; EVENLY SPACED.  
6 FASTENERS MINIMUM PER UNDERSCORE; EVENLY SPACED.  
4 FASTENERS MINIMUM PER "BLOCK O" LOGO.

COLORS-----  
BLOCK "O" LOGO - TRANSLUCENT BLACK & PMS # 200 RED VINYL APPLIED TO WHITE ACRYLIC.  
LETTERS & UNDERSCORE FACES - BINARY BLACK/WHITE ACRYLIC.  
ALL TRIMCAP & RETURNS - BLACK.



SCALE 1/4" = 1'

CITY OF WORTHINGTON  
ADP 08-16  
DRAWING NO.

DATE 11-1-16



SOUTHWEST ELEVATION // SCALE 1/8" = 1'

**E) 1 Set Total-  
NON-ILLUMINATED  
WALL MOUNTED GRAPHICS**

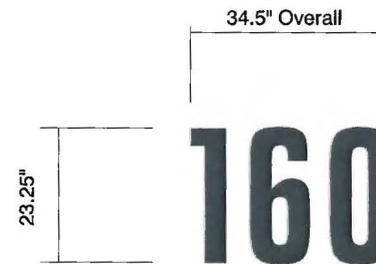
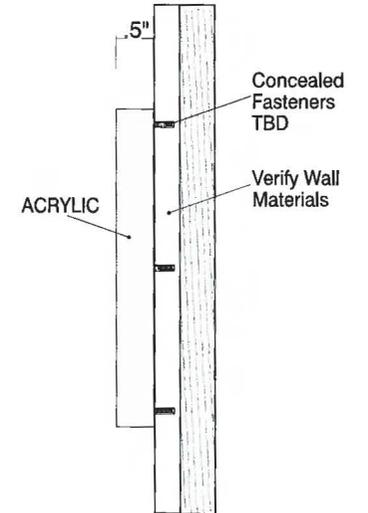
Information Shown as Preliminary & Subject to Change

INDIVIDUALLY CUT OUT NUMBERS;  
.5" ACRYLIC WITH ALL EDGES  
SMOOTHED & FINISHED

MOUNTED FLUSH TO FASCIA WITH  
CONCEALED, CORROSIVE  
RESISTANT BACK STUDS SET  
INTO PRE-DRILLED BORES

( VERIFY MATERIALS; — ALUMINUM  
PANELS OVER METAL STUD WALL ?).

COLORS-----  
NUMBERS - DARK GREY PMS#432  
(TBD)



CITY OF WORTHINGTON  
ADP 08-16  
DRAWING NO.

DATE 11-1-16



CITY OF WORTHINGTON  
 AOP 08-16  
 DRAWING NO.

DATE 11-1-16

F) 2 TOTAL WALL MOUNTED BLADE SIGNS



CLIENT APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

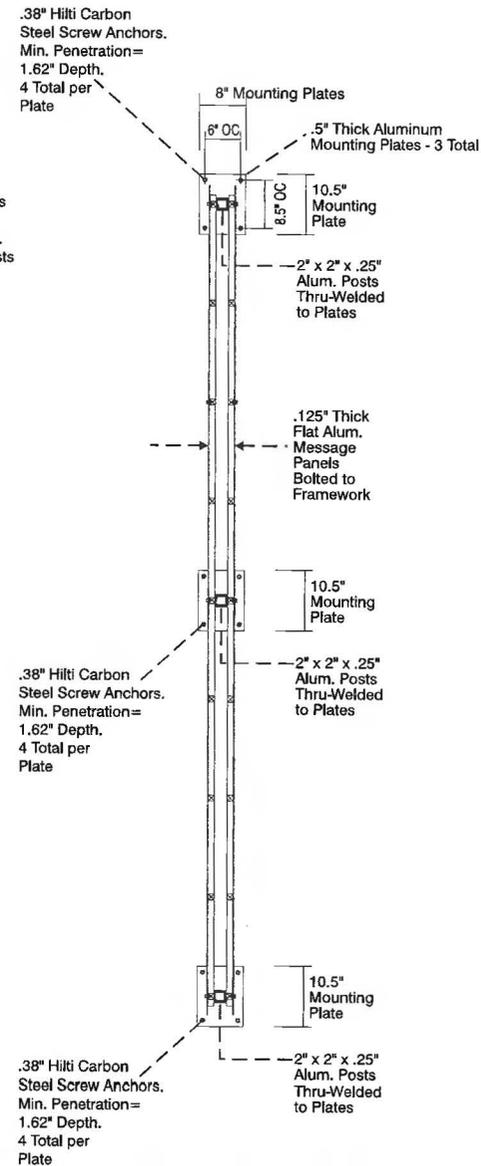
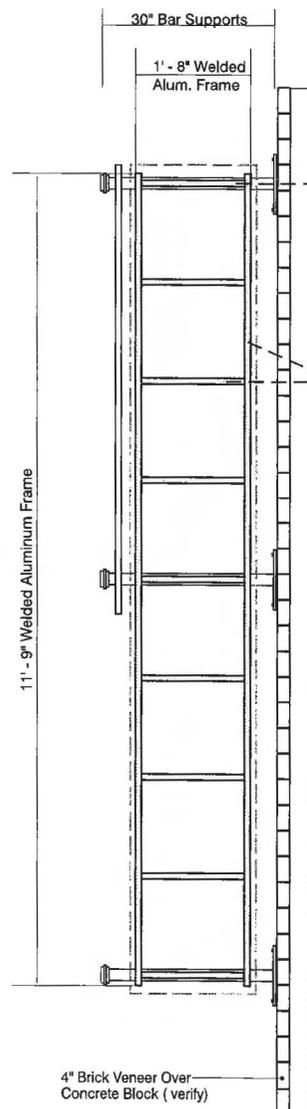
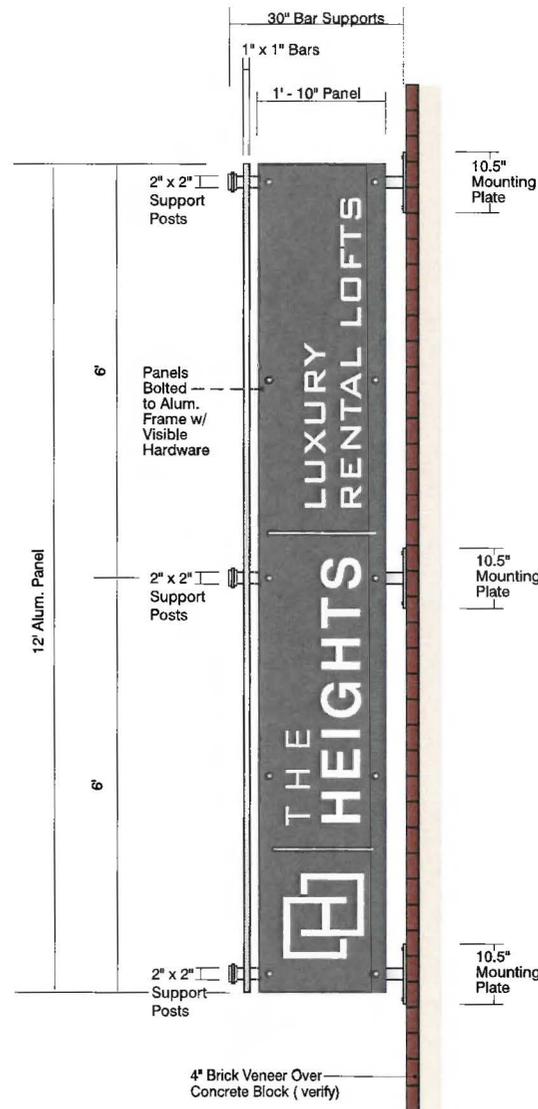
PRODUCTION ART REQUIRED  
 Colors on Printed Documents May Vary

PROJECT NAME THE HEIGHTS  
 LOCATION \_\_\_\_\_  
 CITY COLUMBUS STATE \_\_\_\_\_

REVISION 5-18-16  
7-6-16 8-1-16  
10-12-16 10-25-16

SALES BMS  
 DESIGN KD  
 SIZE 14

DATE 4-18-16  
 SCALE Noted  
 PROJECT# 16239



**F) 2 TOTAL**  
**WALL MOUNTED BLADE SIGNS**

VERIFY ALL INFORMATION SHOWN

ALUMINUM CONSTRUCTED PROJECTING WALL BRACKETS & SUB-FRAME SUPPORTS. WELDED TOGETHER.

DECORATIVE END CAPS & END BARS ADDED TO BRACKET. ALL ENDS ARE SEALED.

MESSAGE PANELS - 2 PER FRAME/BRACKET; MOUNTED TO BOTH SIDES. .125" THICK ALUMINUM PANELS WITH HIGH PERFORMANCE VINYL GRAPHICS. PANELS ARE SECURED FLUSH TO BACK FRAME WITH PURPOSEFUL, VISIBLE, STAINLESS STEEL HARDWARE SET INTO FRAMEWORK NUTSERTS. PANELS ARE REMOVABLE FOR CHANGEABILITY.

MOUNTING PLATES ARE SECURED FLUSH TO BRICK CLAD CONCRETE WALLS WITH CORROSION RESISTANT .38" HILTI CARBON STEEL SCREW ANCHORS. 4 TOTAL PER PLATE; 1.62" MINIMUM PENETRATION DEPTH.

NEOPRENE WASHERS BETWEEN ALUMINUM & STEEL CONTACT POINTS.

COLORS-----  
 BRACKETS - MAP BRUSHED SILVER.  
 HARDWARE - MAP BRUSHED SILVER.  
 PANELS - DARK GREY PMS#432.  
 GRAPHICS - WHITE.

CITY OF WORTHINGTON  
 ADP 08-16  
 DRAWING NO.

DATE 11-1-16



CLIENT APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

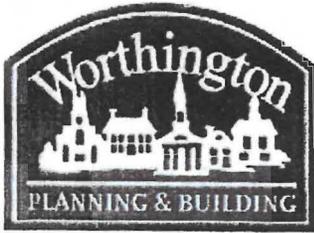
PRODUCTION ART REQUIRED  
 Colors on Printed Documents May Vary

PROJECT NAME THE HEIGHTS  
 LOCATION \_\_\_\_\_  
 CITY COLUMBUS STATE \_\_\_\_\_

REVISION 5-18-16  
7-6-16 8-1-16  
10-12-16 10-25-16

SALES BMS  
 DESIGN KD  
 SIZE 14

DATE 4-18-16  
 SCALE Noted  
 PROJECT# 16239



# City of Worthington

## SWOP (SUBDIVISION WITHOUT PLAT) APPLICATION

Case #	SWOP 02-16
Fee	\$25.00 <i>pk</i>
# Date Received	10/28/2016
1 <sup>st</sup> Action/Date	11/10/2016
2 <sup>nd</sup>	2884

### A. General Information

1. Property Location 6009 Olentangy River Rd Zoning R-10
3. Applicant Jamie & Katy Barrer  
 Address 855 Edgemoor Tr. Columbus, Oh 43235  
 Phone 614.554.4097, 614.554.1982
4. Property Owner Marta Chase *Rose Chase*  
 Address 112 Rhododendron Ct. Chapel Hill, NC 27517  
 Phone Atty: John Jones (for Chase family) 614.885.8118

### B. Existing

1. Number of lots 1 2. Area of each 1.587 acres  
~~1.47 acres~~

### C. Proposed

1. Number of lots 2 2. Area of each South Lot - .70 acres, North Lot - .89 acres
3. Dimensions \_\_\_\_\_ 4. Frontage South Lot - 133.34'  
North Lot - 80'

### PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

*Katy Barrer*  
 Applicant (Signature)

10.6.16  
 Date

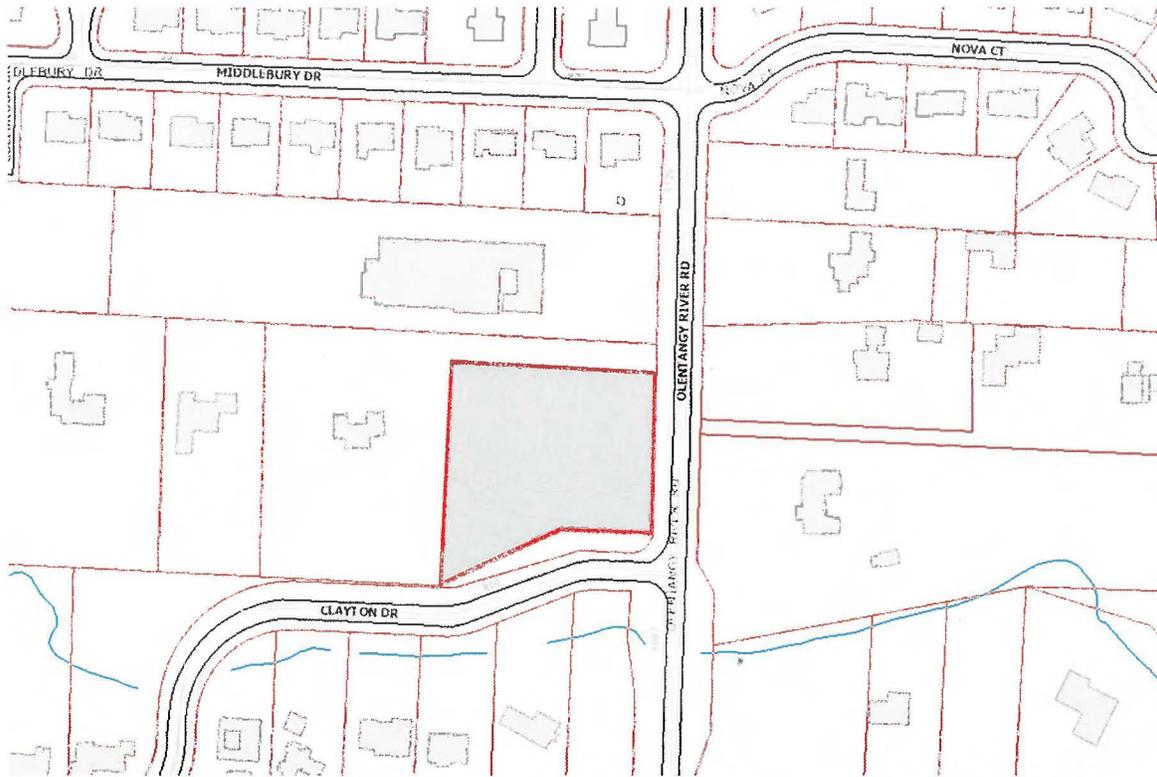
*M.A. Chase*  
 Property Owner (Signature)

10-8-16  
 Date

ABUTTING PROPERTY OWNERS FOR  
6069 Olentangy River Rd.

Congregation Beth Tikvah		6121 Olentangy River Rd.	Worthington, OH 43085
Juliet Taylor	Michael Davis	6080 Olentangy River Rd.	Worthington, OH 43085
Jamie Beckett		6064 Olentangy River Rd.	Worthington, OH 43085
Mark Blair		819 Clayton Dr.	Worthington, OH 43085
Anup & Alo Ray		831 Clayton Dr.	Worthington, OH 43085
Marta Chase		112 Rhododendron Ct.	Chapel Hill, NC 27517
John & Linda Keller		6075 Olentangy River Rd.	Worthington, OH 43085
David & April Scott		6077 Olentangy River Rd.	Worthington, OH 43085
Scott & Marta Whitlock		6081 Olentangy River Rd.	Worthington, OH 43085
Chris & Christine Scott		6085 Olentangy River Rd.	Worthington, OH 43085
William Cooper		6083 Olentangy River Rd.	Worthington, OH 43085

# 6069 Olentangy River Rd.



100-003154-00 06/25/2010

# 6069 OLENTANGY RIVER ROAD LOT SPLIT PROPOSAL

PRESENTED BY: JAMIE & KATY BURRIER

855 EDGECLIFF DR

COLUMBUS, OHIO 43235 614.554.1982

## SUMMARY – SUPPORTING STATEMENT

We are purchasing 6069 Olentangy River Road, Worthington, Ohio, 43085 as well as the adjacent sliver lot off Clayton Drive from Marta & Ross Chase. The parcel in the request is #100-003154-00.

The lot at 6069 Olentangy River Road has a rich history in the Worthington community. It was originally lot #62 owned by Charles Rau and was divided in 1950. The Chase family purchased the property in May of 1965. Once the owner, Nina Chase, passed away in 1993, Marta & Ross Chase, the adult children, took over the ownership of the property. As the farm house aged, it became uninhabitable and was completely removed leaving a beautifully treed-lined, ravine and grass property. Since that time, the property has not had any development.

We are a family of 5 and love this community and are very committed to staying here. We have been Worthington homeowners since 2012, and Katy's family has lived in Worthington since 1987. Katy is also a 1989 graduate. While our older children will start to graduate in the coming years, our youngest child may be living with us longer than typical. As a child on the Autism spectrum, we are unsure if he'll hit milestones at the same pace as most kids. Our hope is to provide a place that will give him the comfort and safety that a home can offer in the event he lives with us longer than anticipated. We have designed a home, through the help of a Worthington architect, Jim Wright of Residential Designed Solutions, and we are ready to build our forever home.

The purpose of this request is to split the property to create two generous lots for two new homes in the Worthington community, one of which we will call our home.

## DETAILS OF THE LOT SPLIT

The lot will be split East to West, with a North lot of .637 acres and a South lot of .939 acres. The lots will share the existing driveway access off Olentangy. An easement will be established with the future owners of the North lot to grant right of way access for the shared driveway entrance for the South lot. The requested split does not require any variances or complicated easements and does not impact any surrounding neighbors.

This proposal meets and exceeds zoning requirements for lot size, frontage and setbacks in the R-10 District as well as in respect to the Olentangy River Road Corridor Overlay standards. (Chart A)

In consideration of the developed vegetation and trees on this property, the number of trees being removed for development are minimal (Chart B and Exhibit B). Trees that are removed will be replaced in equal caliper as required by Worthington for both lots. Vegetation will be added post-development as well.

We propose the addresses are 6069 Olentangy River Road for the South lot and 6071 Olentangy River Road for the North lot which is in line with the corresponding addresses on Rau Lane.

Both lots will be required to connect to existing city sanitary sewer lines and water lines.

The South lot will begin the building process immediately upon receiving proper approvals and permits. It is anticipated that the North lot development will begin within the first 12 months after approval.

#### ADDITIONAL INFORMATION

The Worthington Comprehensive Plan and 2005 Strategic Plan Update recommends residential development for this area. Our plan to split and build two new homes aligns well with these strategic goals of our community.

**CHARTS & EXHIBITS**

Contents include:

- Chart A: Compliance with applicable zoning regulations
- Chart B: Tree replacement plan
- Exhibit A: Olentangy River Rd - Clayton, Lot Split (to scale)
- Exhibit B: Olentangy River Rd – Clayton, Site Plan (to scale)
- Exhibit C: Olentangy River Rd - Clayton, Tree Plan and Existing Vegetation
- Exhibit D: Supporting Documents - Existing Easements and Property History

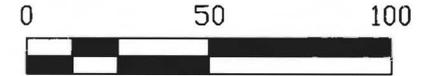
<b>CHART A - Zoning Regulation Compliance</b>			
	<b>R-10 Zoning &amp; ORR Corridor Overlay</b>	<b>6069 Olentangy River Road - South Lot</b>	<b>6071 Olentangy River Road – North Lot</b>
Lot Width Frontage	80'	133.34'	80'
Lot Area (3.5 units/1 acre)	12,445 sq ft, .29 acres	40,902 sq ft, .939 acres	28,183 sq ft, .647 acres
Front Setback (from Olentangy)	50' from property line/right-of-way	50'	50'
Setback for accessory structures and/or parking areas in front (off ORR)	50'	50'	50'
Side and Rear Yards (abutting existing lots)	40'	40'	40'
Side yard requirement	8', sum of 20'	8', sum of 20'+	8', sum of 20'+
Dwelling Unit Size Minimum	1,600 sq ft	2,700 sq ft	2,000+ sq ft (TBD)
Zoning Classification	Residential	Residential	Residential

<b>CHART B – Tree Replacement Plan</b>		
	<b>6069 Olentangy River Road - South Lot</b>	<b>6071 Olentangy River Road – North Lot</b>
Total Tree Caliper removal	24", 8", 12", 16", 12" = 72"	16", 12", 16", 48" = 92"
Tree Replacement Plan	New trees equivalent to 72" in caliper will be planted	New trees equivalent to 92" in caliper will be planted

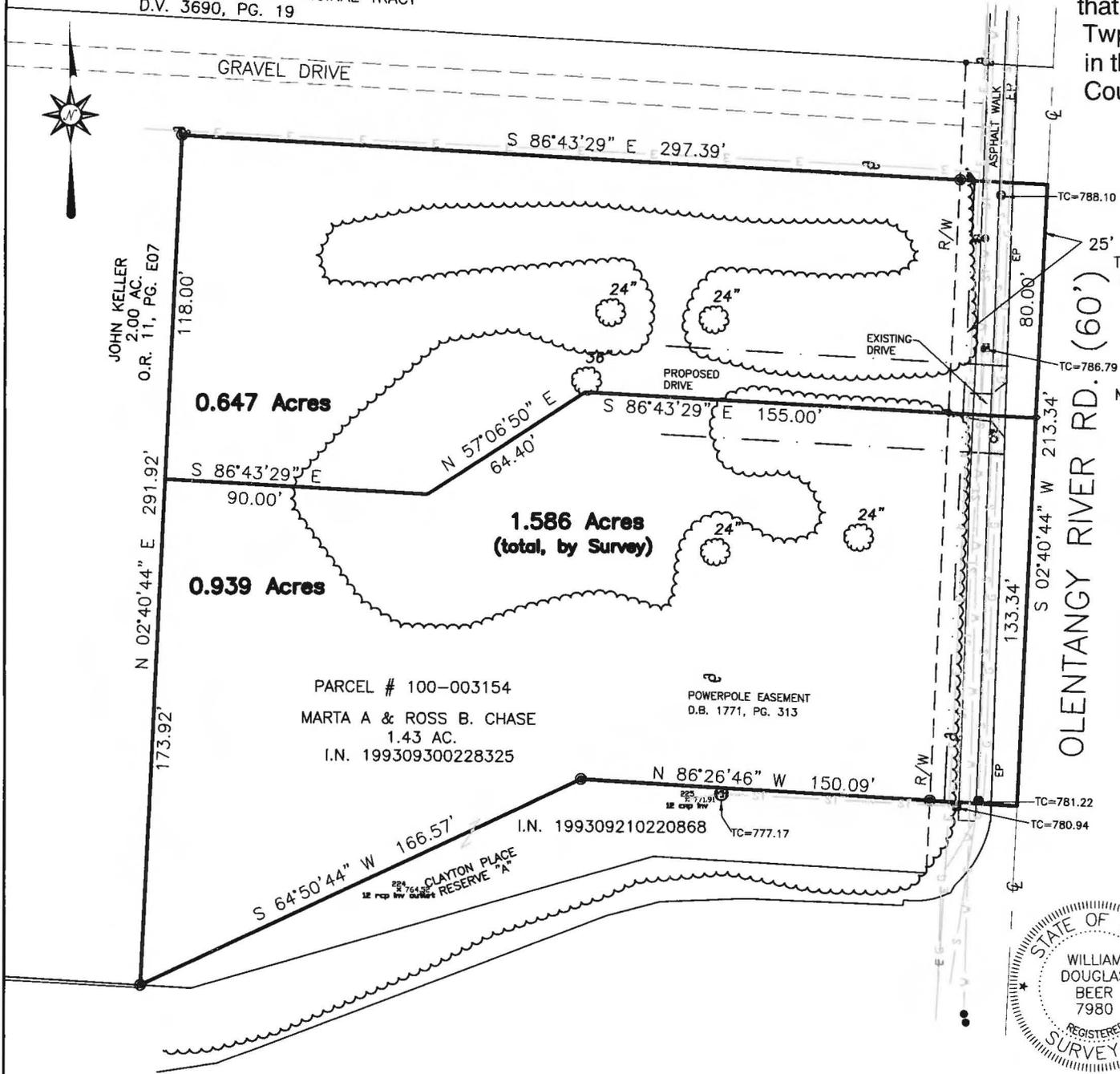
# PRELIMINARY LOT SPLIT EXHIBIT

CONGREGATION BETH TIKVAH  
4.006 AC. (DEED) RESIDUE OF ORIGINAL TRACT  
D.V. 3690, PG. 19

PARCEL # 100-003154, being all of that 1.59 acre tract located in Qtr. Twp. 3, Twp. 3, Range 18, U.S.M.L., being located in the City of Worthington, Franklin County, State of Ohio



SCALE 1" = 50'



25' UTILITY EASEMENT to  
The City of Worthington  
D.B. 2731, PG. 456

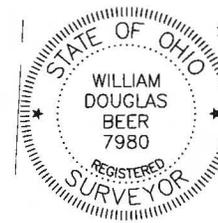
NOTE: PINS TO BE SET UPON APPROVAL  
FROM FRANKLIN COUNTY ENGINEER'S

Legend	
	Ex. Utility Riser
	Ex. Gas Valve
	Ex. Tree (size noted)
	Ex. Sanitary Manhole
	Ex. Catch Basin
	Ex. Storm Manhole
	Ex. Hydrant
	Ex. Water Valve
	Ex. Light Pole
	Ex. Power Pole
	Ex. Underground Storm
	Ex. Underground Gas
	Ex. Underground Water
	Ex. Underground Sanitary
	5/8\"-REBAR SET (w/ \"S-7980\" CAP)
	3/4\" IRON PIN FOUND
	= Survey Nail Set
	= Franklin County Monument

CITY OF WORTHINGTON  
SNOP 02-16  
DRAWING NO.

DATE 10-28-16

I hereby certify that the forgoing SITE PLAN  
Survey was prepared from actual  
field measurements in accordance with Chapter  
4733-37 Ohio Administrative Code.



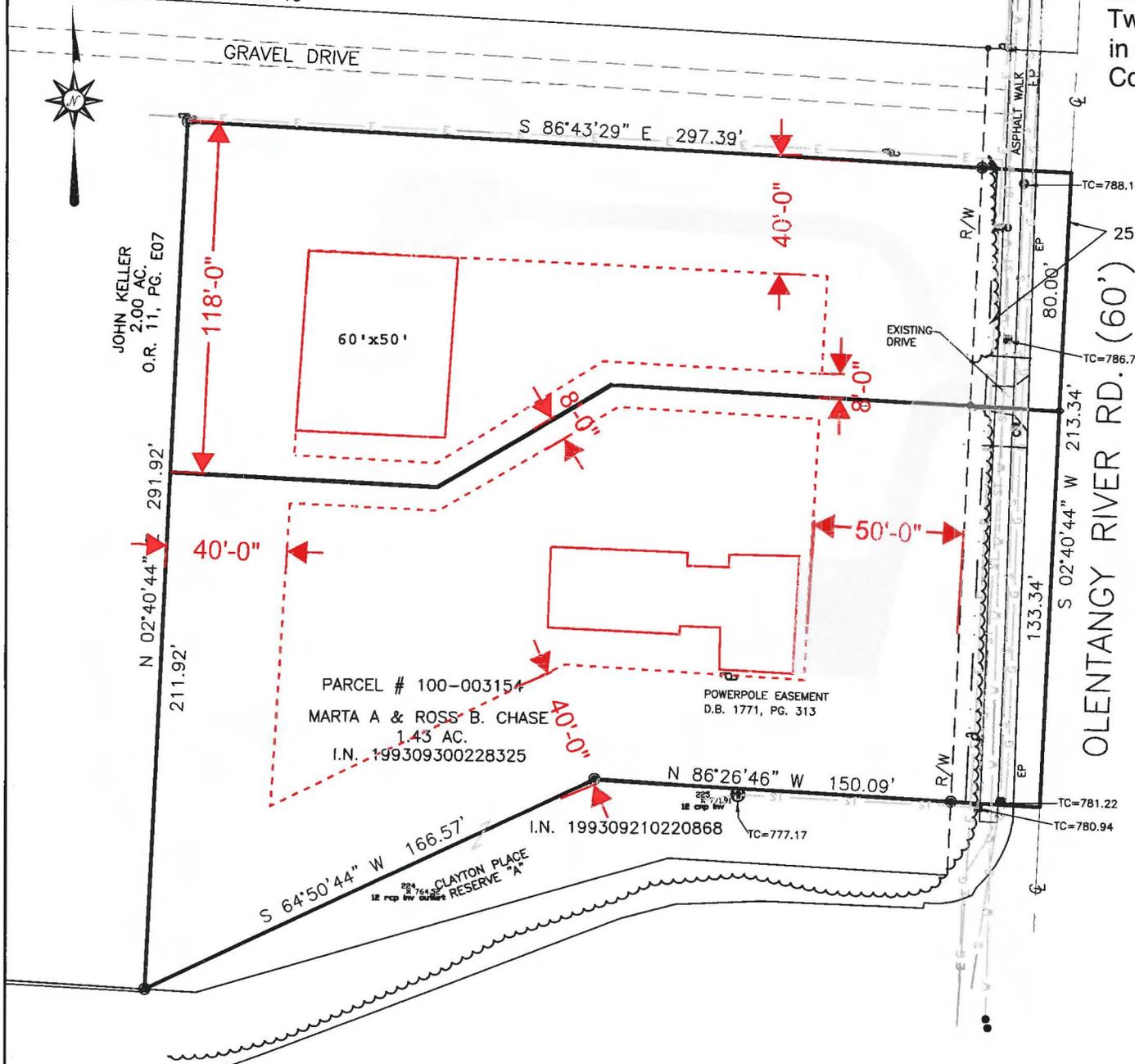
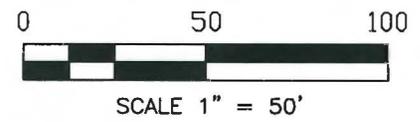
*William D. Beer* 10/31/16  
WILLIAM D. BEER DATE  
Registered Surveyor No. 7980

Exhibit A

CONGREGATION BETH TIKVAH  
 4.006 AC. (DEED) RESIDUE OF ORIGINAL TRACT  
 D.V. 3690, PG. 19

# PRELIMINARY BUILDING LAYOUT

PARCEL # 100-003154, being all of that 1.59 acre tract located in Qtr. Twp. 3, Twp. 3, Range 18, U.S.M.L., being located in the City of Worthington, Franklin County, State of Ohio



25' UTILITY EASEMENT to  
 The City of Worthington  
 D.B. 2731, PG. 456

NOTE: PINS TO BE SET UPON APPROVAL  
 FROM FRANKLIN COUNTY ENGINEER'S

Legend	
	Ex. Utility Riser
	Ex. Gas Valve
	Ex. Tree (size noted)
	Ex. Sanitary Manhole
	Ex. Catch Basin
	Ex. Storm Manhole
	Ex. Hydrant
	Ex. Water Valve
	Ex. Light Pole
	Ex. Power Pole
	Ex. Underground Storm
	Ex. Underground Gas
	Ex. Underground Water
	Ex. Underground Sanitary
	5/8\"-REBAR SET (w/ \"S-7980\" CAP)
	3/4\" IRON PIN FOUND
	Survey Nail Set
	Franklin County Monument

CITY OF WORTHINGTON  
 SWOP 02-16  
 DRAWING NO.  
 DATE 10-28-16

Exhibit B

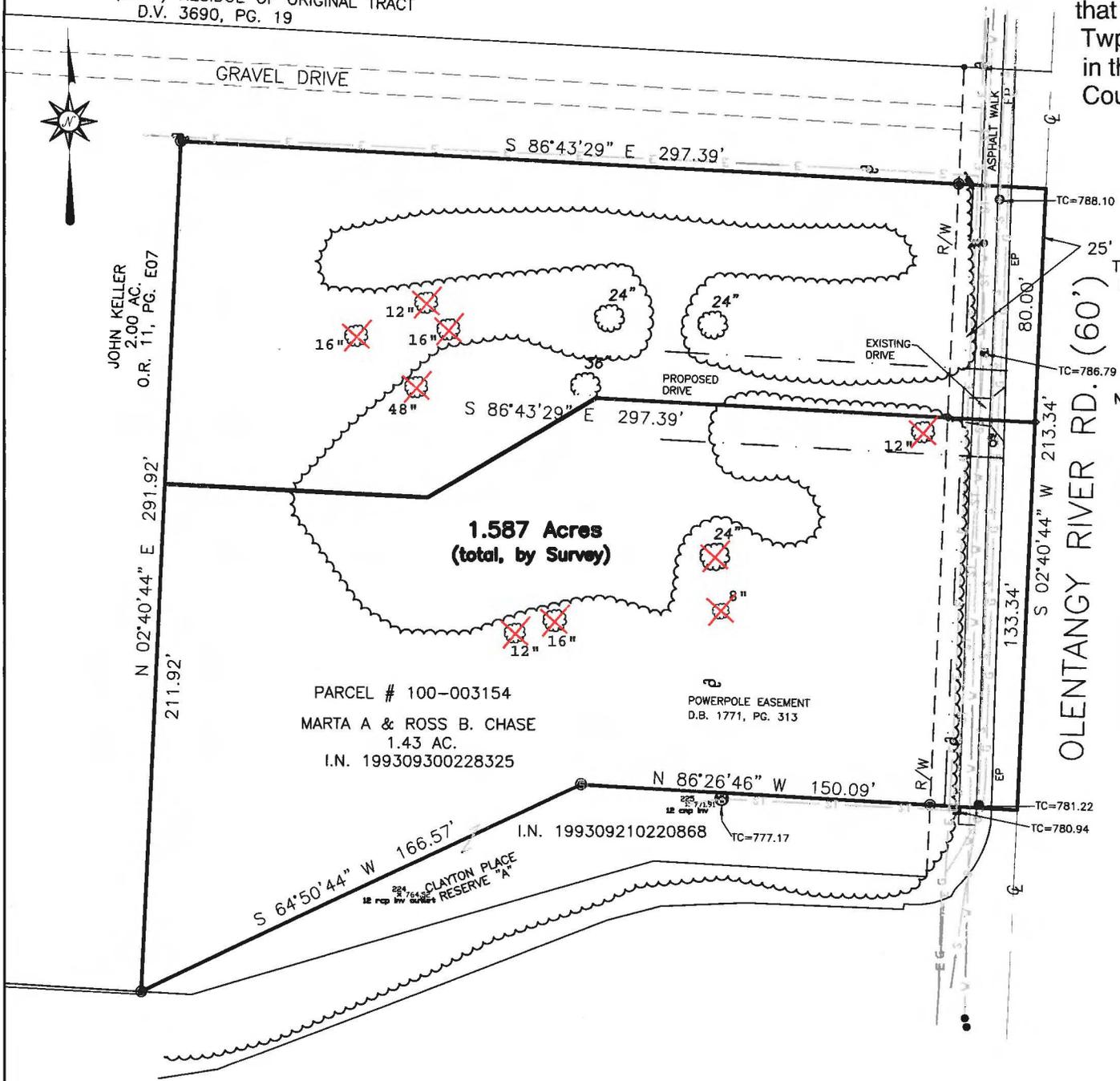
CONGREGATION BETH TIKVAH  
 4.006 AC. (DEED) RESIDUE OF ORIGINAL TRACT  
 D.V. 3690, PG. 19

# PRELIMINARY TREE REMOVAL PLAN

PARCEL # 100-003154, being all of that 1.59 acre tract located in Qtr. Twp. 3, Twp. 3, Range 18, U.S.M.L., being located in the City of Worthington, Franklin County, State of Ohio



SCALE 1" = 50'



25' UTILITY EASEMENT to  
 The City of Worthington  
 D.B. 2731, PG. 456

NOTE: PINS TO BE SET UPON APPROVAL  
 FROM FRANKLIN COUNTY ENGINEER'S

Legend	
	Ex. Utility Riser
	Ex. Gas Valve
	Ex. Tree (size noted)
	Ex. Sanitary Manhole
	Ex. Catch Basin
	Ex. Storm Manhole
	Ex. Hydrant
	Ex. Water Valve
	Ex. Light Pole
	Ex. Power Pole
	Ex. Underground Storm
	Ex. Underground Gas
	Ex. Underground Water
	Ex. Underground Sanitary
	5/8"-REBAR SET (w/ "S-7980" CAP)
	3/4" IRON PIN FOUND
	Survey Nail Set
	Franklin County Monument

CITY OF WORTHINGTON  
 SWOP 02-16  
 DRAWING NO.

DATE 10-28-16

Exhibit C



# City of Worthington

## ARCHITECTURAL REVIEW BOARD

### Certificate of Appropriateness Application

Case # AR 32-116  
Date Received 2-26-16  
Fee \$ 200  
Meeting Date 3-11-16  
Filing Deadline  
Receipt # 66658

1. Property Location 7007 N. High Street
2. Present/Proposed Use Hotel / Multi-Use Development
3. Zoning District C-4
4. Applicant Alliance Hospitality, Inc.  
Address 600 Enterprise Dr, Lewis Center, Ohio 43035  
Phone Number(s) 614-846-6600
5. Property Owner HE HARI INC  
Address 7007 N High Street, Worthington, Ohio 43085  
Phone Number(s) 614-436-0700
6. Project Description Redevelopment of existing site to construct two (2) new hotels and <sup>personal or prof. service</sup> restaurant buildings
7. Project Details:
  - a) Design see architectural sketches and imagery
  - b) Color see architectural sketches and imagery
  - c) Size see architectural sketches and imagery
  - d) Approximate Cost \$40 Million Expected Completion Date June 2019

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

*Tabled 3/10/16, 4/28/16*

Applicant (Signature)

2/26/16  
Date

Property Owner (Signature)

2/26/16  
Date

ABUTTING PROPERTY OWNERS  
FOR  
7007 N. High St.

The Shops at Worthington Place		7227 N. High St.	Worthington, OH 43085
Chase Bank		50 W. Wilson Bridge Rd.	Worthington, OH 43085
Worthington Duchess LLC		7141 N. High St.	Worthington, OH 43085
Worthington Duchess LLC		447 James Parkway	Newark, OH 43056
Park National Bank		7140 N. High St.	Worthington, OH 43085
Middleton Place Ltd		7100 N. High St.	Worthington, OH 43085
CF Bank		7000 N. High St.	Worthington, OH 43085
Fifth Third Bank		6895 N. High St.	Worthington, OH 43085
T & S Realty Venture LLC		PO Box 24550	Columbus, OH 43224-4550
Carol Meehan		130 Caren Ave.	Worthington, OH 43085
Steven & Jayne Rosandich		140 Caren Ave.	Worthington, OH 43085
Kristin Spyker	Scott Kyser	6917 Hayhurst St.	Worthington, OH 43085
Heather Monroe		135 Greenglade Ave.	Worthington, OH 43085
Shellie & Andrew Smith		1500 Glenn Ave.	Columbus, OH 43212
Resident		130 Greenglade Ave.	Worthington, OH 43085
Towne Properties	Joseph Swartz	777-A Dearborn Park Ln	Worthington, OH 43085
Stephen Lewis		126 Saint Andre St.	Worthington, OH 43085



## The Village at Worthington Square Worthington, Ohio

October 28, 2016

### Brief Supporting Statement

The Village at Worthington Square is comprised of 6 individual buildings arranged on a sloping site with 3 convenient entrances off the bordered Wilson Bridge Road to the north, North High Street to the east and Caren Avenue to the south. The buildings are arranged along internal streets and a village square. The hotels are placed on opposite corners of the village square, which creates a sense of enclosure and reinforces the place making aspects of a village or town center. Two areas off of Wilson Bridge Road provide outdoor dining as well as pedestrian access and views into the village. The parking lots are located to the south and west of the buildings and provide convenient access to the buildings. Internal sidewalks will provide easy access to all buildings from the parking areas as well as from the bordering streets and neighborhoods.

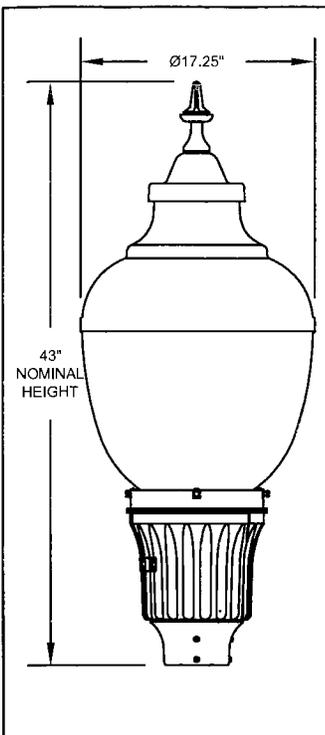
The architecture of the village is a traditional Colonial Style. All buildings explore the use of many roof forms from Mansard, Gabel, Hip, Etc. Each building is unique in massing, form, fenestration, and material selections. The hotels are expressed as a collection of buildings with varying roofs and materials thus breaking down the scale and reinforcing the village aesthetic. Architectural detailing will include cornice lines, moldings, brackets, traditional windows and doors, brick soldiers and rowlocks, chimneys, awnings, canopies, etc.

The overall idea of this development is to evoke the nature of a village that has developed over a period of time and not as a singular development. The site has incorporated the recommendations from the Wilson Bridge Road Corridor Study to help achieve the City's redevelopment goals for this area.

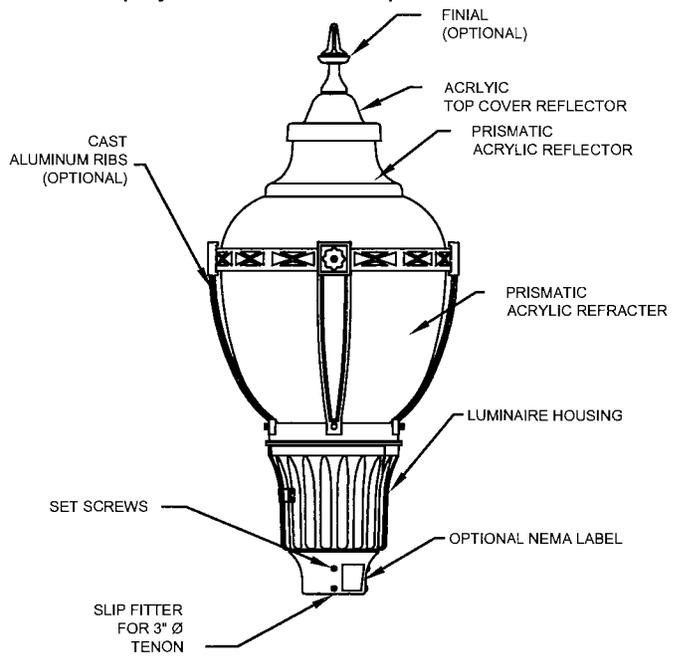
# 7007 N. High St.



100-001218 04/07/2014



Maximum weight - 37 lbs  
 Maximum effective projected area - 2.19 sq. ft.

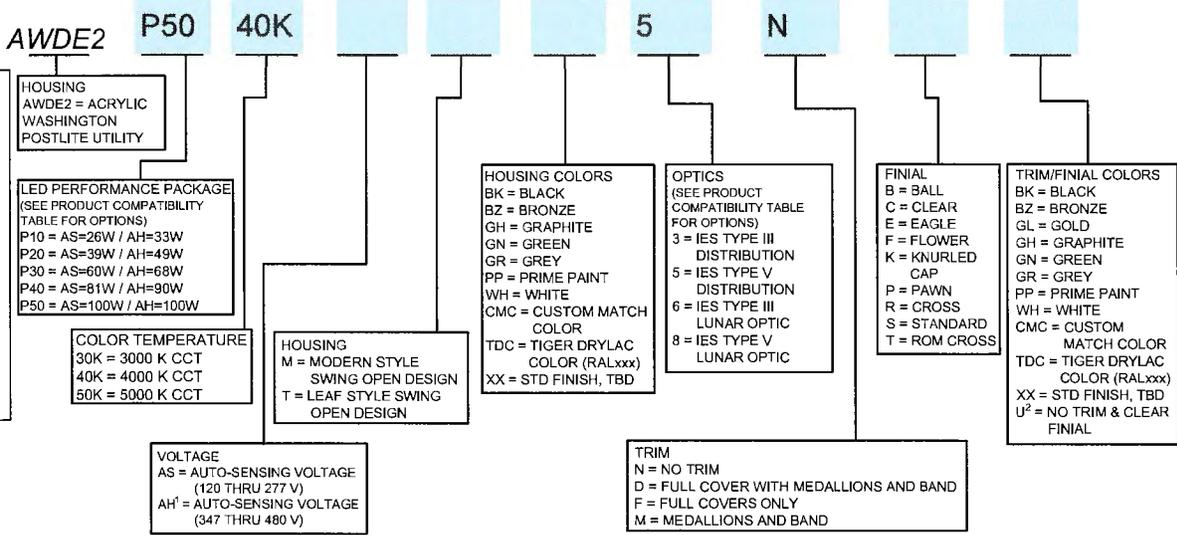


**Acrylic Washington Postlite® LED Series Luminaire**  
**Prismatic Style: Acrylic Washington**  
**Housing Size: Utility**

**DECORATIVE OUTDOOR**



**ORDERING INFORMATION:**



**OPTIONS**

**CONTROL OPTIONS**  
 AO<sup>3</sup> = FIELD ADJUSTABLE OUTPUT  
 DE<sup>4</sup> = ROAM 0 - 10V DIMMING CONTROL, INCLUDES NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE  
 FPDX<sup>5</sup> = FACTORY PROGRAMMED DRIVER (xx = % OF LUMENS OR WATTS)  
 H<sup>6</sup> = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE  
 P5<sup>7</sup> = DIMMING PC RECEPTACLE - 5 PIN  
 P7<sup>8</sup> = DIMMING PC RECEPTACLE - 7 PIN  
 PCLL<sup>9</sup> = LONG LIFE DTL TWISTLOCK PHOTOCONTROL FOR SOLID STATE  
 PCS<sup>10</sup> = DTL TWISTLOCK PHOTOCONTROL FOR SOLID STATE (AS VOLTAGE ONLY)  
 PND<sup>11</sup> = 0-10V PART-NIGHT DIMMING, INCLUDES BLC2 & NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE  
 PSC<sup>12</sup> = SHORTING CAP

**OPTIC OPTIONS**  
 TB = BLACK TOP REFLECTOR AND CAP

**NEMA WATTAGE LABEL OPTIONS**  
 NL1X1 = 1 X 1 NEMA LABEL      NL2X2 = 2 X 2 NEMA LABEL

**PREWIRE LEAD OPTIONS**  
 L1H = 1.5 FEET OF PREWIRED LEADS      L20 = 20 FEET OF PREWIRED LEADS  
 L03 = 3 FEET OF PREWIRED LEADS      L25 = 25 FEET OF PREWIRED LEADS  
 L10 = 10 FEET OF PREWIRED LEADS      L30 = 30 FEET OF PREWIRED LEADS

**SHIPPING OPTIONS**  
 UA = OPTIC AND HOUSING SHIPS ATTACHED IN ONE CARTON

**ACCESSORIES**

**DECORATIVE BAND OPTIONS**  
 RBMX = RIBS AND BAND KIT, FIELD INSTALLED (INSERT TRIM FINISH FOR X)

**HOUSE SIDE SHIELD OPTIONS**  
 GVDHSS90<sup>13</sup> = HOUSE SIDE SHIELD SOLID 90 DEGREE  
 GVDHSS120<sup>13</sup> = HOUSE SIDE SHIELD SOLID 120 DEGREE  
 GVDHSS180<sup>13</sup> = HOUSE SIDE SHIELD SOLID 180 DEGREE  
 GVDHSL90<sup>14</sup> = HOUSE SIDE SHIELD SOLID 90 DEGREE (LUNAR)  
 GVDHSL120<sup>14</sup> = HOUSE SIDE SHIELD SOLID 120 DEGREE (LUNAR)  
 GVDHSL180<sup>14</sup> = HOUSE SIDE SHIELD SOLID 180 DEGREE (LUNAR)

**CITY OF WORTHINGTON**  
*AR 32-16*  
**DRAWING NO.**

**DATE** *10-28-16*

**NOTES ARE LOCATED ON PAGE 3**

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ORDER #: \_\_\_\_\_  
 TYPE: \_\_\_\_\_  
 DRAWN: RAF  
 DATE: 6-16-2016  
 DWG #: LUM\_AWDE2U  
 1 of 4

# Performance Data

## AS Voltage Option Data

LED Package	Distribution	System Watts	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P10	3	26	3,261	125	1	4	2	3,429	132	1	4	2	3,429	132	1	4	2
	5	26	3,348	129	2	3	2	3,520	135	2	3	2	3,520	135	2	3	2
P20	3	39	4,911	126	2	4	3	5,164	132	2	4	3	5,164	132	2	4	3
	5	39	5,042	129	3	4	3	5,302	136	3	4	3	5,302	136	3	4	3
P30	3	60	6,915	115	2	5	3	7,271	121	2	5	3	7,271	121	2	5	3
	5	60	7,099	118	3	4	3	7,465	124	3	4	3	7,465	124	3	4	3
P40	3	81	8,693	107	3	5	3	9,140	113	3	5	3	9,140	113	3	5	3
	5	81	8,925	110	3	5	3	9,384	116	4	5	3	9,384	116	4	5	3
P50	3	100	10,171	102	3	5	4	10,694	107	3	5	4	10,694	107	3	5	4
	5	100	10,442	104	4	5	3	10,980	110	4	5	4	10,980	110	4	5	4

## AH Voltage Option Data

LED Package	Distribution	System Watts	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P10	3	33	3,261	99	1	4	2	3,429	104	1	4	2	3,429	104	1	4	2
	5	33	3,348	101	2	3	2	3,520	107	2	3	2	3,520	107	2	3	2
P20	3	49	4,911	100	2	4	3	5,164	105	2	4	3	5,164	105	2	4	3
	5	49	5,042	103	3	4	3	5,302	108	3	4	3	5,302	108	3	4	3
P30	3	68	6,915	102	2	5	3	7,271	107	2	5	3	7,271	107	2	5	3
	5	68	7,099	104	3	4	3	7,465	110	3	4	3	7,465	110	3	4	3
P40	3	90	8,693	97	3	5	3	9,140	102	3	5	3	9,140	102	3	5	3
	5	90	8,925	99	3	5	3	9,384	104	4	5	3	9,384	104	4	5	3
P50	3	100	10,171	102	3	5	4	10,694	107	3	5	4	10,694	107	3	5	4
	5	100	10,442	104	4	5	3	10,980	110	4	5	4	10,980	110	4	5	4

## FPDxx Data Table (Only Available With AS Option)

FPDxx setting		P10 30K		P10 40K		P10 50K	
		Not Available		Not Available		Not Available	
FPDxx setting	AS	P20 30K		P20 40K		P20 50K	
	Wattage	3	5	3	5	3	5
Standard	39	4,911	5,042	5,164	5,302	5,164	5,302
FPD95	38	4,695	4,820	4,937	5,068	4,937	5,068
FPD90	36	4,474	4,594	4,705	4,831	4,705	4,831
FPD85	34	4,252	4,365	4,471	4,590	4,471	4,590
FPD80	32	4,026	4,133	4,233	4,347	4,233	4,347
FPD75	30	3,797	3,898	3,993	4,099	3,993	4,099
FPDxx setting	AS	P30 30K		P30 40K		P30 50K	
	Wattage	3	5	3	5	3	5
Standard	60	6,915	7,099	7,271	7,465	7,271	7,465
FPD95	57	6,740	6,919	7,087	7,276	7,087	7,276
FPD90	54	6,543	6,717	6,880	7,064	6,880	7,064
FPD85	51	6,325	6,494	6,651	6,828	6,651	6,828
FPD80	48	6,087	6,249	6,400	6,571	6,400	6,571
FPD75	45	5,829	5,984	6,129	6,292	6,129	6,292
FPDxx setting	AS	P40 30K		P40 40K		P40 50K	
	Wattage	3	5	3	5	3	5
Standard	81	8,693	8,925	9,140	9,384	9,140	9,384
FPD95	76	8,400	8,624	8,832	9,068	8,832	9,068
FPD90	72	8,090	8,305	8,505	8,733	8,505	8,733
FPD85	68	7,762	7,969	8,161	8,379	8,161	8,379
FPD80	64	7,418	7,616	7,799	8,007	7,799	8,007
FPDxx setting	AS	P50 30K		P50 40K		P50 50K	
	Wattage	3	5	3	5	3	5
Standard	100	10,171	10,442	10,694	10,980	10,694	10,980
FPD95	95	9,913	10,178	10,423	10,702	10,423	10,702
FPD90	90	9,624	9,881	10,119	10,390	10,119	10,390
FPD85	85	9,304	9,552	9,782	10,044	9,782	10,044

CITY OF WORTHINGTON  
 AR 32-16  
 DRAWING NO.  
 DATE 10-28-16

Acrylic Washington Postlite® LED  
 Series Luminaire  
 Prismatic Style: Acrylic Washington  
 Housing Size: Utility

DECORATIVE  
 OUTDOOR

**HOLOPHANE®**  
 LEADER IN LIGHTING SOLUTIONS  
 An Acuity Brands Company  
 © 2009 Acuity Brands Lighting, Inc., All Rights Reserved

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ORDER #:  
 TYPE:  
 DRAWN: RAF  
 DATE: 6-16-2016  
 DWG #: LUM\_AWDE2U

# NOTES

1. Not available with "AO", "DE", "FPDXX", "PCLL", "PCS" or "PND".
2. Only use if "N" for Trim and "C" for Finial is selected.
3. Not available with "AH", "DE", "P5", "P7", "PCS" or "PND". Refer to instructions on website for details.
4. Not available with "AO", "AH", "H", "PCLL", "PCS", "PSC" or "PND".
5. Refer to the FPDxx Data Table for lumens and wattages options.
6. Photocontrol not included. "AS" (120-277) only. Not available with option "DE", "PND", "P5" or "P7".
7. Photocontrol not included. Not available with options "DE", "H", "PND" and "P7".
8. Photocontrol not included. Not available with options "DE", "H", "PND" and "P5".
9. Requires "H", "P5", "P7" or "PND". Not available with "AO", "PCS" or "PSC" options.
10. Requires "H", "P5", "P7" or "PND". Not available with "AO", "PCLL" or "PSC".
11. Available with "AS" voltage only. Not available with options "AO", "DE", "H", "P5" and "P7".
12. Requires "H", "P5" or "P7" option photocontrol receptacle or "PND" (includes photocontrol receptacle). Not available with "PCLL" or "PCS".
13. Field installed, not available with "D" or "M" Trim.
14. Field installed, for use with Optic "3" or "5" only.
15. Field installed, for use with Optic "6" or "8" only.

**Acrylic Washington Postlite® LED Series Luminaire**  
**Prismatic Style: Acrylic Washington**  
**Housing Size: Utility**

**DECORATIVE OUTDOOR**

## Product Compatibility Table

LUMINAIRE, HOUSING & LED PACKAGE CONFIGURATIONS			
LUMINAIRE	HOUSING		LED PACKAGE
AWDE2	M	Modern style - Swing open design	P10, P20, P30,
	T	Leaf Style - Swing open design	P40, P50

WATTAGE TABLE		
LED PACKAGE	AS	AH
P10	26W	33W
P20	39W	49W
P30	60W	68W
P40	81W	90W
P50	100W	100W

OPTICS/HOUSING/LED CONFIGURATION		
OPTICS	HOUSING	LED PACKAGE
3	A, C, F, L, S, M, T	P10, P20, P30,
5		P40, P50
6	A, C, F, L, S, M, T	P10, P20, P30, P40
8		



THIS DRAWING, WHEN APPROVED, SHALL BECOME THE COMPLETE SPECIFICATION FOR THE MATERIAL TO BE FURNISHED BY HOLOPHANE. HOLOPHANE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE MATERIAL. HOLOPHANE SHALL BE RESPONSIBLE FOR THE SUPPLY OF THE MATERIAL, BUT ONLY AFTER APPROVAL BY THE CUSTOMER IN WRITING. ON POLE ORDERS AN ANCHOR BOLT TEMPLATE PRINT WILL BE SUPPLIED WITH EACH ANCHOR BOLT ORDER TO MATCH THE POLE PROVIDED. THE PRINTS ARE FOR INFORMATION ONLY. HOLOPHANE EXPRESSLY DISCLAIMS ANY WARRANTY, INCLUDING MERCHANTABILITY, AND ACCEPTS NO LIABILITY FOR ANY WAY DETRIMENTAL TO OUR INTERESTS, AND ONLY IN CONNECTION WITH MATERIAL FURNISHED BY HOLOPHANE.

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Average Lumen Ambient Temperature (LAT) Multipliers			
°C	°F	Lumen Multiplier	LED Packages
0	32	1.06	P10, P20, P30, P40, P50
5	41	1.05	
10	50	1.04	
15	59	1.03	
20	68	1.01	
25	77	1.00	
30	86	0.99	
35	95	0.97	
40	104	0.96	

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Lumen Maintenance - LLD (same for all LED packages)							
Hours	0	25,000	36,000	50,000	60,000	75,000	100,000
Factor	1	0.93	0.93	0.92	0.91	0.9	0.89

The italicized data is extrapolated beyond the TM-21 standard.

$$E = (LM) \times (CU) \times (LAT) \times (LLD)$$

LM and CU are obtained from published photometry.

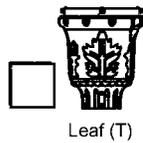
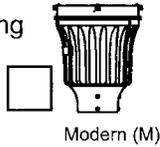
CITY OF WORTHINGTON  
 AR 32-16  
 DRAWING NO.

DATE 10-28-16

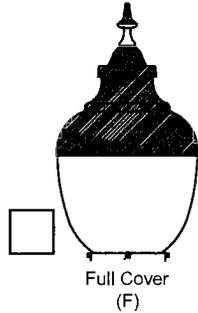
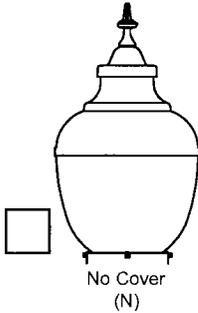
ORDER #: \_\_\_\_\_  
 TYPE: \_\_\_\_\_  
 DRAWN: RAF  
 DATE: 6-16-2016  
 DWG #: LUM\_AWDE2U

# Mark Appropriate Box for Trim Option

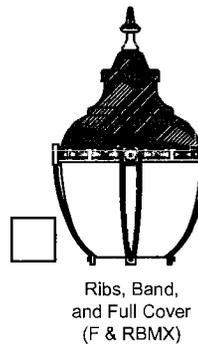
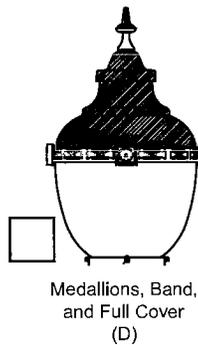
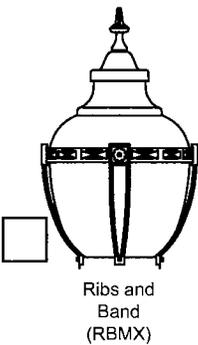
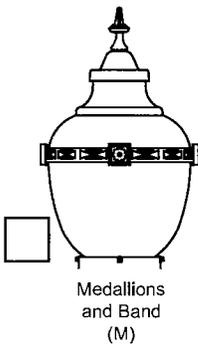
## Housing



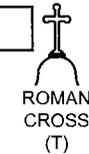
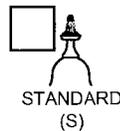
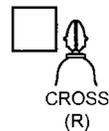
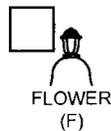
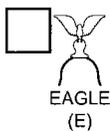
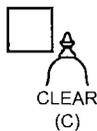
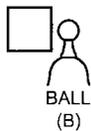
## Cover



## Ribs



## Finial



## Specifications

### GENERAL DESCRIPTION

The Acrylic Washington Postlite II LED Utility is designed for ease of maintenance with the plug-in electrical module common to each of the luminaires in Holophane's Utility Luminaire Series. The large acorn shaped luminaire, while reminiscent of the 1920's, contains a precision optical system that maximizes post spacings while maintaining uniform illumination.

### OPTICAL SYSTEM

The optical system consists of a precisely molded thermal resistant acrylic plastic refractor and top reflector mounted within the decorative aluminum ribs and banding. The top reflector redirects over 50% of the upward light into the controlling refractor while allowing a soft upright component to define the traditional acorn shape of the luminaire. The lower refractor uses precisely molded prisms to maximize pole spacings while maintaining uniform illumination. Two distributions are available, designed for asymmetric and symmetric patterns.

### LUMINAIRE HOUSING

The luminaire housing, cast of aluminum, provides an enclosure for the plug-in electrical module. Four uniquely designed stainless steel spring clips enclosed in a clear polyvinyl chloride sleeve and adjusted by hex head 1/4-20 bolts securely cradle the prismatic acrylic refractor. The same 1/4-20 bolts support the decorative rib and banding assembly. The slipfitter will accept a 3" by 2-7/8" to 3-1/8" O.D. tenon.

### LUMINAIRE HOUSING / DOOR

Cast of aluminum, the housing opens with minimum use of tools and is retained on a hinge. For units with an E.E.I.-N.E.M.A. twist lock photocell receptacle, the housing contains a "window" to allow light to reach the cell.

### ELECTRICAL MODULE

The electrical components are mounted on an aluminum plate that is removable with minimum use of tools. A matching five conductor plug connects to the receptacle in the luminaire housing to complete the wiring. For photoelectric operation, the electrical module is provided with an E.E.I.-N.E.M.A. twist lock photocell receptacle.

### DRIVER

AS drivers are programmable dimmable drivers, with 0-10V control leads and AH drivers are dimmable (0-10V) drivers.

### FINISH

The luminaire is finished with polyester powder paint to insure maximum durability.

### WARRANTY

Limited warranty located at <http://www.acuitybrands.com/resources/terms-and-conditions>

### NOTE

Fixture is CSA listed for Wet Locations.

Luminaire housing is IP55 rated, Optical chamber is IP66 rated.

Specification subject to change without notice.

Acrylic Washington Postlite® LED  
Series Luminaire  
Prismatic Style: Acrylic Washington  
Housing Size: Utility

DECORATIVE  
OUTDOOR

**HOLOPHANE®**  
LEADER IN LIGHTING SOLUTIONS  
An Acuity Brands Company  
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ORDER #:  
TYPE:  
DRAWN: RAF  
DATE: 6-16-2016  
DWG #: LUM\_AWDE2U

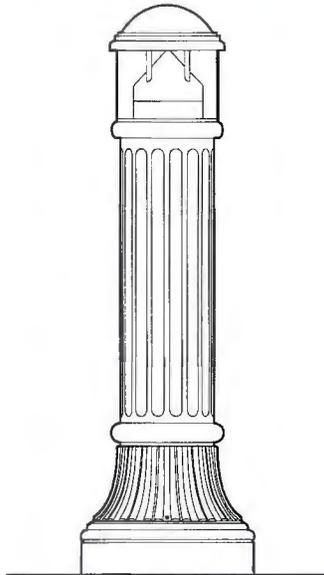
CITY OF WORTHINGTON  
AR 32-11e  
DRAWING NO.

DATE 10-28-16

# SAL-W-BOL-LED

Bollards (BOL) - Cast Aluminum (SAL)

Bollard Height 44"  
Base Diameter 13 1/2"



SAL-W-BOL-LED

SCALE: 3/4" = 1'-0"

## Product Features

### Construction

The bollard shall be made from cast ASTM 356.1 aluminum construction. One (1) access door in the base (3 1/2" x 4 1/2" minimum opening) shall be secured with stainless steel hardware. The top optical assembly shall create a weather tight chamber for the LED component(s), driver(s) and internal optics.

### Optical

The optical assembly is comprised of a polycarbonate lens and reflector/refractor elements that produce a symmetrical or asymmetrical light distribution.

### Electrical

Meets UL 1598 for safety. Bollard shall utilize voltage sensing 120-277V driver, suitably rated for the specified LED component(s). Bollard shall be prewired and factory tested.

### Surge Protection

Surge current rating of 20 kA using standard 8/20  $\mu$ Sec wave. Protected line-neutral, line-ground, and neutral-ground in accordance with ANSI/IEEE 62.41, Category C3.

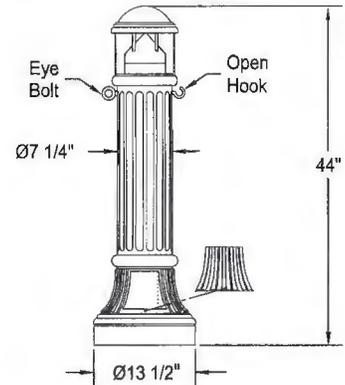
### Installation

The bollard shall be provided with (4)  $\text{Ø}1/2"$  x 18" long "L-Type" anchor bolts. Each anchor bolt shall be supplied assembled with (2) nuts, (2) flat washers and (1) split lock washer. The bollard shall have a  $\text{Ø}12"$  bolt circle and requires a 3" anchor bolt projection. All anchorage hardware shall be fully galvanized.

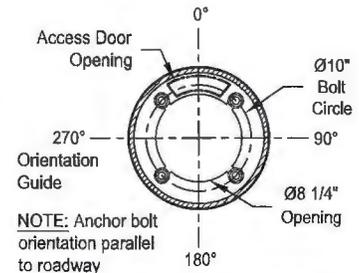
### Finish

The bollard shall be finished with a high performance coating consisting of high gloss Super Durable polyester powder coat paint. Paint shall be weather, corrosion, abrasion, and UV resistant in compliance with AAMA 2604-05. Color to be specified.

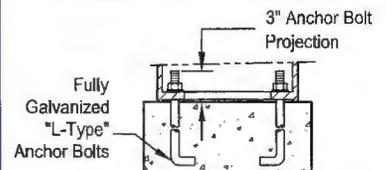
## Detail



## Installation Details



NOTE: Anchor bolt orientation parallel to roadway



## Specifications

### Ambient Temperature

-40° C minimum to 35° C maximum (Luminaire not to operate at maximum temperature for a period of time longer than 15% of total operating hours.)

### Rated Life @ 25° C Ambient Temperature

50,000 Hours at 70% lumen maintenance

### Driver Specifications

- 120-277V power supply.
- Compatible with 0 to 10V and step dimming lighting control systems.
- Complies with the requirements of UL and CSA.

## Ordering Information

Choose the **boldface** catalog references that best suit your needs.

Example:

Model Light Source Color Temp Distribution Options Finish  
**SAL-W-BOL - 20LEDV18-0.7A - 840 - STLA - EB - BK**

Model	Light Source	CRI & Color Temperature	Distribution	Accessories	Finish
SAL-W-BOL	20LEDV18-0.7A	827 80 CRI, 2700K	STLHB Type V	EB Eyebolt	BK Black (Standard)
	25LEDV29-0.7A	830 80 CRI, 3000K	STLA Type III (Use only with 20LEDV18-0.7A)	HK Open Hook	BZ Bronze
		835 80 CRI, 3500K		see <i>Orientation Guide</i>	FG Federal Green
		840 80 CRI, 4000K			

Consult factory for additional light source and color temperature options.

Consult factory for custom finish

## Performance Data

Light Source	System Watts	Delivered Lumens	Efficacy (lm/W)
20LEDV18-0.7A-STLHB	22	1421	65
20LEDV18-0.7A-STLA	22	1601	73
25LEDV29-0.7A-STLHB	28	1962	70

Initial values shown above are with 80 CRI and 4000K color temperature.

CITY OF WORTHINGTON

AR 32-16  
DRAWING NO.

DATE 10-28-16

**Sentry**  
ELECTRIC

## SAL-W-BOL-LED

Sentry Electric LLC

185 Buffalo Avenue, Freeport, New York, 11520

Telephone: 516.379.4660 Fax: 516.378.0624

www.sentrylighting.com

info@sentrylighting.com

# HINKLEY & R.

HINKLEY LIGHTING INC  
 32500 PIN OAK PARKWAY | AVON LAKE, OHIO 44012  
 (PH) 440.653.5500 (F) 440.653.5556  
 HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM



<b>TUCKER 1964MB-LED</b>	
MUSEUM BLACK	

WIDTH:	9.0"
HEIGHT:	14.8"
WEIGHT:	6.5 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	6.8"
SOCKET:	1-15W LESM-100 *INCLUDED
<b>LED INFO:</b>	
LUMENS:	900
COLOR TEMP:	2700k
CRI:	90
LED WATTAGE:	15w
INCANDESCENT EQUIVALENCY:	100w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.
EXTENSION:	10.3"
TTO:	3.5"
VOLTAGE:	120V
UPC:	640665196474

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 [PH] 440.653.8500 [F] 440.653.8595  
 HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM



<b>REEF 1956VZ-LED</b>	
VICTORIAN BRONZE	
WIDTH:	5.5"
HEIGHT:	8.0"
WEIGHT:	3.0 LBS
MATERIAL:	CAST ALUMINUM
GLASS:	INSIDE ETCHED
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	5.3"
SOCKET:	1-15W LESM-100 *INCLUDED
<b>LED INFO:</b>	
LUMENS:	900
COLOR TEMP:	2700k
CRI:	90
LED WATTAGE:	15w
INCANDESCENT EQUIVALENCY:	100w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.
EXTENSION:	6.5"
TTO:	2.8"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665195750

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 32000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012  
 [PH] 440.650.5500 [F] 440.650.5555  
 HINKLEYLIGHTING.COM | FRED@HICKHAMOHO.COM



<b>PEMBROOK 2080SB-LED</b>	
SPANISH BRONZE	

WIDTH:	10.0"
HEIGHT:	13.8"
MATERIAL:	ALUMINUM
GLASS:	ETCHED OPAL
BACKPLATE WIDTH:	6.0"
SOCKET:	1-15W UNI-100 *INCLUDED
<b>LED INFO:</b>	
LUMENS:	800
COLOR TEMP:	2700k
CRI:	96
LED WATTAGE:	15w
INCANDESCENT EQUIVALENCY:	100w
DIMMABLE:	No
NOTES:	PATENT: US AND FOREIGN PATENTS PENDING
EXTENSION:	10.5"
TTO:	4.3"
CERTIFICATION:	C-US WET RATED
UPC:	640665208023

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 33600 PIN OAK PARKWAY | AVON LAKE, OHIO 44012  
 (P) 440 683 5300 (F) 440 683 5355  
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<b>CALISTOGA 2090SB-LED</b>	
SPANISH BRONZE	
WIDTH:	8.5"
HEIGHT:	16.3"
WEIGHT:	3.0 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	6.0"
SOCKET:	1-15W LESM-100 *INCLUDED
<b>LED INFO:</b>	
LUMENS:	900
COLOR TEMP:	2700k
CRI:	90
LED WATTAGE:	15w
INCANDESCENT EQUIVALENCY:	100w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.
EXTENSION:	9.8"
TTO:	7.3"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665209013

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GL-5000

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AR 32-16  
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DATE 10-28-16

# SOPHIA



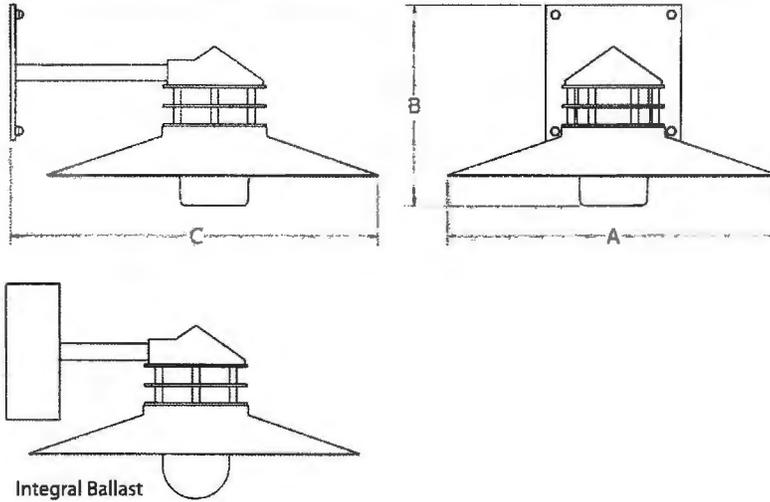
# SOPHIA

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Fax 314.631.7800

sales@glighting.com www.glighting.com



### GENERAL SPECIFICATION

**Lamping:** GU24 base accepts any style or wattage GU24 fluorescent or LED lamp. GU24 fluorescent lamp supplied with fixture.

**Body:** Cast aluminum cap. Spun .50 aluminum shade.

**Acrylic:** Cylinder is UL-94 HB Flame Class rated.

**Standard Finishes:** Highly durable oven cured no VOC premium powder coat.

SAMPLE CATALOG NUMBER: GL-5000-		A-	C-	NSN-	A
MODEL NO.		LAMPING	DIFFUSER	FINISH	OPTION(S)
GL-5000	W in 17" mm 430 H in 10" mm 255 D in 18" mm 460 10lbs 4.5kg	L. LED11* M. LED16* B. 1GU13* C. 1GU18* D. 1GU26*	<b>Glass:</b> A. White Opal Flat Bottom B. Frosted Round Bottom C. Clear Round Bottom D. Clear Prismatic Round Bottom <b>Polycarbonate:</b> E. White Opal Flat Bottom F. Clear Prismatic Flat Bottom  Acrylic is UL-94 HB Flame Class rated.	<b>Standard:</b> Powder Coat  Specify code from G-Lighting color chart.	A. No Options E. Emergency Remote mount up to 5' from lamps. Fluorescent only.
GL-5001	W in 17" mm 430 H in 10" mm 255 D in 18" mm 460 10lbs 4.5kg	L. LED11 M. LED16 E. 1CFQ13 F. 1CFQ18 G. 1CFT26 H. 1CFT32 I. 1MH70 J. 1MH100 K. 1MH150			<b>CITY OF WORTHINGTON</b> <b>AR 32-16</b> <b>DRAWING NO.</b>  <b>DATE 10-28-16</b>

All dimensions are nominal.  
\*Available in 120V only \*Driver located in 4" sq x 2 1/8" box

### Lamp Definition

Lamp	LED	Rated Life Hrs	Board Lumens	Kelvin	CRI	Lamp	Fluorescent	Lamp Base	Rated Life Hrs <sup>1,2</sup>	Lumens
LED11	11W LED	50000	1200	3500	80	CFQ13	CFQ 13W	GX24q-1 4-PIN	12000	755
LED16	16W LED	50000	1779	3500	80	CFQ18	CFQ 18W	GX24q-2 4-PIN	12000	1010
	<b>Fluorescent</b>		<b>Lumens</b>			CFT26	CFTR 26W	GX24q-3 4-PIN	12000	1440
1GU13	GU24 13W	GU24	10000	900	2700	CFT42	CFTR 32W	GX24q-3 4-PIN	12000	1850
1GU18	GU24 18W	GU24	10000	1250	2700		<b>Metal Halide</b>			
1GU26	GU24 26W	GU24	10000	1650	2700	1MH70	MH 70W	PR MED BASE	15000	3300
						1MH100	MH 100W	PR MED BASE	15000	5900
						1MH150	MH 150W	PR MED BASE	15000	8300

<sup>1</sup>Per MAXLITE & GE lamp products catalog <sup>2</sup>12HR start





# STONEWALL™ LED

## VANDAL RESISTANT CEILING OR WALL MOUNTED LUMINAIRE

OVAL, 22W OR 35W LED

Project: \_\_\_\_\_

Fixture Type: \_\_\_\_\_

Location: \_\_\_\_\_

Contact/Phone: \_\_\_\_\_

Cat. No.: \_\_\_\_\_

### PRODUCT DESCRIPTION

Stonewall architectural luminaires combine vandal resistant features with the energy efficiency and low maintenance cost of LED lighting. This virtually eliminates any maintenance for years after installation. Stonewall luminaires are ideal for schools and high traffic areas where the fixtures may be subjected to intentional or unintentional abuse. Acculite LED engines carry a 5 year limited warranty.

### PRODUCT SPECIFICATIONS

**Optics** Luminaires have opal white, translucent or clear lenses • All lenses are UV stabilized molded polycarbonate with high impact resistance properties

**Mounting** Mounts flush to the wall or ceiling • Mounts on 3-1/2" or 4" junction boxes • Housings have four threaded and plugged 1/2" conduit entries

**Construction** Die cast, marine grade aluminum housing • Face plates are injection molded polycarbonate • Lenses and face plates are a minimum 1/8" thick for maximum resistance to vandalism • Drain channels are molded into the face plate keeping the luminaire clean • Torx™ T-15 pin-in-head tamperproof screws • Formed aluminum heat sink

**LED Thermal Management** Stonewall luminaires are equipped with a formed aluminum heat sink that creates a strong bond between the LED arrays and the aluminum housing, thus utilizing the entire mass and surface area of the luminaire as a heat sink. This reduces LED operating temperature and increases LED life

**Electrical** The luminaire is equipped with one LED driver with universal 120-277VAC input • Driver minimum operating temperature is -30°C (-22°F) • Total Harmonic Distortion (THD) 20% Max • Power factor > 92% at full load, 115VAC, 230VAC • An independent surge suppressor provides 10 KAMP protection

**Finish** Bronze, white, black or silver • Die cast parts are polyester powder coat • Polycarbonate parts have the color molded in

**Certification** UL1598 and CSA C22.2-250 • Suitable for wet locations • Union made • Meets "Buy American Act" and ARRA

Specifications subject to change without notice.



VOM: Face Plate - Ring Mounted Vertically  
Lens - White  
Finish - Bronze



VOM: Face Plate - Ring Mounted Horizontally  
Lens - White  
Finish - Bronze



VOM: Face Plate - Vertical Eyelid  
Lens - Translucent  
Finish - Bronze



VOM: Face Plate - Horizontal Eyelid  
Lens - Translucent  
Finish - White



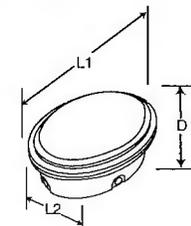
VOM: Face Plate - Cross Mounted Vertically  
Lens - White  
Finish - Black



VOM: Face Plate - Cross Mounted Horizontally  
Lens - White  
Finish - Black

### DIMENSIONS

Housing / Face Plate	L1	L2	D
Medium With Ring	13 1/16"	9 3/16"	6 1/4"
With Face Plate	13 1/16"	9 3/16"	6 1/2"



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AD 32-16  
DRAWING NO.

DATE 10-28-16



**LED DATA**

Engine Code	Lens	Face Plate	System Watts	LED Array CCT	CRI (min)	Luminaire Initial	
						Absolute Lumens	Luminaire Efficacy
A026	Clear	Ring	35	4000K	80	2896	84
A026	Clear	Cross	35	4000K	80	2110	61
A026	Clear	Horizontal Eyelid	35	4000K	80	1073	31
A026	Clear	Vertical Eyelid	35	4000K	80	1032	30
A026	Translucent	Ring	35	4000K	80	2193	63
A026	Translucent	Cross	35	4000K	80	1575	46
A026	Translucent	Horizontal Eyelid	35	4000K	80	806	23
A026	Translucent	Vertical Eyelid	35	4000K	80	802	23
A026	White	Ring	35	4000K	80	1459	42
A026	White	Cross	35	4000K	80	1030	30
A026	White	Horizontal Eyelid	35	4000K	80	482	14
A026	White	Vertical Eyelid	35	4000K	80	517	15

All tests performed according to IES LM79.  
 For 3500K version, multiply by 0.94.  
 For A017 lumens at 4000K CCT apply a 0.64 multiplier to the above tabulated lumens.  
 For A017 lumens at 3500K CCT apply a 0.60 multiplier to the above tabulated lumens.

**ELECTRICAL DATA**

Engine Code	A017	A026
Input Voltage	120V	120V
Input Power	22W	35W
Frequency	50/60Hz	50/60Hz
Minimum Starting Temperature	-30°C (-22°F)	-30°C (-22°F)

**LED LUMEN DEPRECIATION**

Ambient Temperature (°C)	L70 Hours
25°C	50,000

**ORDERING INSTRUCTIONS**

Series	Engine Code	CCT	Volts	Lens	Face Plate	Finish	Options
VOM							
VOM	A017 22W LED	3K 3000K	UN Universal 120-277VAC	W White	R Outer Ring	BZ Bronze	F Fused (must specify voltage)
	A026 35W LED	35K 3500K	E12 120VAC	T Translucent	X Cross Horizontal	WH White	
		4K 4000K	E27 277VAC	C Clear	H Horizontal Eyelid	BL Black	
			E34 347VAC		V Vertical Eyelid	SR Silver	

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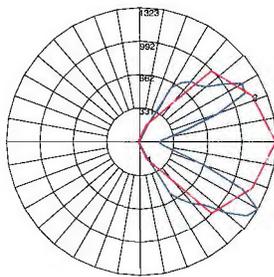
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 220 Chrysler Drive • Brampton, Ontario • Canada L6S 6B6 • Phone (905) 792-7335 • Fax (905) 792-0064  
 Visit us at [www.junolightinggroup.com](http://www.junolightinggroup.com)

PHOTOMETRY

	VOM-A026-4K-UN-C-R		VOM-A026-4K-UN-C-X		VOM-A026-4K-UN-C-H		VOM-A026-4K-UN-C-V	
	Total Lumens: 2919		Total Lumens: 2124		Total Lumens: 1084		Total Lumens: 1029	
Zone	Luminaire Lumens	% of Luminaire Lumens						
<b>Forward Light</b>	<b>1427</b>	<b>48.9%</b>	<b>1035</b>	<b>48.8%</b>	<b>922</b>	<b>85.0%</b>	<b>917</b>	<b>89.1%</b>
FL (0°-30°)	27	0.9%	22	1.0%	22	2.0%	46	4.5%
FM (30°-60°)	533	18.3%	443	20.9%	443	40.9%	403	39.2%
FH (60°-80°)	624	21.4%	405	19.1%	362	33.4%	348	33.8%
FVH (80°-90°)	244	8.3%	166	7.8%	95	8.8%	119	11.6%
<b>Back Light</b>	<b>29</b>	<b>1.0%</b>	<b>19</b>	<b>0.9%</b>	<b>6</b>	<b>0.6%</b>	<b>4</b>	<b>0.4%</b>
BL (0°-30°)	5	0.2%	3	0.1%	1	0.1%	1	0.1%
BM (30°-80°)	10	0.4%	7	0.3%	2	0.2%	1	0.1%
BH (60°-80°)	9	0.3%	6	0.3%	2	0.2%	1	0.1%
BVH (80°-90°)	5	0.2%	3	0.1%	1	0.1%	1	0.1%
<b>Up Light</b>	<b>1463</b>	<b>50.1%</b>	<b>1069</b>	<b>50.3%</b>	<b>156</b>	<b>14.4%</b>	<b>109</b>	<b>10.6%</b>
UL (90°-100°)	257	8.8%	173	8.2%	79	7.3%	63	6.1%
UH (100°-180°)	1206	41.3%	895	42.2%	77	7.1%	46	4.5%
<b>Trapped Light</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>
BUG Rating	B0-U5-G1		B0-U4-G1		B0-U2-G1		B0-U2-G1	

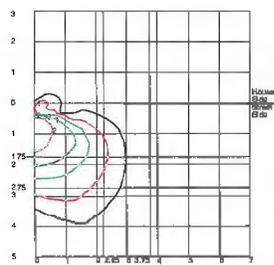
VOM-A026-4K-UN-C-R  
POLAR GRAPH

Total Luminaire Watts: 35W  
Total Luminaire Lumens: 2919



Maximum Candela = 1323  
Located At Horizontal Angle = 0, Vertical Angle = 60  
# 1 - Vertical Plane Through Horizontal Angles (0-180) (Through Max. Cd.)  
# 2 - Horizontal Cone Through Vertical Angle (60) (Through Max. Cd.)

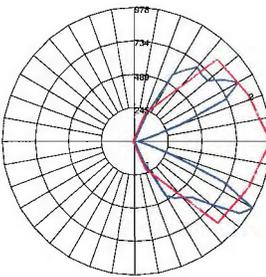
ISOFOOTCANDLE LINES OF HORIZONTAL ILLUMINANCE



Distance in Units Of Mounting Height  
Values Based On 10 Foot Mounting Height

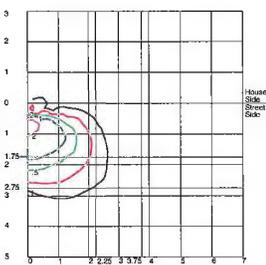
VOM-A026-4K-UN-C-X  
POLAR GRAPH

Total Luminaire Watts: 35W  
Total Luminaire Lumens: 2124



Maximum Candela = 978  
Located At Horizontal Angle = 0, Vertical Angle = 60  
# 1 - Vertical Plane Through Horizontal Angles (0-180) (Through Max. Cd.)  
# 2 - Horizontal Cone Through Vertical Angle (60) (Through Max. Cd.)

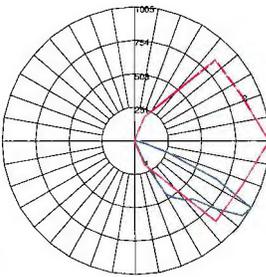
ISOFOOTCANDLE LINES OF HORIZONTAL ILLUMINANCE



Distance in Units Of Mounting Height  
Values Based On 10 Foot Mounting Height

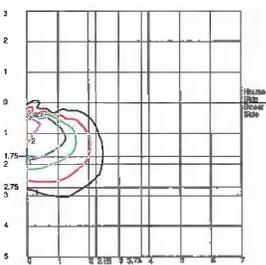
VOM-A026-4K-UN-C-H  
POLAR GRAPH

Total Luminaire Watts: 35W  
Total Luminaire Lumens: 1084



Maximum Candela = 1005  
Located At Horizontal Angle = 0, Vertical Angle = 60  
# 1 - Vertical Plane Through Horizontal Angles (0-180) (Through Max. Cd.)  
# 2 - Horizontal Cone Through Vertical Angle (60) (Through Max. Cd.)

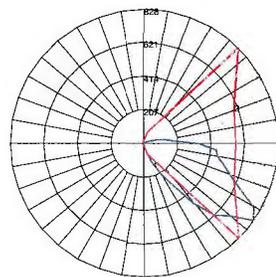
ISOFOOTCANDLE LINES OF HORIZONTAL ILLUMINANCE



Distance in Units Of Mounting Height  
Values Based On 10 Foot Mounting Height

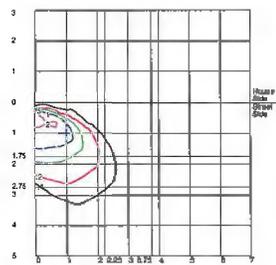
VOM-A026-4K-UN-C-V  
POLAR GRAPH

Total Luminaire Watts: 35W  
Total Luminaire Lumens: 1029



Maximum Candela = 828  
Located At Horizontal Angle = 45, Vertical Angle = 55  
# 1 - Vertical Plane Through Horizontal Angles (45-225) (Through Max. Cd.)  
# 2 - Horizontal Cone Through Vertical Angle (55) (Through Max. Cd.)

ISOFOOTCANDLE LINES OF HORIZONTAL ILLUMINANCE



Distance in Units Of Mounting Height  
Values Based On 10 Foot Mounting Height



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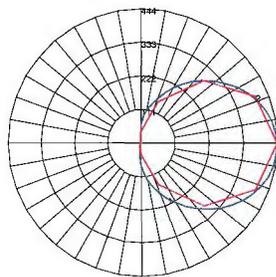
CITY OF WORTHINGTON  
AR 32-16  
DRAWING NO.  
DATE 10-28-16

PHOTOMETRY

	VOM-A026-4K-UN-W-R		VOM-A026-4K-UN-W-X		VOM-A026-4K-UN-W-H		VOM-A026-4K-UN-W-V	
	Total Lumens: 1457		Total Lumens: 1029		Total Lumens: 481		Total Lumens: 516	
Zone	Luminaire Lumens	% of Luminaire Lumens						
<b>Forward Light</b>	<b>704</b>	<b>48.3%</b>	<b>487</b>	<b>47.3%</b>	<b>335</b>	<b>69.6%</b>	<b>318</b>	<b>61.5%</b>
FL (0°-30°)	56	3.9%	42	4.1%	39	8.1%	29	5.6%
FM (30°-60°)	237	16.3%	159	15.4%	129	26.8%	115	22.2%
FH (60°-80°)	263	18.1%	181	17.6%	113	23.6%	115	22.3%
FVH (80°-90°)	148	10.1%	105	10.2%	54	11.2%	59	11.5%
<b>Back Light</b>	<b>35</b>	<b>4.4%</b>	<b>29</b>	<b>2.8%</b>	<b>24</b>	<b>5.0%</b>	<b>22</b>	<b>4.3%</b>
BL (0°-30°)	13	0.9%	11	1.1%	10	2.1%	4	0.9%
BM (30°-60°)	12	0.8%	10	1.0%	9	1.8%	8	1.6%
BH (60°-80°)	7	0.5%	6	0.6%	4	0.8%	7	1.3%
BVH (80°-90°)	3	0.2%	3	0.3%	1	0.3%	3	0.6%
<b>Up Light</b>	<b>717</b>	<b>49.2%</b>	<b>513</b>	<b>49.9%</b>	<b>122</b>	<b>25.4%</b>	<b>177</b>	<b>34.2%</b>
UL (90°-100°)	150	10.3%	107	10.4%	47	9.7%	57	10.9%
UH (100°-180°)	567	38.9%	406	39.5%	76	15.7%	120	23.2%
<b>Trapped Light</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>
BUG Rating	B0-U4-G1		B0-U3-G1		B0-U2-G1		B0-U3-G1	

VOM-A026-4K-UN-W-R  
POLAR GRAPH

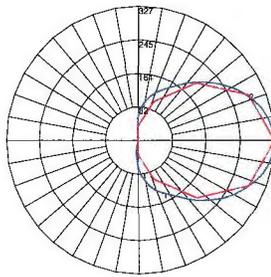
Total Luminaire Watts: 35W  
Total Luminaire Lumens: 1457



Maximum Candela = 444  
Located At Horizontal Angle = 0, Vertical Angle = 90  
# 1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)  
# 2 - Horizontal Cone Through Vertical Angle (90) (Through Max. Cd.)

VOM-A026-4K-UN-W-X  
POLAR GRAPH

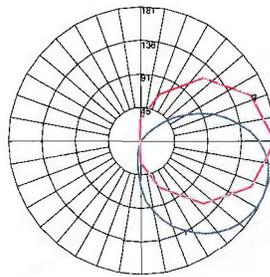
Total Luminaire Watts: 35W  
Total Luminaire Lumens: 1029



Maximum Candela = 327  
Located At Horizontal Angle = 0, Vertical Angle = 90  
# 1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)  
# 2 - Horizontal Cone Through Vertical Angle (90) (Through Max. Cd.)

VOM-A026-4K-UN-W-H  
POLAR GRAPH

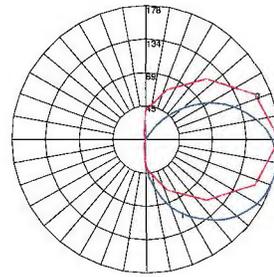
Total Luminaire Watts: 35W  
Total Luminaire Lumens: 481



Maximum Candela = 181  
Located At Horizontal Angle = 0, Vertical Angle = 65  
# 1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)  
# 2 - Horizontal Cone Through Vertical Angle (65) (Through Max. Cd.)

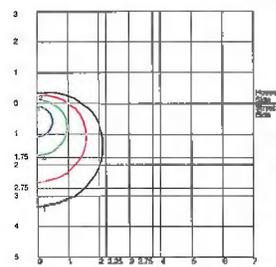
VOM-A026-4K-UN-W-V  
POLAR GRAPH

Total Luminaire Watts: 35W  
Total Luminaire Lumens: 516



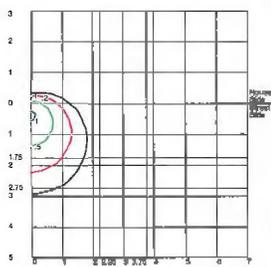
Maximum Candela = 178  
Located At Horizontal Angle = 0, Vertical Angle = 75  
# 1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)  
# 2 - Horizontal Cone Through Vertical Angle (75) (Through Max. Cd.)

ISOFOOTCANDLE LINES OF HORIZONTAL ILLUMINANCE



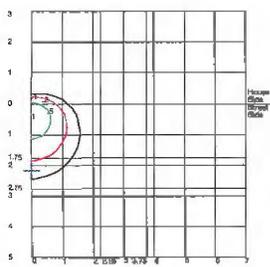
Distance In Units Of Mounting Height  
Values Based On 10 Foot Mounting Height

ISOFOOTCANDLE LINES OF HORIZONTAL ILLUMINANCE



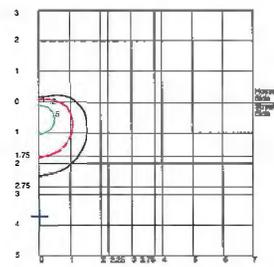
Distance In Units Of Mounting Height  
Values Based On 10 Foot Mounting Height

ISOFOOTCANDLE LINES OF HORIZONTAL ILLUMINANCE



Distance In Units Of Mounting Height  
Values Based On 10 Foot Mounting Height

ISOFOOTCANDLE LINES OF HORIZONTAL ILLUMINANCE



Distance In Units Of Mounting Height  
Values Based On 10 Foot Mounting Height

**Warranty:** AccuLite will replace or repair the following Stonewall Series parts in the event of damage due solely to intentional vandalism: Polycarbonate Lens, Polycarbonate Face, Polycarbonate Trim Ring. The warranty does not cover any other conditions that may cause damage such as, but not limited to, Acts of War, Acts of God or misapplication or improper installation. This warranty is valid for the duration of the installation, and does not cover peeling or fading finishes due to weathering and environmental conditions. The warranty excludes destruction by fire, acid, paint or gunfire. Yellowing of lenses due to heat or radiation are also excluded. Product must be properly installed by a qualified electrician according to the instructions included with this product. This warranty does not include labor, shipping or handling. AccuLite's entire liability on any claim of loss or damage resulting from defect is limited to the replacement cost of the product. This warranty shall not apply to products which have been altered, improperly used, or repaired outside of AccuLite's factory. Owner must provide proof of purchase and may be required to ship complete fixture back to AccuLite for evaluation.



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CITY OF WORTHINGTON  
AR 32-16  
DRAWING NO.

DATE 10-28-16

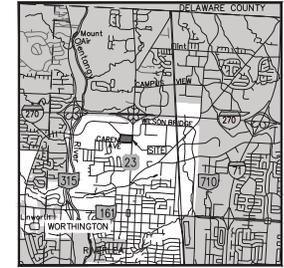


**SCOPE DOCUMENTS**

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**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2015



VICINITY MAP  
NOT TO SCALE

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SITE ELEVATIONS .....	EX-ARB-2
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SITE AXON SW .....	EX-ARB-4
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NORTH RESTAURANT ELEVATIONS .....	EX-ARB-8
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EAST HOTEL ELEVATIONS .....	EX-ARB-11
EAST HOTEL AXONS .....	EX-ARB-12
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RENDERINGS .....	EX-ARB-26
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RENDERINGS .....	EX-ARB-29
RENDERINGS .....	EX-ARB-30
RENDERINGS .....	EX-ARB-31
RENDERINGS .....	EX-ARB-32
MATERIAL SELECTIONS .....	EX-ARB-33

**THE VILLAGE AT WORTHINGTON SQUARE**

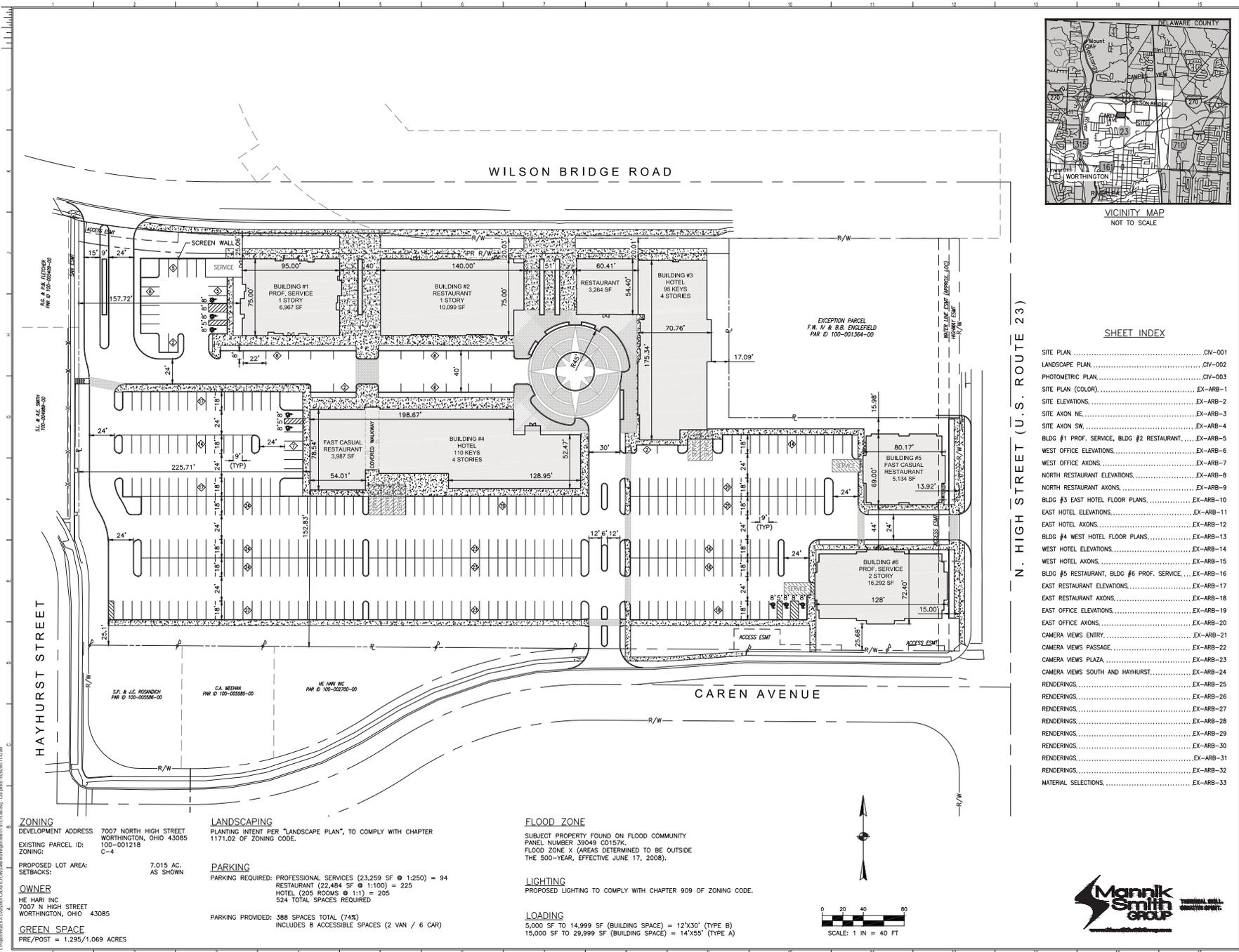
7007 N. HIGH ST  
WORTHINGTON, OHIO  
The Witness Group

**SITE DIMENSION PLAN**

Designer	20150241
Prepared by/Checked	Project No.
Approver	09/30/16
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**CIV-001**

NOT ISSUED FOR CONSTRUCTION



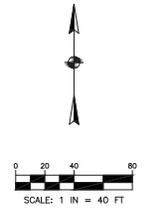
**ZONING**  
DEVELOPMENT ADDRESS 7007 NORTH HIGH STREET  
WORTHINGTON, OHIO 43085  
EXISTING PARCEL ID: 100-001218  
ZONING: C-4  
PROPOSED LOT AREA: 7.015 AC.  
SETBACKS: AS SHOWN

**LANDSCAPING**  
PLANTING INTENT PER "LANDSCAPE PLAN", TO COMPLY WITH CHAPTER 1171.02 OF ZONING CODE.  
**PARKING**  
PARKING REQUIRED: PROFESSIONAL SERVICES (23,259 SF @ 1:250) = 94  
RESTAURANT (22,484 SF @ 1:100) = 225  
HOTEL (205 ROOMS @ 1:1) = 205  
524 TOTAL SPACES REQUIRED  
PARKING PROVIDED: 388 SPACES TOTAL (74%)  
INCLUDES 8 ACCESSIBLE SPACES (2 VAN / 6 CAR)

**FLOOD\_ZONE**  
SUBJECT PROPERTY FOUND ON FLOOD COMMUNITY PANEL NUMBER 39049 C0157K.  
FLOOD\_ZONE X (AREAS DETERMINED TO BE UNDER THE 500-YEAR, EFFECTIVE JUNE 17, 2008).

**LIGHTING**  
PROPOSED LIGHTING TO COMPLY WITH CHAPTER 909 OF ZONING CODE.

**LOADING**  
5,000 SF TO 14,999 SF (BUILDING SPACE) = 12'X30' (TYPE B)  
15,000 SF TO 29,999 SF (BUILDING SPACE) = 14'X55' (TYPE A)



C:\Projects\1616\1616-0001\1616-0001-001\1616-0001-001-001.dwg (11/2/16) 11:2 AM



**SCOPE DOCUMENTS**

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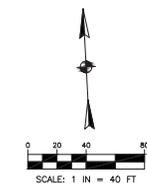
**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY A&E	10/28/2015

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
The Witness Group

**PHOTOMETRIC PLAN**



Symbol	Label	Quantity	Manufacturer	Model Number	Description	Lamp	Number Lamps	Lumens	Wattage	Mounting Height
■	L1	59	Hospiphane	AR80E 150-4K 8X 80-80X-8X	WASHINGTON ACRYLIC LED, 4000K COLOR TEMP, AND IN OFFICE	LED	1	8,367	96	14
◆	L2	7	Savoy	SAU-16-BOL 24020716-01 6-40-57LA-8X	BOLLARD WITH 4000K LEDS OPERATED AT 700MA, AND TYPE III DISTRIBUTION	LED	1	1,801	22	4
○	L3	106	Hesley Lighting	TUCKER 1564MB-LED27	TUCKER 1564MB-LED WALL LANTERN, 2700K COLOR TEMP	LED	1	900	15	8

FOR APPROVED EQUAL.

Specification	Symbol	Aug	Max	Min	Max/Min	Aug/Min
0.5%	+	0.5%	0.2%	0.0%	N/A	0.2%



Designer	20150241
Project in Charge	Project No.
Approver	09/30/16
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**CIV-003**



**SCOPE DOCUMENTS**  
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ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



**1 SITE PLAN**  
EX-ARB-1 SCALE: 1/32" = 1'-0"

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**SITE PLAN**

Designer	20150241
Principal-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

**EX-ARB-1**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DATE: 10/28/2016 10:28:16 AM DRAWING NO: EX-ARB-1  
10/27/2016 5:11:22 PM

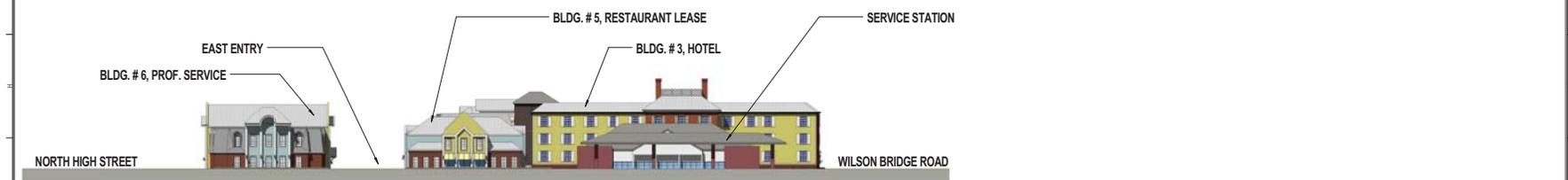


**SCOPE DOCUMENTS**  
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes, drawings and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



**1** SITE ELEVATION NORTH  
EX-ARB-2 SCALE: 1" = 30'-0"



**3** SITE ELEVATION EAST  
EX-ARB-2 SCALE: 1" = 30'-0"



**2** SITE ELEVATION SOUTH  
EX-ARB-2 SCALE: 1" = 30'-0"



**4** SITE ELEVATION WEST  
EX-ARB-2 SCALE: 1" = 30'-0"

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
Owner

**SITE ELEVATIONS**

Designer	20150241
Principal-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self-Reviewer	

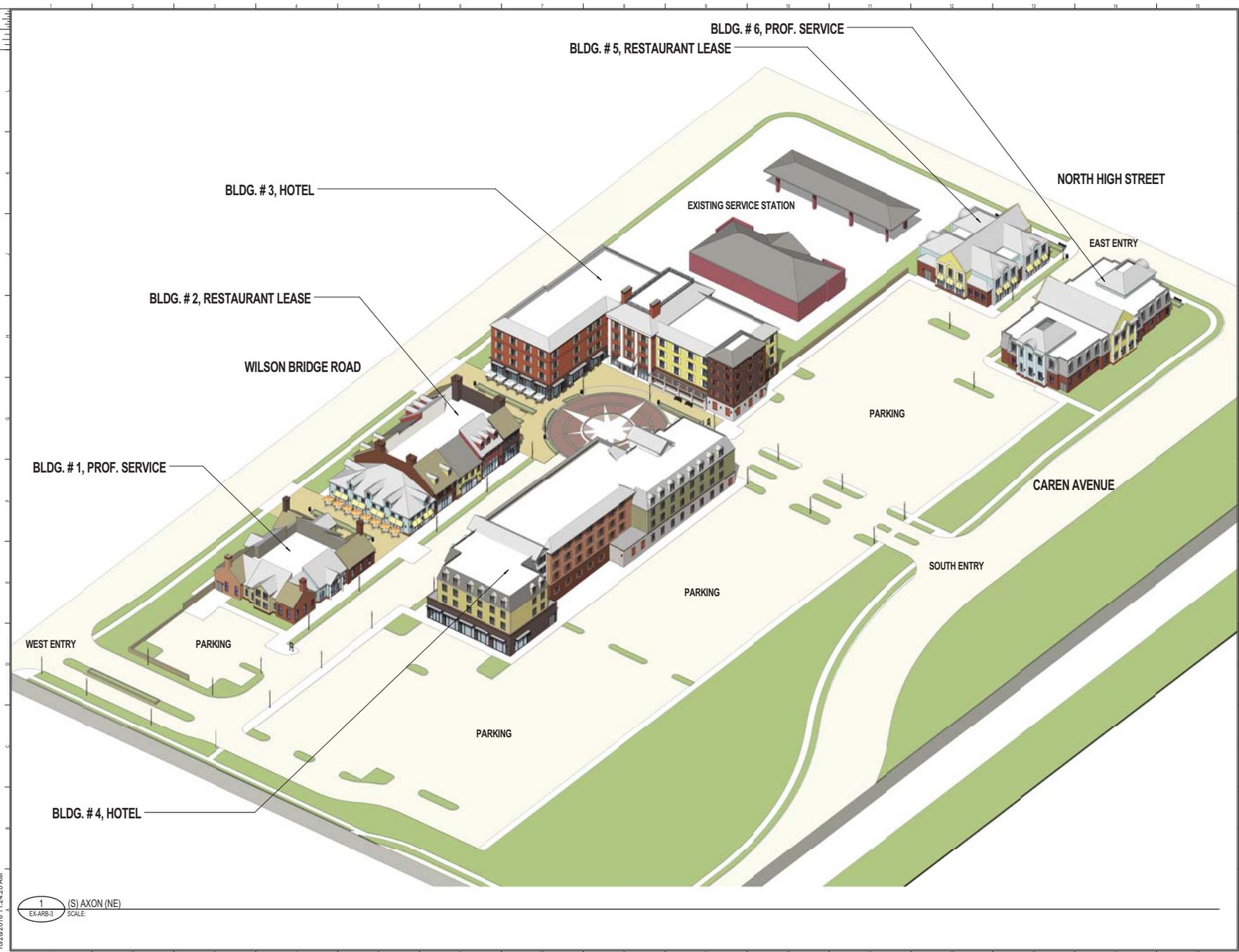
**EX-ARB-2**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DATE: 10/28/2016 10:52:41 AM DRAWING NO.: EX-ARB-2  
10/27/2016 10:55:12:47 PM



**SCOPE DOCUMENTS**  
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ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
FILE: 20151020\_150241\_001\_1 rev11a.dwg  
10/28/2016 11:24:20 AM

1 (S) AXON (NE)  
EX-ARB-3 SCALE

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
Owner

**SITE AXON NE**

Designer	20150241
Project Manager	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

**EX-ARB-3**

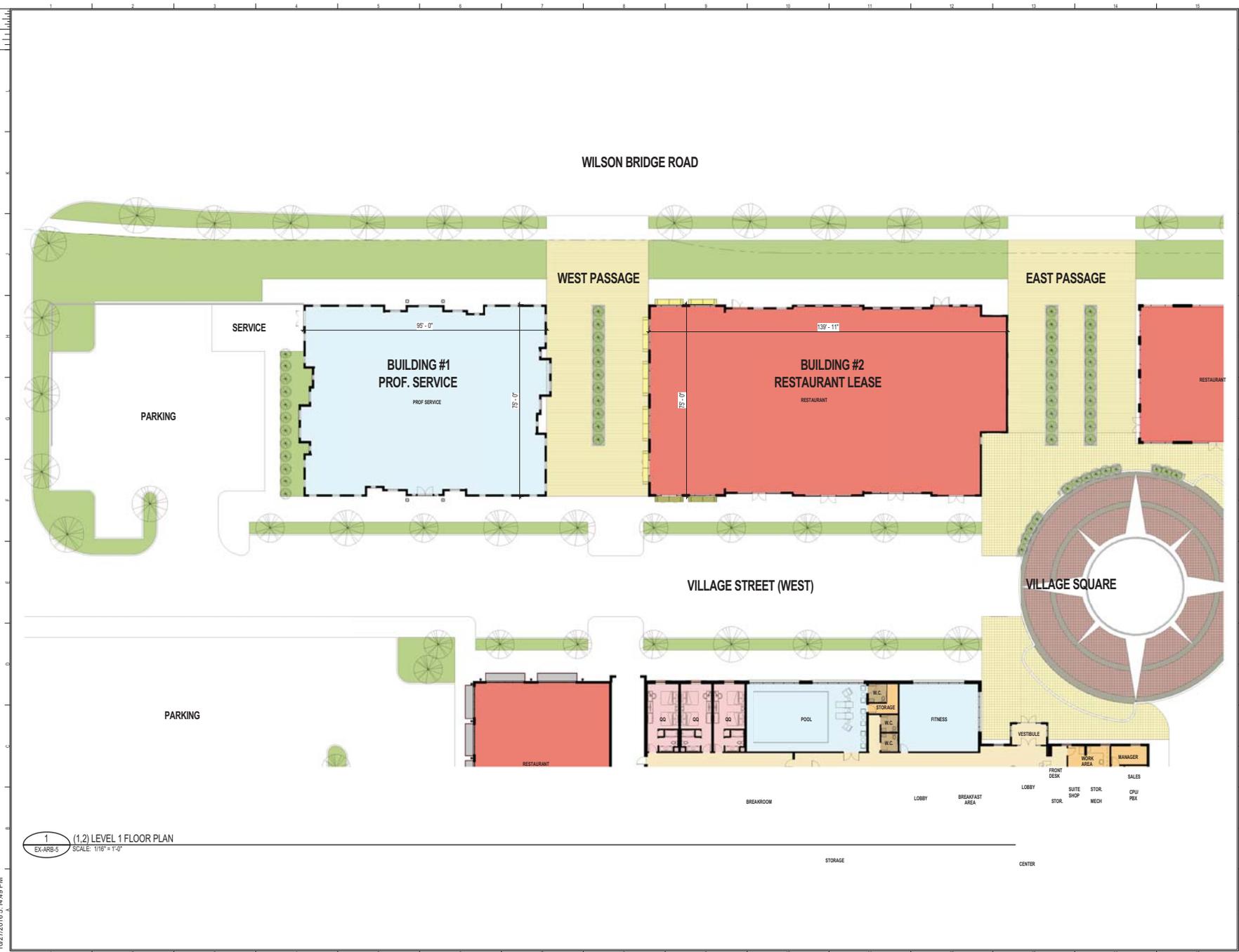




**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not coordinated. This documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If no notice is given and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 PLOT: BLDG #1 PROF. SERVICE, BLDG #2 RESTAURANT LEASE  
 PLOTTED: 10/27/2016 5:14:49 PM  
 FILE: 20150241\_10241\_2015\_cydn03\_jackson01431.rvt

1 (1,2) LEVEL 1 FLOOR PLAN  
 EX-ARB-5 SCALE: 1/16" = 1'-0"

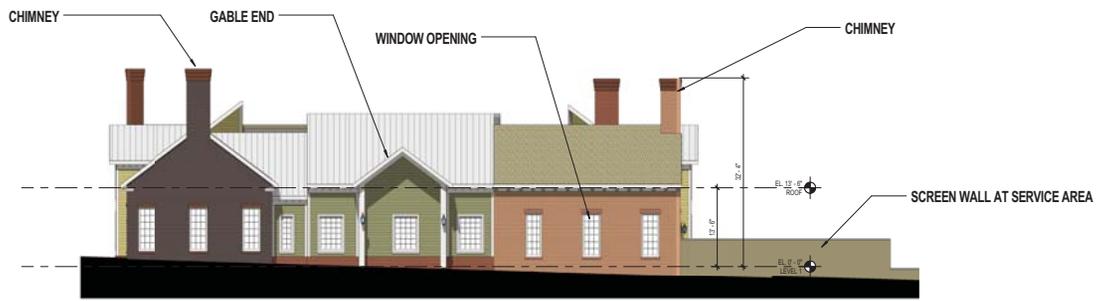
**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
 WORTHINGTON, OHIO  
 Owner

**BLDG #1 PROF. SERVICE, BLDG #2 RESTAURANT**

Designer	20150241
Principal-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self-Checked	

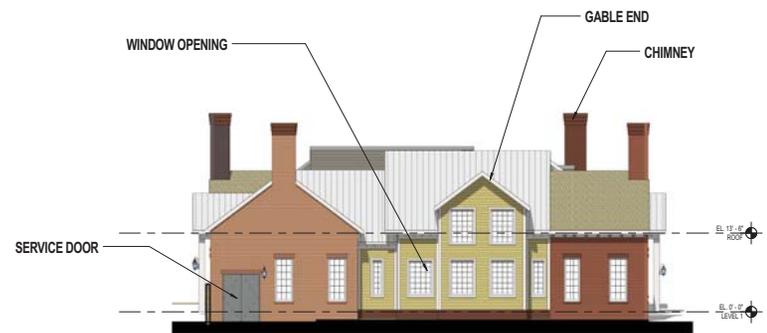
**EX-ARB-5**



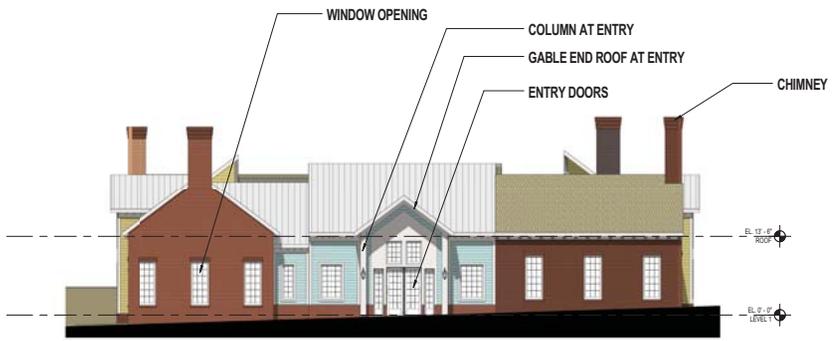
1 (1) ELEVATION NORTH  
EX-ARB-6 SCALE: 1" = 10'-0"



2 (1) ELEVATION EAST  
EX-ARB-6 SCALE: 1" = 10'-0"



4 (1) ELEVATION WEST  
EX-ARB-6 SCALE: 1" = 10'-0"



3 (1) ELEVATION SOUTH  
EX-ARB-6 SCALE: 1" = 10'-0"

ELEVATION DIMENSIONS  
ARE APPROXIMATE

ELEVATION DIAGRAMS,  
COLORS MAY NOT  
REFLECT ACTUAL  
MATERIAL SELECTIONS



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THE CENTER FOR CONNECTIVE ARCHITECTURE

ATLANTA NEW YORK WASHINGTON

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**SCOPE DOCUMENTS**  
The Construction Documents have not been completed therefore this drawing may be acceptable or not coordinated. This document is issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the Contractor gives any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO

Owner

**WEST OFFICE ELEVATIONS**

Designer	20150241
Designer-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Project Architect	
Author	
Self Architect	

**EX-ARB-6**

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 FILE: 20151020\_150241\_05\_02\_ELEVATIONS - WEST OFFICE ELEVATIONS  
 PLOT: 20151020\_150241\_05\_02\_4.dwg DRAWING DATE: 10/28/2016 10:52:15 AM  
 10/27/2016 5:15:12 PM

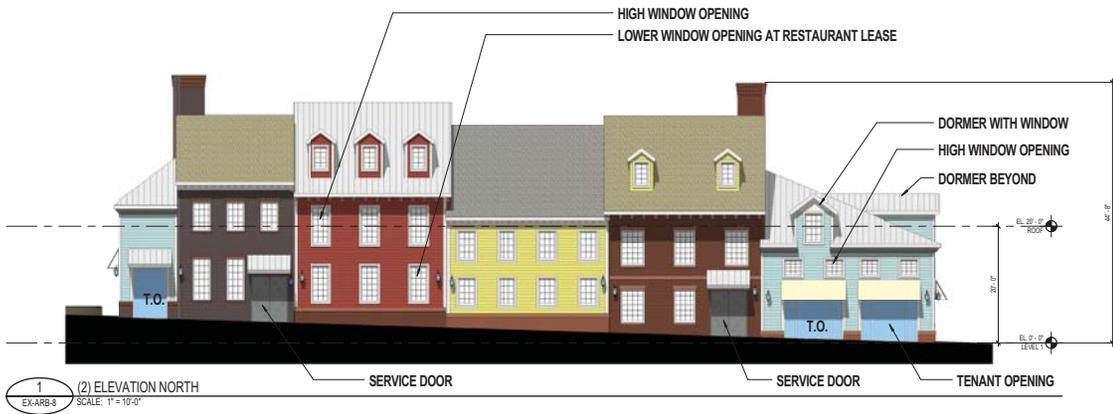




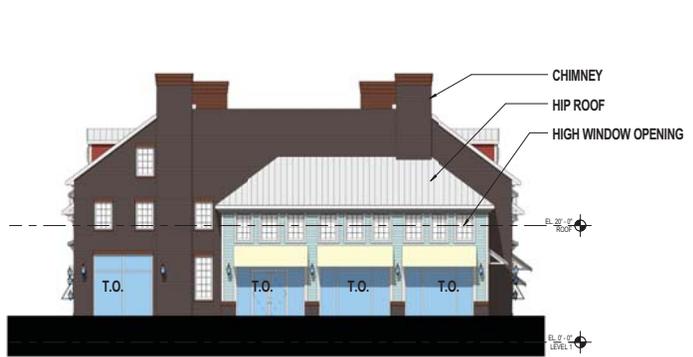
**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not coordinated. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes to give and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

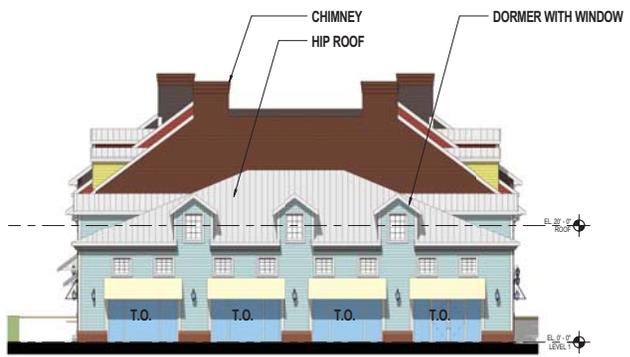
ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



1 (2) ELEVATION NORTH  
EX-ARB-8 SCALE: 1" = 10'-0"



2 (2) ELEVATION EAST  
EX-ARB-8 SCALE: 1" = 10'-0"



4 (2) ELEVATION WEST  
EX-ARB-8 SCALE: 1" = 10'-0"



3 (2) ELEVATION SOUTH  
EX-ARB-8 SCALE: 1" = 10'-0"

ELEVATION DIMENSIONS ARE APPROXIMATE

ELEVATION DIAGRAMS, COLORS MAY NOT REFLECT ACTUAL MATERIAL SELECTIONS

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**NORTH RESTAURANT ELEVATIONS**

Designer	20150241
Principal-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self-Approved	

**EX-ARB-8**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DRAWING TITLE: NORTH RESTAURANT ELEVATIONS  
DATE: 10/28/2016 10:52:41 AM  
DRAWN BY: T. JACKSON  
CHECKED BY: T. JACKSON  
DATE: 10/27/2016 5:16:30 PM







**SCOPE DOCUMENTS**  
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. It is noted in general and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



1 (3) ELEVATION NORTH  
EX-ARB-11 SCALE: 1" = 10'-0"

3 (3) ELEVATION SOUTH  
EX-ARB-11 SCALE: 1" = 10'-0"



2 (3) ELEVATION EAST  
EX-ARB-11 SCALE: 1" = 10'-0"



4 (3) ELEVATION WEST  
EX-ARB-11 SCALE: 1" = 10'-0"

ELEVATION DIMENSIONS  
ARE APPROXIMATE

ELEVATION DIAGRAMS,  
COLORS MAY NOT  
REFLECT ACTUAL  
MATERIAL SELECTIONS

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
↓  
Owner

**EAST HOTEL ELEVATIONS**

Designer	20150241
Principal-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Project Architect	
Author	
Self Architect	

**EX-ARB-11**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
PLOT: EAST HOTEL ELEVATIONS  
P: 10/20/2016 10:52:41 AM F:\work\20150241\17 drawings\17.dwg  
10/27/2016 5:18:40 PM







**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. It is noted in green and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



1 (4) ELEVATION NORTH  
EX-ARB-14 SCALE: 1" = 10'-0"



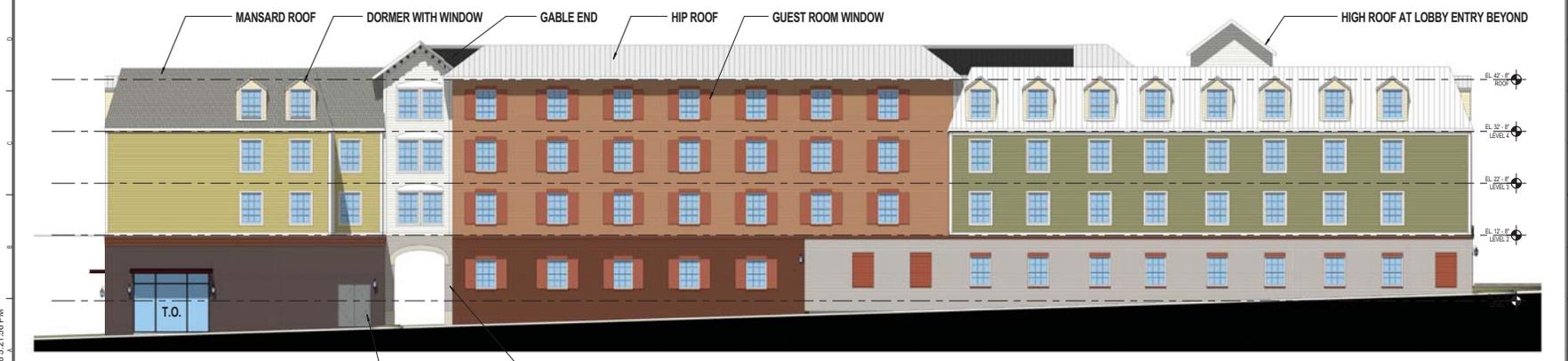
2 (4) ELEVATION EAST  
EX-ARB-14 SCALE: 1" = 10'-0"



3 (4) ELEVATION WEST  
EX-ARB-14 SCALE: 1" = 10'-0"

ELEVATION DIMENSIONS ARE APPROXIMATE

ELEVATION DIAGRAMS, COLORS MAY NOT REFLECT ACTUAL MATERIAL SELECTIONS



4 (4) ELEVATION SOUTH  
EX-ARB-14 SCALE: 1" = 10'-0"

THE VILLAGE AT WORTHINGTON SQUARE

7007 N. HIGH ST  
WORTHINGTON, OHIO



WEST HOTEL ELEVATIONS

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

EX-ARB-14

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 PLOT: 10/28/2016 10:54:15 AM Drawing Set: 11 workset/revision 3/2017/50241\_2015\_024103\_jackson01431.rvt  
 10/27/2016 5:21:58 PM



**SCOPE DOCUMENTS**

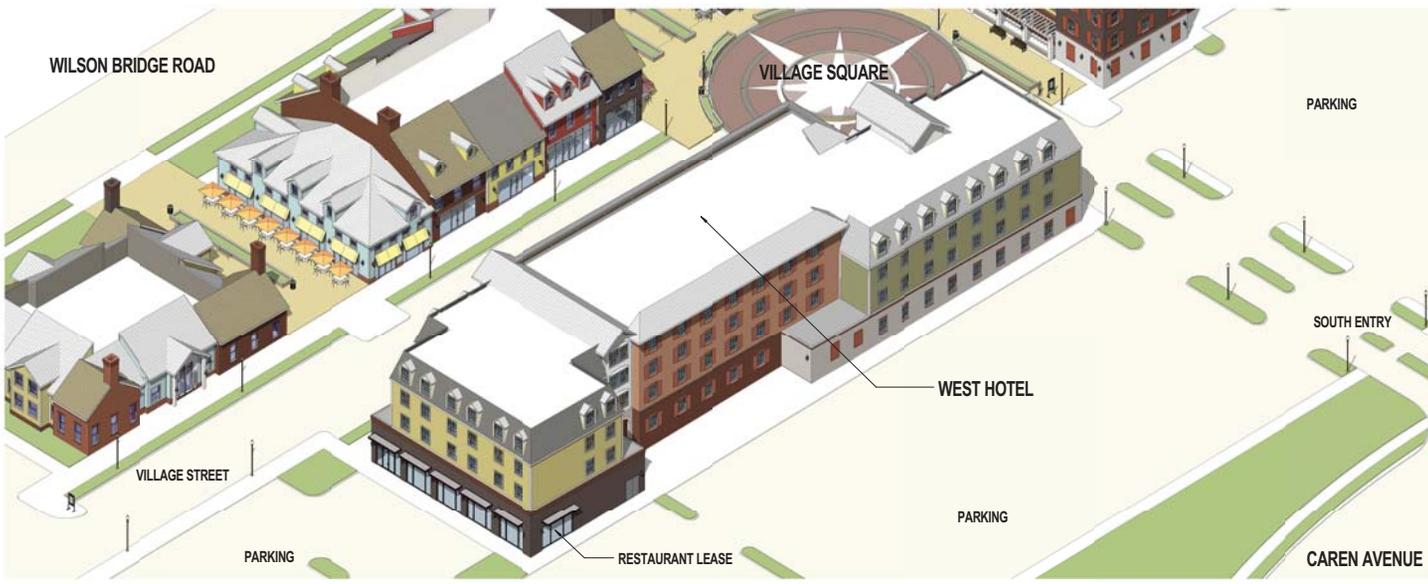
The Construction Documents have not been completed therefore this drawing may be acceptable or not coordinated. This document is issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the Contractor gives any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



1 (4) AXON (NE)  
EX-ARB-15 SCALE



2 (4) AXON (SW)  
EX-ARB-15 SCALE

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
Owner

**WEST HOTEL AXONS**

Designer	20150241
Principal-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

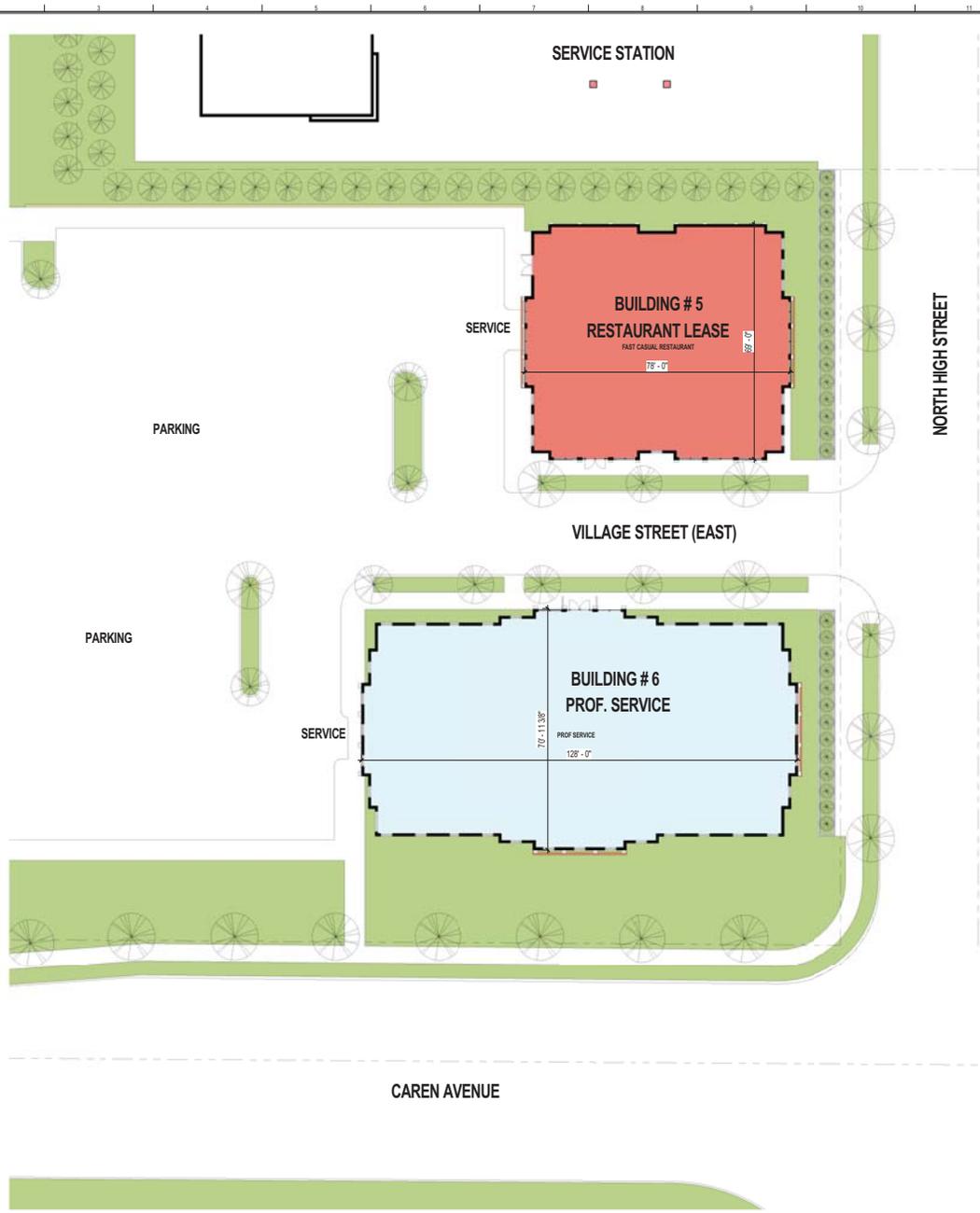
**EX-ARB-15**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
FILE: WEST HOTEL AXONS  
P: 20151020 150241 05 7 drawing.rvt  
10/27/2016 5:28:37 PM



**SCOPE DOCUMENTS**  
The Construction Documents have not been completed therefore this drawing may be acceptable or not coordinated. This document is issued outside the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes to plans and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



1 (5.6) LEVEL 1 FLOOR PLAN  
EX-ARB-16 SCALE: 1/16" = 1'-0"

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner  
**BLDG #5 RESTAURANT, BLDG #6 PROF. SERVICE**

Designer	20150241
Designer-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

**EX-ARB-16**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
FILED: 10/28/2016 10:52:41 AM BY: draughting@coopercarry.com  
10/27/2016 5:23:13 PM



**SCOPE DOCUMENTS**

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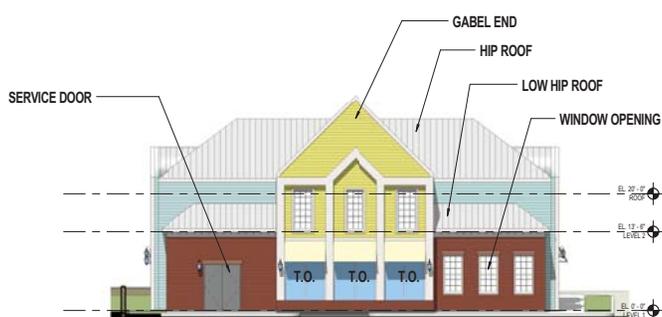
ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



1 (5) ELEVATION NORTH  
EX-ARB-17 SCALE: 1" = 10'-0"



2 (5) ELEVATION EAST  
EX-ARB-17 SCALE: 1" = 10'-0"



4 (5) ELEVATION WEST  
EX-ARB-17 SCALE: 1" = 10'-0"



3 (5) ELEVATION SOUTH  
EX-ARB-17 SCALE: 1" = 10'-0"

ELEVATION DIMENSIONS  
ARE APPROXIMATE

ELEVATION DIAGRAMS,  
COLORS MAY NOT  
REFLECT ACTUAL  
MATERIAL SELECTIONS

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
↓  
Owner

**EAST RESTAURANT  
ELEVATIONS**

Designer	20150241
Designer-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checklist	
Project Architect	
Author	
Self Architect	

**EX-ARB-17**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
JUST REVISION: 10/28/2016 ELEVATION  
P: 2015/10/20 15:02:41 10/28/2016 10/28/2016 10/28/2016 10/28/2016  
10/27/2016 5:23:28 PM



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ATLANTA NEW YORK WASHINGTON

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**SCOPE DOCUMENTS**

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**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



1 (5) AXON (NE)  
EX-ARB-18 SCALE:



2 (5) AXON (SW)  
EX-ARB-18 SCALE:

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
↓  
Owner

**EAST RESTAURANT AXONS**

Designer	20150241
Principal-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**EX-ARB-18**

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
JUST RESTAURANT AXONS  
P: 20151020 15:02:41 10/28/2016 10:28:41 AM  
10/27/2016 5:28:58 PM



**SCOPE DOCUMENTS**

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**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**EAST OFFICE ELEVATIONS**

**ELEVATION DIMENSIONS  
ARE APPROXIMATE**

**ELEVATION DIAGRAMS,  
COLORS MAY NOT  
REFLECT ACTUAL  
MATERIAL SELECTIONS**

Designer	20150241
Principal-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Project Architect	
Author	
Self Architect	

**EX-ARB-19**

GABEL END  
GLASS ENTRY DOORS  
MANSARD ROOF  
WINDOW OPENING AT LEVEL 2  
WINDOW OPENING AT LEVEL 1  
BARREL ROOF



**1**  
EX-ARB-19 (6) ELEVATION NORTH  
SCALE: 1" = 10'-0"



**2**  
EX-ARB-19 (6) ELEVATION EAST  
SCALE: 1" = 10'-0"



**4**  
EX-ARB-19 (6) ELEVATION WEST  
SCALE: 1" = 10'-0"



**3**  
EX-ARB-19 (6) ELEVATION SOUTH  
SCALE: 1" = 10'-0"

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DATE: 10/28/2016 10:52:41 AM JUST OFFICE ELEVATIONS  
DRAWING NO.: EX-ARB-19 DRAWING DATE: 10/28/2016 10:52:41 AM  
10/27/2016 5:24:11 PM





**SCOPE DOCUMENTS**

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ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



1 CAMNORTH WEST ENTRY  
EX-ARB-21 SCALE



2 CAMEAST ENTRY  
EX-ARB-21 SCALE

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**CAMERA VIEWS ENTRY**

Designer	20150241
Principal-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**EX-ARB-21**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DRAWING: CAMERA VIEWS ENTRY  
DATE: 10/28/2016 15:02:41 DWG: drawings\2015\20150241\2015\_0241\_01\camera03\_jackson01431.rvt  
10/27/2016 5:28:23 PM



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ATLANTA NEW YORK WASHINGTON

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**SCOPE DOCUMENTS**  
The Construction Documents have not been completed therefore this drawing may be acceptable or not coordinated. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If the codes in force and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



1 CAMNORTH WEST PASSAGE  
EX-ARB-22 SCALE



2 CAMNORTH EAST PASSAGE  
EX-ARB-22 SCALE

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**CAMERA VIEWS PASSAGE**

Designer	20150241
Principal-in-Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checklist	
Project Architect	
Author	
Self Architect	

**EX-ARB-22**

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DRAWING NUMBER: 3 PASSAGE  
FILE: 2015102015150241037.dwg  
DATE: 10/27/2016 5:31:27 PM



**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not coordinated. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If no notice is given and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



**1** CAM PLAZA/EAST HOTEL  
SCALE:



**2** CAM PLAZA/WEST HOTEL  
SCALE:

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**CAMERA VIEWS PLAZA**

Designer	20150241
Project Manager	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

**EX-ARB-23**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DRAWING NUMBER: EX-ARB-23 PLAZA  
DATE: 10/28/2016 15:02:41 7 drawings  
FILE: 1\workstation\project\20150241\_2015\_cpld\03\_jackson0\_1431.rvt  
10/27/2016 5:34:53 PM



**SCOPE DOCUMENTS**

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**ISSUANCES**

No.	Drawing Issue Description	Date



2 CAM/SITE/HAYHURST  
EX-ARB-24  
SCALE:



1 CAM/SOUTH ENTRY  
EX-ARB-24  
SCALE:

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**CAMERA VIEWS SOUTH AND  
HAYHURST**

Designer	20150241
Project Manager	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Author	
Self Architect	

**EX-ARB-24**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DRAWN BY: JAMES W. SOUTHWORTH ARCHITECTS  
PLOT DATE: 10/28/2016 10:52:41 AM  
DRAWING NO.: 10/28/2016 10:52:41 AM  
10/27/2016 5:37:34 PM



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**SCOPE DOCUMENTS**

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**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**EX-ARB-25**

**NORTHWEST ENTRY, WILSON BRIDGE ROAD**

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
WILSON BRIDGE SECTIONS  
P:\2015\20150241\20150241\_2015\_0241.dwg  
10/28/2016 9:26:58 AM

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 INTERSECTION: WASHINGTON SQUARE AND HIGH STREET  
 PLOT: 10/28/2016 9:26:58 AM  
 10/28/2016 9:26:58 AM



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**SCOPE DOCUMENTS**  
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**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



EAST ENTRY, NORTH HIGH STREET

**THE VILLAGE AT  
 WORTHINGTON SQUARE**

7007 N. HIGH ST  
 WORTHINGTON, OHIO



Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**EX-ARB-26**

NOT ISSUED FOR CONSTRUCTION



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**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO

Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

**EX-ARB-27**

**NORTHWEST PASSAGE, WILSON BRIDGE ROAD**

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
FILED IN: WILSON BRIDGE SECTIONS  
PLOT: 10/28/2016 10:56:41 AM 7 drawings  
DRAWING FILE: 10/28/2016 9:26:58 AM



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**SCOPE DOCUMENTS**

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**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Author	
Self Architect	

**EX-ARB-28**

NORTHEAST PASSAGE, WILSON BRIDGE ROAD

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 WILSON BRIDGE SECTIONS  
 P:\2015\20150241\20150241\20150241.dwg drawing file  
 10/28/2016 9:26:58 AM

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**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Project Architect	
Author	
Self Architect	

**EX-ARB-30**

HAYHURST STREET LOOKING EAST

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DATE: 10/28/2016 10:52:41 AM USER: jackson01431.m  
FILE: 10/28/2016 10:52:41 AM DRAWING: 10/28/2016 9:26:59 AM

NOT ISSUED FOR CONSTRUCTION



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**SCOPE DOCUMENTS**

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**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016



EAST HOTEL AT VILLAGE SQUARE

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Author	
Self Architect	

**EX-ARB-31**

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
FILED: 10/28/2016 9:26:58 AM  
DRAWING: 10/28/2016 9:26:58 AM  
DRAWING: 10/28/2016 9:26:58 AM  
DRAWING: 10/28/2016 9:26:58 AM  
DRAWING: 10/28/2016 9:26:58 AM



# ROOFING TILES

## MULTI-WIDTH SLATE



ABERDEEN SLATE GRAY WEATHERED GREEN

## SINGLE-WIDTH SLATE



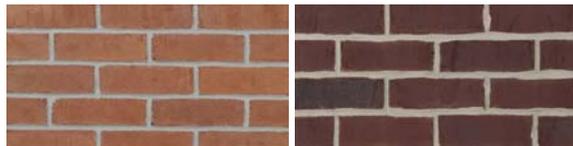
BROWNSTONE CANYON EVERGREEN

## SINGLE-WIDTH SHAKE

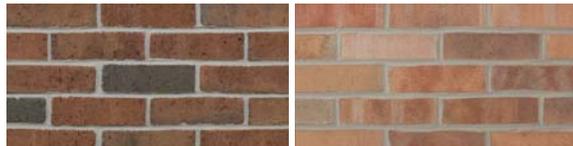


AUTUMN MOUNTAIN TAHOE

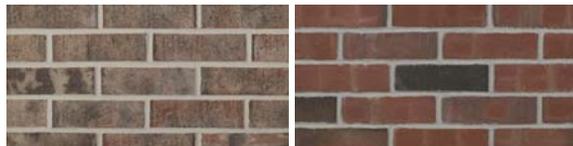
# BRICKS



26HB REDBURN ELLSWORTH



ABERDEEN ILLINI COMMONS



CELTIC GREY RUSTIC BURGUNDY

# SIDING

## LAP SIDING



SELECT CEDARMILL SMOOTH BEADED CEDARMILL BEADED SMOOTH

## VERTICAL SIDING



SELECT CEDARMILL STUCCO SMOOTH SIERRA 8

## SHINGLE SIDING



HALF ROUNDS INDIVIDUAL SHINGLES STAGGERED EDGE PANEL STRAIGHT EDGE PANEL

## AVAILABLE COLORS



# STANDING SEAM METAL ROOF

## metal sales COLOR GUIDE

### PVDF (Kynar 500®) Paint System Standard Stocked Colors



### PVDF (Kynar 500®) Paint System Standard Non-Stocked Colors



# PAINT



# CAST STONE



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ISSUANCES

No.	Drawing Issue Description	Date
1	PRELIMINARY A/B	10/28/2016

THE VILLAGE AT WORTHINGTON SQUARE

7007 N. HIGH ST  
WORTHINGTON, OHIO  
↓  
Owner

MATERIAL SELECTIONS

Designer	20150241
Project in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

EX-ARB-33

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
INTERIOR ARCHITECTURE  
FILE: 20151020150241-01.dwg DRAWING NO: 20151020150241\_2015\_01041\_2015\_01041\_01.dwg  
10/28/2016 9:26:58 AM