



**ARCHITECTURAL REVIEW BOARD  
MUNICIPAL PLANNING COMMISSION  
-AGENDA-  
Thursday, May 12, 2016 at 7:00 P.M.**

Louis J. R. Goorey Worthington Municipal Building  
The John P. Coleman Council Chamber  
*6550 North High Street  
Worthington, Ohio 43085*

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the April 28, 2016 meeting
4. Affirmation/swearing in of witnesses

**B. Architectural Review Board**

**1. Unfinished**

- a. Signage – **6600 N. High St.** (Fastsigns/FC Bank) **AR 45-16**
  
- b. Front Porch Roof & Satellite Dish – **653 Oxford St.** (RAS Construction, Inc./Lindholm) **AR 54-16**

**2. New**

- a. Window Replacement – **821 Oxford St.** (Renewal by Andersen/Riley) **AR 63-16**
  
- b. Sign – **137 E. Granville Rd.** (DaNite Sign Company/Sharon Memorial Hall) **AR 64-16**

- c. Fence – **72 E. Granville Rd. & 764 Hartford St.** (Ace Fence & Deck LLC/  
Ventresca) **AR 65-16** (Amendment to AR 37-16)
  
- d. Modifications to Multi-Family-Dwellings – **634 High St. & 41 E. New England  
Ave.** (Worthington Lodge LLC) **AR 66-16** (Amendment to AR 50-14)
  
- e. Deck Replacement – **6452 Bellbrook Pl.** (Mark Davis) **AR 67-16**
  
- f. Modifications to Front Elevation – **687 Evening St.** (Sean Kocheran/Stotzer)  
**AR 68-16** (Amendment to AR 62-16)
  
- g. Front Porch Removal – **187 E. Granville Rd.** (James & Julia Miller) **AR 69-16**

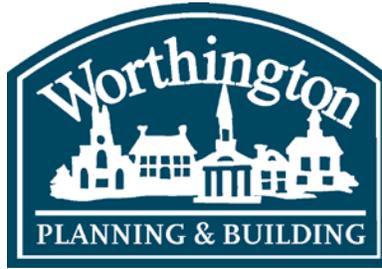
## **C. Municipal Planning Commission**

### **1. Amendment to Development Plan**

- a. Modifications to Freestanding Sign – **100 Old Wilson Bridge Rd.** (Pick of the Letter  
Signs & Graphics) **ADP 03-16**

## **D. Other**

## **E. Adjournment**



## MEMORANDUM

TO: Members of the Architectural Review Board  
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: May 6, 2016

SUBJECT: Staff Memo for the Meeting of May 12, 2016

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### **B. Architectural Review Board**

#### **1. Unfinished**

- a. Signage – **6600 N. High St. (Fastsigns/FC Bank) AR 45-16**

#### **Findings of Fact & Conclusions**

##### **Background & Request:**

Approval was granted on May 14, 2015 for demolition of the 3 buildings on the site, and construction of a new two story office building to serve as the corporate office and a bank branch with drive-thru for FC Bank. On June 25, 2015 lighting, landscaping and window details were approved. A permit was issued in October of 2015 to begin construction on the site. In February of 2016 amendments to the windows and roof screen, and a flagpole were approved. Throughout the process the applicant has shown signage, but details were never approved.

This application was submitted for the March 24, 2016 meeting and tabled without discussion. Revised drawings are now included with the submittal.

##### **Project Details:**

1. A freestanding sign, two wall signs, and illuminated drive-thru signs are included with this application. Variances would be needed for having a freestanding sign larger than is allowed, having more than one wall sign and for total sign area. Application has been made to the Board of Zoning Appeals.
2. The freestanding sign location was approved centered on the building and 10' from the right-of-way line as is allowed by Code. The sign was approved to be surrounded by Big Blue Lilyturf plants.
  - Proposed is an 8' wide x 51" high cabinet faced with smooth cast stone, on an 8' wide

- x 2'8" high base with brick veneer to match the building. Cast stone caps are proposed for the top of the base and sign, and would extend slightly beyond the edges. Sign area would be approximately 55 square feet per side, including the base. If the base were no higher than 2', 16 square feet would be subtracted from that total.
- Dark green and gray painted aluminum reverse channel letters and logo are proposed to be mounted on the sign faces. White LED illumination would shine to the rear from inside the letters giving a halo effect. The depth of the characters is proposed to be 3.5" and the distance between the back of the letters and the sign face is proposed as 1.5".
3. A cast stone panel with the bank's logo raised 1/2" is proposed in the center of the front elevation. The raised panel was previously shown adjacent to the second floor windows, interrupting the soldier course, and adjacent to the lintels, being 9'4" wide x 4' 7 5/6" high. At the recommendation of the ARB, the applicant has reduced the size of the panel to 8' wide x 3'8" high (29.3 square feet in area). The cast stone logo appears to have the desired separation from the soldier course and lintels. There is an extra note on the detail pointing to a brick soldier course that is no longer applicable.
  4. Five inch deep non-illuminated channel letters with the logo above are proposed at the edge of the canopy above the entrance. The proposed letters would be 75" wide x 20" high, and the logo would be 51" wide x 24" high. Sign area would be 75" x 44" or 22.9 square feet. The aluminum letters and logo are proposed to be green and gray.
  5. Exposed LED signs are proposed above the drive-thru lanes on the canopy, with 2 identifying "OPEN/CLOSED" in green and red, and 1 identifying "ATM/NIGHT DEPOSIT" in an unidentified color. A non-illuminated "DO NOT ENTER" sign is proposed on the north side of the canopy, but the colors have not been identified.
  6. A one way sign is shown and is likely to be located near the north drive for the site, which only allows exiting traffic. The post would be dark gray to match the proposed signage.
  7. Other directional signage is not included with the application.

### **Land Use Plans:**

#### Worthington Design Guidelines and Architectural District Ordinance

While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the "monument" type; they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as "fluorescent orange" and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

### Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan promotes a high quality physical environment, encouraging the City to continue to emphasize strong physical and aesthetic design, and high-quality development.

#### **Staff Analysis:**

1. While the freestanding sign is larger than Code allows, the graphic portion of the sign meets the requirement and the design is appropriate.
2. With space between the cast stone relief and nearby architectural features, the sign should be unobtrusive in its wall location.
3. The canopy sign is appropriately designed.
4. Exposed light sources, as in the drive-thru lane indicators, are not typical.

#### **Recommendation:**

Staff is recommending *approval* of this application, based on the above items, except additional consideration should be given to enclosed signs for the drive-thru. Approval would be conditioned on variances being granted by the BZA.

#### **Motion:**

**THAT THE REQUEST BY FASTSIGNS ON BEHALF OF FC BANK FOR A CERTIFICATE OF APPROPRIATENESS TO ALLOW SIGNAGE AT 6600 N. HIGH ST., AS PER CASE NO. AR 45-16, DRAWINGS NO. AR 45-16, DATED MARCH 10, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

- b. Front Porch Roof & Satellite Dish – **653 Oxford St.** (RAS Construction, Inc./ Lindholm) **AR 54-16**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

This farmhouse was originally constructed in 1850, and has had minor modifications and additions over the years. The house is at the northwest corner of Oxford St. and W. New England Ave. This application was originally submitted for review at the April 14<sup>th</sup> meeting, but the homeowners asked the application to be tabled to allow detailing of the porch roof and exploration of alternate ways to deal with grade and drainage issues. The previous proposal included installation of a brick water table to correct issues with grade.

This application includes a redesigned porch roof and a request to retain an existing satellite dish. Storm drainage is now proposed to be handled with a barrier that would be mainly underground, with only a rowlock course of brick showing near the foundation. The brick would be at the same height as the front patio. Grading and connection of the downspout to the curb would also be part of the solution.

**Project Details:**

1. The cross-gabled roof form of this structure creates a natural area at the front door for the front porch. The owners would like to construct a roof over the porch area. The roof would slope from north to south, being below the second floor windows. Wood is proposed for the structure and columns, and standing seam metal is proposed for the roof. An ogee gutter is proposed on the south side of the roof structure. Colors for the wood, roof and gutter have not been identified.
2. A satellite dish was installed on the roof of the 1-story addition to the rear. The owners are concerned the roof would be damaged with removal, so would like approval to keep it in the current location.

**Land Use Plans:**Worthington Design Guidelines and Architectural District Ordinance

- From about 1915 on, porches generally were simplified and more integrated into the design of the house. Simple square or tapered columns were common. New porches (located where one is missing or there has not been a porch in the past) should be built in a simple design. Look at original porches on similar buildings -- height, materials, roof slope, and width -- and use these to develop a design. Avoid ornamentation such as spindles and scrollwork unless they were traditionally used on the porches of similar buildings. Design and materials should be traditional, and compatible with the existing structure.
- Historic wood siding should not be covered over or removed if it is repairable. Avoid removal of or damage to window and door surrounds, and avoid permanent blocking in of windows; the original window pattern of a house is part of its overall design.
- Satellite dish placement should be in a location that minimizes the visual impact as seen from the right-of-way.

**Recommendations:**

Staff is recommending *approval* of this application based on the following:

1. Assuming the porch is white, the design is appropriate.
2. The proposed solution for storm drainage is more architecturally appropriate than the previously approved brick water table.
3. The satellite dish is partially screened from view due to its location on the house and the trees that exist south of the house. Although removal would be ideal, approval could be granted in this location.

**Motion:**

**THAT THE REQUEST BY RAS CONSTRUCTION, INC. FOR A CERTIFICATE OF APPROPRIATENESS TO ADD A FRONT PORCH ROOF AND RETAIN THE SATELLITE DISH AT 653 OXFORD ST. AS PER CASE NO. AR 54-16, DRAWINGS NO. AR 54-16, DATED APRIL 1, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

## 2. New

- a. Window Replacement – **821 Oxford St.** (Renewal by Andersen/Riley) **AR 63-16**

### **Findings of fact & Conclusions**

#### **Background & Request:**

This Colonial Revival house was built in 1940 and is a contributing building in the Worthington Historic District. The house is located at the southwest corner of Oxford St. and W. Stafford Ave. Approval is requested to replace the existing wood windows, which are reportedly difficult to maintain and not energy efficient. The house has had aluminum storm windows for years.

#### **Project Details:**

1. The applicant is planning to replace the existing windows with windows in a composite material. The material is a combination of wood fibers and a thermoplastic polymer, developed and manufactured by Andersen. A sample of the window material has been submitted. The storm windows would be removed and not replaced.
2. The windows would be sized to fit in the existing openings, and would match the existing look. The first floor and rear windows are double hung with 6 over 6 lights or 8 over 8 lights; and the second floor windows on the front and side are divided into 3 sections, with 3 lights in each section. Although the second floor windows are double hung now, the proposed would be casement windows with 9 lights to allow for egress. The proposed windows would have muntins between the panes of glass.
3. An existing rear window above the kitchen sink is a newer casement window with 9 lights and would not be replaced.

#### **Land Use Plans:**

##### **Worthington Design Guidelines and Architectural District Ordinance**

Retention and repair of existing historic windows is always preferable to replacement. If energy efficiency is a concern, interior or exterior storm windows can greatly increase the insulating quality of windows. The Worthington Design Guidelines recommend if historic windows are too deteriorated to repair cost-effectively and replacement is justified, the preferred option is an in-kind replacement in the same material and design. New windows made of substitute materials such as clad wood can be acceptable if they provide a reasonably good match for the windows being replaced. Be sure that window designs are appropriate for the style or time period of the house. Avoid use of inappropriate window designs. Avoid enlarging or downsizing window openings to accommodate stock sizes of replacements. Also avoid permanent blocking in of windows.

#### **Recommendation:**

Staff is recommending *approval* of the application, as the proposed replacement windows appear to be a reasonably good match for the existing. Although the muntins would only be between the glass, the look would be an improvement over the existing storm windows.

**Motion:**

**THAT THE REQUEST BY RENEWAL BY ANDERSEN ON BEHALF OF EARL AND LINDA RILEY FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE THE WINDOWS AT 821 OXFORD ST., AS PER CASE NO. AR 63-16, DRAWINGS NO. AR 63-16, DATED APRIL 22, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

b. Sign – 137 E. Granville Rd. (DaNite Sign Company/Sharon Memorial Hall) AR 64-16

**Findings of Fact & Conclusions**

**Background & Request:**

This building was built as a residence in 1861, and used as such until 1946. After WWII, voters approved a War Memorial Levy and the building was purchased and dedicated as Sharon Memorial Hall in 1947. When zoning was established in 1971, the property was zoned R-10, Low Density Residence, which allows for single family dwellings and public and semi-public uses. Many community groups and organizations used the building until 1975, at which time the Sharon Township Trustees moved their offices and police department into the building. The Township moved its operations to E. Wilson Bridge Rd. in 2009 and the building was renovated. Attempts were made by the Sharon Memorial Board, the entity responsible for Sharon Memorial Hall, to find public and semi-public users for the building that would generate revenue, and allow maintenance of the building and site. After no users were found, the VM, Veterans Memorial zoning district was created in 2010, the property was rezoned from R-10 to VM, and the space was leased to small office users. Advertising for the users of the building was not discussed at the time.

This request is for approval to install a freestanding sign on the property that would identify the building and tenants. The VM zoning district does not have limitations on the size of signage, but any sign would be subject to the other provisions in the sign regulations.

**Project Details:**

1. Placement of the sign is proposed 15' from the E. Granville Rd. right-of-way and 40' from the Morning St. right-of-way. The sign would double-sided, sitting perpendicular to E. Granville Rd. in the grass area north and west of the building. The setback from E. Granville Rd. would be similar to the location of the canon.
2. The sign would be non-illuminated.
3. Proposed are 22 ½ square foot sign faces inside a roughly 40 square foot structure with a pediment and columns. The cabinet and cap would be aluminum and the columns would be polyethylene. All elements would be painted white.
4. Burgundy vinyl graphics are proposed identifying the address in the pediment as “137 Dublin-Granville Rd.”, and “Sharon Township Veterans Memorial Hall” at the top of the sign face. Both elements would be in the same font, but 3 different sizes are proposed. Below would be 3 tenant names in black vinyl, separate by burgundy lines. There appears to be 2 or 3 fonts and sizes being used for the 3 names. The text fonts and sizes are not identified on the drawing. A different logo is proposed for each tenant. The

logos contain different designs and colors, but appear to be about the same size. With the logos, the total number of colors on the sign appear to be 7. A variance would be need for the number of styles, sizes and colors used on the sign.

5. A 20” high by 7’4” high base with brick veneer to match the building, and capped with aluminum painted gray is proposed.

### **Land Use Plans:**

#### Worthington Design Guidelines and Architectural District Ordinance

While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the “monument” type; they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

#### Sign Code

Styles - Signs shall be comprised of not more than two styles of lettering plus one logo. A logo is an emblem, character, pictograph, trademark or symbol used alone to represent a business, organization, entity or product. There shall be not more than three sizes of all such lettering, including a logo.

Colors - Not more than four colors, including black and white, shall be used on any sign.

### **Staff Analysis:**

1. While there is no regulation for sign size in the VM district, the sign should not be larger than is allowed in other parts of the District. The graphic portion of the sign is smaller than the commercial district allowance, so just the structure would be larger. The sign, being in a residential area, would not be in competition with other signs.
2. The design seems appropriate for the building.
3. More uniformity is needed with lettering styles and sizes to simplify the sign. Also, deletion of the logos may help.
4. The use of raised lettering for at least the building name would add some character to the sign. The font could match the lettering on the building.
5. The address would be more easily seen if just the number was placed in a larger size. The use of raised characters would also be appropriate.

### **Recommendation:**

Staff is recommending the sign graphics be simplified and modified per the above analysis.

**Motion:**

**THAT THE REQUEST BY DANITE SIGN COMPANY FOR A CERTIFICATE OF APPROPRIATENESS TO ALLOW A FREESTANDING SIGN AT 137 E. GRANVILLE RD., AS PER CASE NO. AR 64-16, DRAWINGS NO. AR 64-16, DATED APRIL 22, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

- c. Fence – 72 E. Granville Rd. & 764 Hartford St. (Ace Fence & Deck LLC/ Ventresca) AR 65-16 (Amendment to AR 37-16)

**Findings of Fact & Conclusions**

**Background & Request:**

This house is not only a contributing building in the Worthington Historic District, but is also individually listed on the National Register of Historic Places. The original structure was built in the early 1800's, and additions were added at several points over the life of the house. There is an existing white wood fence with pickets that are straight across the top along the sides of the property, and a wire mesh fence exists toward the rear of the property. The wire fence is located between Beech trees that were planted 10 years ago to screen the addition constructed to the north.

The applicant received approval from the ARB in March to construct a new wood fence, matching the existing on the south side of the property, to replace the wire fence. The existing wood fence was designed as part of a competition and constructed using non-standard methods. The owners are committed to maintaining that fence, but would not like to replicate it due to the uniqueness of the design. The applicant is now asking for approval of a simpler version of the fence, rather than an exact match. The Board of Zoning Appeals approved a variance to allow new fencing in the proposed location.

**Project Details:**

1. Now proposed is a 4' high cedar fence with flat tops and no post toppers. The picket width and spacing would match the existing fence (1" x 4" with 2" spacing). The wood would be left in a natural state.
2. The purpose of the rear fence, which is south of the driveway to the freestanding garage, is to enclose the yard so the owners' pets cannot leave the property. Unfortunately, the existing rear wire fence is not substantial enough to accomplish that task.

**Land Use Plans:**

**Worthington Design Guidelines and Architectural District Ordinance**

Fencing should be open in style; constructed with traditional materials; 3' to 4' in height; in the back yard; and of simple design, appropriate for the house style. Design and materials should be compatible with the existing structure.

**Recommendation:**

Staff is recommending *approval* of this application, as the proposed fence is complementary to the existing picket fence, but simpler in style which is appropriate for the location. The unpainted wood should more easily blend with the existing vegetation.

**Motion:**

**THAT THE REQUEST BY JIM & JORDY VENTRESCA TO AMEND CERTIFICATE OF APPROPRIATENESS AR 37-16 BY CHANGING THE FENCE STYLE AT 72 E. GRANVILLE RD. AND 764 HARTFORD ST. AS PER CASE NO. AR 65-16, DRAWINGS NO. AR 65-16, DATED APRIL 27, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

- d. Modifications to Multi-Family Dwellings – **634 High St. & 41 E. New England Ave.** (Worthington Lodge LLC) **AR 66-16** (Amendment to AR 50-14)

**Findings of fact & Conclusions**

**Background & Request:**

In January of 2015, the City Council approved rezoning the Masonic Lodge property for use as multi-family housing. The PUD zoning also allowed for all C-5 Zoning District uses. The Architectural Review Board and Municipal Planning Commission approved final plans for the project in March of 2015. Since that time, the property owners have undertaken the approval process to be eligible for state and federal Historic Preservation Tax Credits. Modifications were needed to meet the interior and exterior standards for that program, and are before the ARB now for approval. Also part of this application are changes requested by the owner.

**Project Details:**

*(Previously approved details that are not changing are italicized. Proposed amendments are bolded.)*

- 1. Allowable Uses:

*All C-5 District Uses are permitted on the property without a modification to the zoning except for the area east of the access drive that was zoned R-10 (Low Density Residential).*

**The proposal now includes the following uses:**

- **First floor of the 1820 building would be 2 commercial spaces**
- **Second floor of the 1820 building would be a museum**
- **First floor of the 1955 building was modified from 3 residential units to 2**
- **Second floor of the 1955 building was modified from 2 residential units to 1**
- **Basement of 1955 building was to be a common area for the residential, but will now also include an office**

2. Design Regulations:

a. Character.

*The project makes use of the historic lodge buildings, provides infill development along E. New England Ave., maintains and formalizes the access drive entrance to the Worthington United Methodist Church parking lot, and adds a 5' wide pedestrian walkway and lighting from the lot to E. New England Ave.*

b. Site layout: *Parking for the Lodge residential units is proposed in garages in place of the current Lodge parking. The access drive to the parking lot would remain in the same location, and a sidewalk with lighting is proposed on the west side of the drive. The units west of the drive are proposed 13' from the E. New England Ave. right-of-way line.*

c. Existing Buildings:

*Existing windows, doors and stone panels are proposed to be retained.*

- **West Elevation** – The existing windows were always to remain, but now storm windows in “Café Cream” are proposed to be added. The addition of a door at the north end of the connector between the buildings was originally proposed, but now the existing window would be retained. Reconstruction with existing brick is proposed for the low wall in front of the connector. The metal gutter and downspout on the 1955 building are proposed for replacement. A lantern style light fixture is proposed north of the connector door. As shown in the enclosed photograph, the fixture would have scrolls on the top and bottom.
- **South Elevation** – New second floor windows are proposed in the rear part of the building that would align with existing first floor windows, and match the style of the second floor windows in the front of the building. Removal of the 2 existing second floor windows is proposed; recessed brick would fill the holes. New windows would have a brick rowlock for a sill; existing and replacement windows have a stone sill. At the rear, the open balcony area with exterior stairs is now proposed with everything enclosed. A four-season room would be created above the existing first floor of the building, and the stairs would be interior. Hardieplank Siding in “Woodstock Brown” is proposed on the first floor, windows would be on the second floor, and a “Weathered Zinc” standing seam metal roof is proposed.
- **East Elevation** – New arched windows, designed differently from the existing windows on the front, are proposed for the connector. New small dormers are proposed on the rear part of the roof. The existing stairs on the 1920 building would now be retained and painted rather than replaced.
- **North Elevation** – Two new entry doors are now proposed on the north side. Simple roof structures with columns would surround the doors. New windows are now proposed under the existing second floor glass block windows, which would remain. Other new and replacement windows are proposed on both floors.

- **New fireplace flues are proposed at several locations on the roof. Matching light fixtures without the scrolls are proposed for the residential entrances. All new and replacement windows would be aluminum clad wood windows.**

d. Garages:

*Parking for the units in the lodge would be behind the 1955 building in 2 garages. The footprint of each building would be roughly 65' x 25' with about 28' between the structures. Trash can pads are proposed east of the buildings.*

**Previously the garages were designed to accommodate 12 parking spaces, but with the reduction in dwelling units, part of the space would now be for storage rather than parking. Brick walls would now extend between the garages on the east side to an access gate, which appears to be metal.**

**The garages continue to be proposed as all brick. Garage doors are now proposed to look like more of a carriage door. Windows have been added and the cupolas have been redesigned to look like a lantern, having a hipped roof. Lantern style light fixtures with a top scroll only are also proposed for the structures.**

e. Proposed Buildings:

*West of the access drive from E. New England Ave. to the parking lot, a two-story structure with 2 townhomes is proposed. The units would each have a two-car garage with access from the access drive to the parking lot. The northern unit, ML #1 would have its entrance facing New England Ave.; the southern unit, ML #2, would have its entrance facing east. Both townhomes would have a private patio area on the west side of the structure. The new structure is proposed as a two-story structure finished with a cultured stone veneer on the main living units and 6" Hardieplank lap siding between the units.*

- **The building height in the townhomes was increased by 2'2" to allow for higher ceiling heights.**
- **A choice of Weathered Zinc standing seam metal or "Antique Slate" asphalt shingles is now proposed for the roofing.**
- **The entrances are proposed to be similar to the new lodge residential entrances. The same lantern style light fixtures without the scrolls are proposed for the residential entrances.**
- **The windows would be aluminum clad wood windows rather than all vinyl.**
- **The garage doors would be the same style as proposed for the lodge garages. Gooseneck lamps are proposed above the doors.**

*No changes are proposed for the new structure east of the access drive.*

f. Landscaping: *A mixture of landscape and hardscape elements is proposed between and around the buildings including: ornamental and shade trees; shrubs; perennials;*

*sidewalk and patio surfaces of brick, concrete and stone; a pergola; privacy fencing and gates; and a raised planter wall.*

**The patio areas on the lodge site have been modified. For the townhomes, the condensing units are now proposed outside of the fenced area. A plan for screen the units is needed. Electric meters are shown on the east side of the townhomes near the front, so would be very visible from the front. A screening plan should be presented.**

- g. Lighting: *Ten bollard lights are proposed along the new sidewalk west of the access drive.*

### **Land Use Plans:**

#### Worthington Design Guidelines and Architectural District Ordinance

Infill sites should be developed in a way that is complementary to their neighborhoods and that integrates well with surrounding building designs and land uses. Compatibility with the neighborhood should be the primary consideration. New structures should complement the form, massing and scale of existing nearby structures. Also, building placement and orientation are important design considerations. Most main entrances should face the street and garages should avoid facing the street.

**Roof:** Roof shapes for new buildings should be appropriate to the style or design of the building. If a new building does not follow a particular style but is instead a vernacular design, then roof shapes and heights similar to those in the neighborhood or nearby would be most appropriate.

**Materials:** Contemporary materials that simulate traditional ones are appropriate, but the preferred option is to use true traditional materials such as wood siding. Incompatible contemporary materials should be avoided. Brick has long been a traditional material in Worthington. Prepare a sample board for review by the Architectural Review Board.

**Windows:** For new buildings, multiple-paned windows generally are not appropriate. The exception is a building being built in a particular style -- such as Federal, Greek Revival or Colonial Revival -- that would have employed this window type. When in doubt, simple 1 over 1 double-hung sash windows are usually the simplest, least expensive and most appropriate choice. Using the excellent precedents of Worthington's many historic structures, carefully design the pattern of window openings; window sizes and proportions (they must be appropriate for the size and proportions of the wall in which they are placed); pattern of window panes and muntins; and trim around the windows. Good quality wood windows are readily available and more affordable than in the past. True wood windows are always the first preference. Aluminum- or vinyl-clad windows can be appropriate, but primarily on secondary facades and less conspicuous locations. All-aluminum or vinyl windows are not prohibited but are not encouraged. Avoid blank walls.

**Entries:** As with other design considerations, study Worthington's rich collection of 19th and 20th century architecture for design ideas for entrances and doors. For newly-built buildings, simpler designs usually look better than more ornate ones. Avoid heavy ornamentation on doors

and entrances. Observe entry placement on existing buildings. Whether located symmetrically or asymmetrically, entries usually are aligned with a window on the second floor so that a regular rhythm of openings is maintained on both floors. Entries should be located so they are easily visible, and they should be oriented toward the street.

**Color:** In general, avoid bright colors not typical in Worthington neighborhoods, such as various shades of purple or orange. For infill buildings being placed in an existing streetscape, select colors compatible with those already used along the streetscape. Many buildings follow a pattern of light colors for the building body and darker colors for the trim. Following this pattern is encouraged. In Worthington, the use of white or cream-colored trim also is common and would be appropriate for new construction. Avoid using too many colors. Usually one body color and one trim color are sufficient.

**Landscaping:** Worthington's mature shade trees are the primary landscaping feature throughout the community. They are a major contributor to its character and help define its neighborhoods as stable, desirable places to live. In general, lawns are generous but not overly large, which contributes to the sense of human scale that is one of Worthington's important attributes. Other landscaping elements tend to be properly scaled and well-tended, which also tends to enhance neighborhood character. Maintain and nurture mature trees to prolong their lives. Plant and maintain street trees in planting areas between the street and sidewalk. Paving can sometimes reduce water absorption of the soil so much that trees do not get the moisture they require.

The standards of review in the Architectural District ordinance are:

1. Height;
2. Building massing, which shall include the relationship of the building width to its height and depth, and its relationship to the viewer's and pedestrian's visual perspective;
3. Window treatment, which shall include the size, shape and materials of the individual window units and the overall harmonious relationship of window openings;
4. Exterior detail and relationships, which shall include all projecting and receding elements of the exterior, including but not limited to, porches and overhangs and the horizontal or vertical expression which is conveyed by these elements;
5. Roof shape, which shall include type, form and materials;
6. Materials, texture and color, which shall include a consideration of material compatibility among various elements of the structure;
7. Compatibility of design and materials, which shall include the appropriateness of the use of exterior design details;
8. Landscape design and plant materials, which shall include, in addition to requirements of this Zoning Code, lighting and the use of landscape details to highlight architectural features or screen or soften undesirable views;
9. Pedestrian environment, which shall include the provision of features which enhance pedestrian movement and environment and which relate to the pedestrian's visual perspective;
10. Signage, which shall include, in addition to requirements of Chapter 1170, the appropriateness of signage to the building;
11. Sustainable Features, which shall include environmentally friendly details and conservation practices.

### Worthington Comprehensive Plan

Village centers like Old Worthington are logical places to add residential density in and behind the main corridor. Such residential development adds more pedestrian activity, increases the market base for the retail stores, and can be designed as a product that is attractive to young professionals and empty nesters. In Worthington, redeveloping residential lots within the first High Street block requires expertise to prevent it from tearing into the historic fabric of the City. Such development must be evaluated on a case-by-case basis, but it would be critical to be appropriate for the site in scale and design while at the same time creating a continuous street front. One of the most effective methods for adding residential units in this area is to rediscover and recapture the upper floor spaces in existing and new development along the corridor. The pedestrian-friendly, mixed-use nature of Old Worthington is historically appropriate. Its success indicates that there are significant land use lessons to be applied to redevelopment efforts in Worthington. It appears there may be new opportunities for mixed-use development in appropriate locations. The history of the High Street corridor indicates long-term success for a linear commercial development approach.

### Worthington Area 360° Community Strategic Plan

With an historic community at its core, Worthington offers 21<sup>st</sup> century opportunities and global ties. Neighbors work together, support each other, appreciate diverse opinions and connect across all ages, cultures and beliefs. Strong public institutions foster and invest in infrastructure, technology, economic development and public services that unite our community.

#### Vision:

- Housing – Worthington needs to develop a broad range of quality housing that meets the needs of all people, of all ages, with a diversity of incomes.
  - Strong neighborhoods with a variety of housing options
  - Implement higher density housing downtown
  - Density can be positive when handled correctly
  - Develop walkable, dense, mixed-use housing
  - Create different residential choices
  - Create opportunities for infill development
  - Address aging housing stock
- Downtown – Reflects Worthington’s values and becomes a place where people connect to live, learn, have fun, worship, dine, shop, visit and enjoy a distinctive Worthington experience.
  - Pedestrian friendly
  - Hub of activity
  - Higher density, without impacting the feel
  - Mix of uses (residential, retail and office)
  - Sense of place
  - Heart of the community

**Recommendation:**

Staff is recommending *approval* of this application, as the proposed changes would enhance the project.

**Motion:**

**THAT THE REQUEST BY WORTHINGTON LODGE LLC TO AMEND CERTIFICATE OF APPROPRIATENESS AR 50-14 WITH AMENDMENTS TO THE APPROVED DRAWING FOR 634 HIGH ST. AND 41 E. NEW ENGLAND AVE., AS PER CASE NO. AR 66-16, DRAWINGS NO. AR 66-16, DATED APRIL 29, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

e. Deck Replacement – **6452 Bellbrook Pl.** (Mark Davis) **AR 67-16**

**Findings of Fact & Conclusions**

**Background & Request:**

This house is the second house north of W. Dublin-Granville Rd. on the east side of Bellbrook Pl., and is not easily seen from W. Dublin-Granville Rd. Approved by the ARB in 1989, the house is two-stories with a gabled roof, and finished with lap siding and brick accents. A 14' x 22' deck was approved and constructed on the east side (rear) of the house. The owner would now like to replace and enlarge the deck.

**Project Details:**

1. Originally the homeowners wanted to enlarge the deck 4' to the east, but decided against the idea due to the need for a variance and the timing of the project.
2. An adjustment is planned to the stepped down area on the south side to have it be level with the rest of the deck. An increase of 1'-2' of decking in that area is desired.
3. Construction is proposed with pine, and in a similar style as the existing deck with a 36" high rail.
4. There is no view of the deck from W. Dublin-Granville Rd. due to a fence installed in 2013.

**Land Use Plans:**

**Worthington Design Guidelines and Architectural District Ordinance**

There are recommendations in the Worthington Design Guidelines for additions and decks to be located as far to the rear as possible. Design and materials should be traditional, and compatible with the existing structure.

**Recommendations:**

Staff is recommending *approval* of the application. The proposed deck is compatible with the house and appropriately located.

**Motion:**

**THAT THE REQUEST BY MARK DAVIS FOR A CERTIFICATE OF APPROPRIATENESS TO REPLACE THE DECK AT 6452 BELLBROOK PL. AS PER CASE NO. AR 67-16, DRAWINGS NO. AR 67-16, DATED APRIL 29, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

- f. Modifications to Front Elevation – **687 Evening St.** (Sean Kocheran/Stotzer) **AR 68-16**  
(Amendment to AR 62-16)

**Findings of Fact & Conclusions**

**Background & Request:**

This ranch was constructed in 1958 and is on the west side of Evening St., south of W. Granville Rd. The house is not a contributing building in the Worthington Historic District. The property is 85' wide and an average of 158' deep. The owners were approved to makes changes, including rear additions, at the last ARB meeting, but the front elevation was not approved. This application includes amendments to the proposed front elevation.

**Project Details:**

*(Previously approved details that are not changing are italicized. Proposed amendments are bolded.)*

- 1. The existing house is stucco, with brick on parts of the front façade. The stucco is white; the brick is multi-colored with brown tones; and the roof is brown. Proposed for the existing house and addition are the following: the stucco would be painted light gray; the brick would be dark gray; and the roof is proposed as blended charcoal.*
- 2. All of the existing windows are proposed for replacement with Pella aluminum clad wood casement windows, and any new windows would be the same.*
- 3. A new mahogany front door is proposed.*
- 4. Expansion of the front stoop into a porch that would extend to the garage and include a roof is proposed. The roof would have a forward facing gable to match the house gable to the north. **The porch is now proposed to be 1' back from the front of the house.** Square cedar columns with brackets at the top and a brick water table are proposed. ~~The gable would be gray Hardie board and batten siding, with standing seam metal at the base.~~ **The gable is now proposed as a flat panel and standing seam metal would not be used.** ~~Board and batten is also proposed to replace the stucco above the water table on the existing house wall below the gable.~~ **The existing brick would remain on the wall under the porch.** Existing shutters would be removed.*
- 5. On the brick wall north of the entrance, ~~two new bay windows with seats inside are proposed.~~ The windows are proposed with standing seam metal gables, stucco surrounds and brackets below. **two double casement windows are proposed.***
- 6. **The garage door windows have been revised with rectangular rather than curved windows at the corners.***

**Land Use Plans:**

Worthington Design Guidelines and Architectural District Ordinance

Residential additions are recommended to maintain similar roof forms; be constructed as far to the rear and sides of the existing residence as possible; be subordinate; and have walls set back from the corners of the main house. Design and materials should be traditional, and compatible with the existing structure.

**Recommendations:**

Staff is recommending *approval* of this application, as the modifications are appropriate for this structure.

**Motion:**

**THAT THE REQUEST BY THE SEAN KOCHERAN ON BEHALF OF JOE AND SHELLY STOTZER TO AMEND CERTIFICATE OF APPROPRIATENESS AR 62-16 WITH A REVISED FRONT ELEVATION TO RENOVATE AND ADD ON TO THE HOUSE AT 687 EVENING ST. AS PER CASE NO. AR 68-16, DRAWINGS NO. AR 68-16, DATED APRIL 29, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

g. Front Porch Removal – **187 E. Granville Rd.** (James & Julia Miller) **AR 69-16**

**Findings of Fact & Conclusions**

**Background & Request:**

This two-story house was constructed in 1951 and is on the south side of E. Granville Rd. west of Plymouth St. Improvements have been made over the years, including a two-story rear addition in 2008 and a deck in 2009. When the addition was approved in 2008, it was approved to have Hardie lap siding. Also mentioned was the future need to replace the deteriorating wood siding on the house. The homeowner is now undertaking that project by replacing the existing siding with Hardie siding in the same style. As that work is done, removal of the front porch roof structure is proposed.

**Project Details:**

1. There was a metal concave awning above the front porch. At some point in the 2000’s, the bottom part of the awning was removed and replaced with a box structure supported by narrow columns.
2. The entire structure is proposed for removal, leaving only a stoop. With the siding project there would not be any evidence of the awning or porch roof.

**Land Use Plans:**

Worthington Design Guidelines and Architectural District Ordinance

From about 1915 on, porches generally were simplified and more integrated into the design of the house. Simple square or tapered columns were common. New porches (located where one is missing or there has not been a porch in the past) should be built in a simple design. Avoid

ornamentation such as spindles and scrollwork unless they were traditionally used on the porches of similar buildings.

**Recommendations:**

Staff is recommending *approval* of this application, as neither the metal awning nor the current porch structure are appropriate for the house, or typical for the District.

**Motion:**

**THAT THE REQUEST BY JAMES AND JULIA MILLER FOR A CERTIFICATE OF APPROPRIATENESS TO REMOVE THE FRONT PORCH ROOF AT 187 E. GRANVILLE RD. AS PER CASE NO. AR 69-16, DRAWINGS NO. AR 69-16, DATED MAY 2, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

**C. Municipal Planning Commission**

**1. Amendment to Development Plan**

- a. Modifications to Freestanding Sign – **100 Old Wilson Bridge Rd.** (Pick of the Letter Signs & Graphics) **ADP 03-16**

**Findings of Fact & Conclusions**

**Background & Request:**

This property is located on the north side of Old Wilson Bridge Rd. in the C-2 Zoning District, and has an approved Final Development Plan. Application must be made when the property owner wishes to change, adjust or rearrange buildings, parking areas, entrances, heights or yards, following approval of a Final Development Plan. When variance requests are included, the modification must be approved by City Council.

The multi-tenanted office building is located on a parcel just over 2 acres in size, with other office buildings to the west; the Piano Conservatory to the east; the Shops at Worthington Place to the south; and the I-270 right-of-way to the north.

Last year, when Worthington Industries moved employees into this building, wall signs were added for the business facing both rights-of-way. Variances were granted to allow more than 1 wall sign and sign area greater than allowed.

There are 2 existing freestanding signs on the property: one near the west end identifying the property as Corporate Hill; and one near the east end by the drive entrance that was refaced for American Health Holdings in 2003. This is a proposal to restore and renovate the sign to the east.

**Project Details:**

1. The applicant is proposing to wrap the existing sign cabinet with an HDU foam wrap material and add a stucco finish. A sample has been provided. The sign would end up 8” wider and 3.5” taller than the existing, for 75.5” x 53.5” or 28 square feet in area per side.
2. Three PVC tenant panels are proposed on each side, each having black 4” graphics and the same font. Worthington Industries would not be named on the sign, so total sign area for the business would not be a concern with this application.

**Land Use Plans:**

Worthington Sign Code:

Each business is permitted a maximum of 100 square feet of signage. The Code allows for a 2’ high x 8’ wide sign base that is not counted toward area. For properties larger than 2 acres in the I-1 Zoning District, 2 freestanding signs are allowed per development. Joint identification signs can display up to 3 business names.

Wilson Bridge Road Corridor

Exterior lighting fixtures are the preferred source of illumination.

(1) Freestanding Signs

- A. There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.
- B. Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10’. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.
- C. Freestanding signs may include the names of up to eight tenants of that parcel.
- D. Light sources shall be screened from motorist view.

Worthington Comprehensive Plan

The 2005 Worthington Comprehensive Plan stresses the importance of local business as a means to support municipal services provided to residents. The plan points to the success of the freeway commercial area as being critical to the health of the City.

**Recommendation:**

Staff is recommending *approval* of the application, as it meets the current Code and adopted (but not yet effective) Wilson Bridge Corridor zoning requirements, and is complementary to the building.

**Motion:**

**THAT THE REQUEST BY PICK OF THE LETTER SIGNS AND GRAPHICS ON BEHALF OF THE DONALD R. KENNEY COMPANY FOR APPROVAL OF AN AMENDMENT TO DEVELOPMENT PLAN TO MODIFY THE FREESTANDING SIGN AT 100 OLD WILSON BRIDGE RD. AS PER CASE NO. ADP 03-16, DRAWINGS NO. ADP 03-16, DATED APRIL 29, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Case # AR 45-16 Date Received 3-10-16 Fee \$14 Meeting Date 3-24-16 Filing Deadline Receipt # 61709

1. Property Location 6600 NORTH HIGH ST. WORTHINGTON
2. Present/Proposed Use FC BANK

3. Zoning District

4. Applicant FASTSIGNS DANIEL STUTZMAN
Address 144 W 12TH ST. ERIE, PA 16501

Phone Number(s) 814-453-6711 Cell 814-449-5820

5. Property Owner FC BANK Andy Dale, PRES
Address 4545 W. Dublin GRANVILLE RD. Dublin, OH 43017

Phone Number(s) 614-889-7386

6. Project Description MASONRY + Lit CHANNEL LETTER YARD SIGN AND NON Lit CHANNEL LETTER BUILDING SIGN.

7. Project Details: a) Design CHANNEL LETTER ON CANOPY + CHANNEL LETTER ON BRICK MONUMENT

b) Color DK. GREEN + BLACK

c) Size

d) Approximate Cost \$14,000.00 Expected Completion Date NOV 2016

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME: The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Daniel Stutzman
Applicant (Signature)

3-3-16
Date

Property Owner (Signature)

3-10-16
Date

Abutting Property Owners List for  
6600 N. High St.

Ohio Bell Telephone Co.  
6565 Worthington LLC

United Methodist Children Home West Ohio

6650 N. High St.

642 Eagle Ridge Ct.

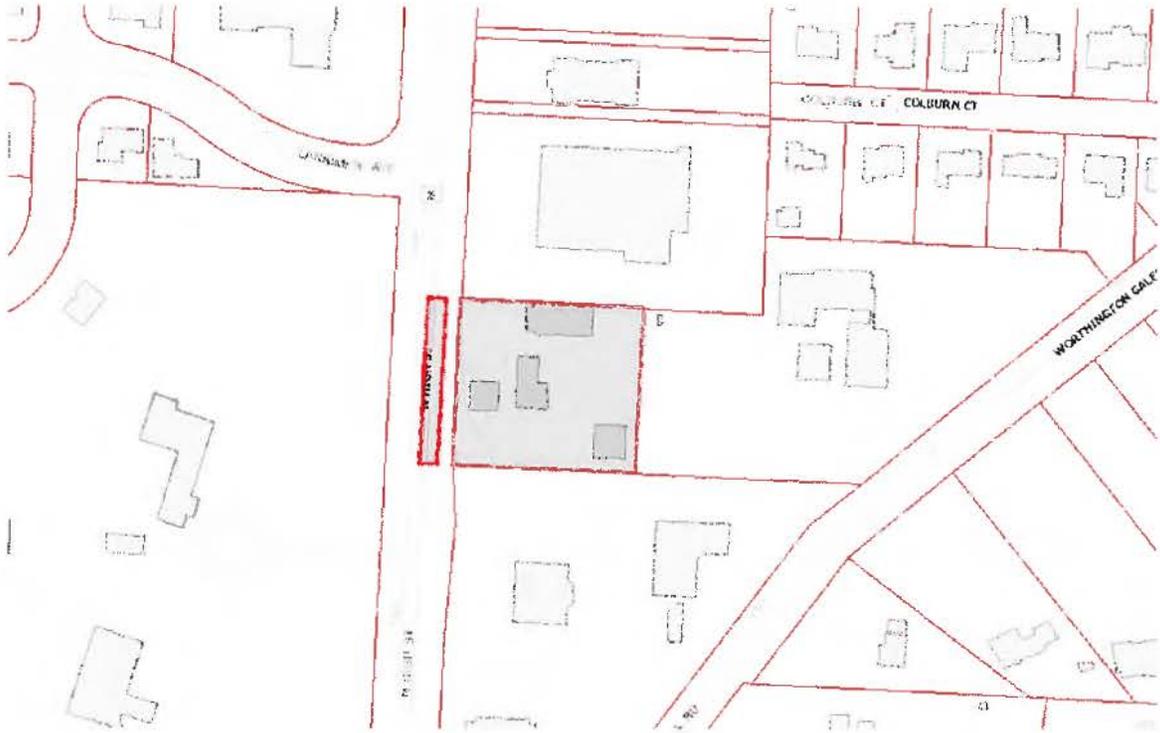
1033 High St.

Worthington, OH 43085

Powell, OH 43065

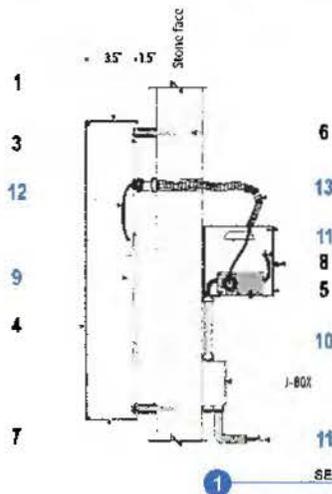
Worthington, OH 43085

# 6600 N. High St.



# Yard Sign

Brick and masonry to match building. Lettering is constructed of dark green painted aluminum reverse channel (halo lit) letters. 3.5" deep and illuminated with white LEDs. Stud mounted for 1.5" stand-off from cast concrete face.



**UL LISTED**

**Fabrication & Color Specifications for Letters**

| ITEM | DESCRIPTION                             | SIZE  | EXTERIOR COLOR | INTERIOR COLOR |
|------|---|-------|----------------|----------------|
| 1    | 3.5" DEEP ALUM RETURNS (Letters & Logo) | 3/8"  | PAINTED BLACK  | WHITE          |
| 2    |   |       |                | NA             |
| 3    | CLEAR LEXAN BACKS                       | 3/16" | NA             | NA             |
| 4    | 90° ALUMINUM FACE                       | 3/16" | WHITE          |                |

**Other Specifications**

| ITEM | DESCRIPTION                  | SIZE | COLOR | MODEL | OTHER INFO             |
|------|------------------------------|------|-------|-------|------------------------|
| 5    | BALANCED TRANSFORMER BOX     | N/A  | N/A   | N/A   | WEATHERPROOF ENCLOSURE |
| 6    | 3/16" ID TIGGLE 8 PER SQUARE | 3/8" | NA    | NA    |                        |
| 7    | WEEP HOLE                    | 1/8" | NA    | NA    | MIN 2 PER LETTER       |
| 8    | DISCONNECT SWITCH            |      |       |       |                        |

**Electrical Specifications\*\***

| ITEM | DESCRIPTION                       | SIZE | QUAN. | COLOR | AMPS TOTAL | CIRCUITS     | VOLTS |
|------|-----------------------------------|------|-------|-------|------------|--------------|-------|
| 8    | LED                               | **   | **    | WHITE | NA         | NA           | N/A   |
| 10   | POWER SUPPLY                      | **   | **    | N/A   | **         | 15AMP/20 AMP | (2)   |
| 11   | PRIMARY BLEN AT J-BOX (BY OTHERS) | STD  | 1/2"  | N/A   | N/A        | N/A          | N/A   |
| 13   | 6A CABLE                          | 1/2" | NA    | NA    | NA         | NA           | NA    |
| 13   | 7.5EABLE CONDUIT                  | STD  | N/A   | N/A   | N/A        | NA           | NA    |

\*\*Production to provide this information

SECTION VIEW - EXTERIOR CHANNEL LETTER - HALO LIT  
SCALE: NTS

**FAST SIGNS**  
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ACCOUNT: \_\_\_\_\_

FILE: \_\_\_\_\_

REPRESENTATIVE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

ORIGINAL DRAWING DATE: \_\_\_\_\_

DRAWING NUMBER: 1 of 1      SCALE: NTS

REV. #1 BY: \_\_\_\_\_      REV. DATE: \_\_\_\_\_

REVISION NOTES: \_\_\_\_\_

REV. #2 BY: \_\_\_\_\_      REV. DATE: \_\_\_\_\_

REVISION NOTES: \_\_\_\_\_

REV. #3 BY: \_\_\_\_\_      REV. DATE: \_\_\_\_\_

REVISION NOTES: \_\_\_\_\_

NOTES: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_

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CITY OF WORTHINGTON  
AR 45-16  
DRAWING NO.  
DATE 3-10-16

**LANDLORD OR AGENT SIGNATURE HERE**

Please sign & return drawing/s to FASTSIGNS  
Signature below indicates approval of BOTH design & placement of sign/s

**X** \_\_\_\_\_ DATE \_\_\_\_\_

\*DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE\*

FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.  
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.

# Cast Stone Wall Sign

**FASTSIGNS**  
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ACCOUNT:

FILE:

REPRESENTATIVE:

ADDRESS:

ORIGINAL DRAWING DATE:

DRAWING NUMBER: 1 of SCALE: NTS

REV. #1 BY: REV. DATE

REVISION NOTES:

REV. #2 BY: REV. DATE

REVISION NOTES:

REV. #3 BY: REV. DATE

REVISION NOTES:

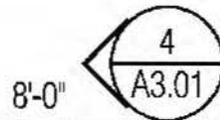
NOTES:

DRAWN BY:

REVIEWED BY:

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BANK LOGO CAST INTO STONE -  
1/2" PROJECTION



8'-0"

BRICK SOLDIER  
COURSE - 3/4"  
PROJECTION

3'-8"

CAST STONE

CITY OF WORTHINGTON  
AR 45-16  
DRAWING NO.

DATE 3-10-16

LANDLORD  
OR AGENT  
SIGNATURE  
HERE

X

Please sign & return drawing/s to **FASTSIGNS**  
Signature below indicates approval of BOTH design & placement of sign/s

DATE

\*DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE\*

FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.  
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.



# Canopy Sign



Non-illuminated welded aluminum face and return for both channel letters and logo. 5" deep. Painted dark green.

**FASTSIGNS**  
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ACCOUNT:

FILE:

REPRESENTATIVE:

ADDRESS:

ORIGINAL DRAWING DATE:

DRAWING NUMBER:  
1 of

SCALE:  
NTG

REV. #1 BY:

REV. DATE

REVISION NOTES:

REV. #2 BY:

REV. DATE

REVISION NOTES:

REV. #3 BY:

REV. DATE

REVISION NOTES:

NOTES:

DRAWN BY:

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CITY OF WORTHINGTON  
*AR 45-16*  
DRAWING NO.

DATE 3-10-16

LANDLORD  
OR AGENT  
SIGNATURE  
HERE

Please sign & return drawing/s to **FASTSIGNS**  
Signature below indicates approval of BOTH design & placement of sign/s

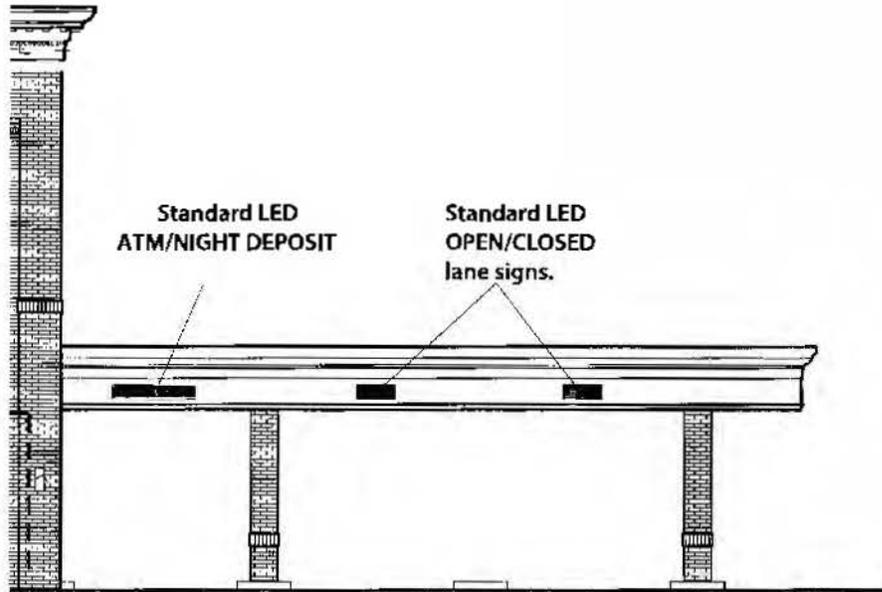
X

DATE \_\_\_\_\_

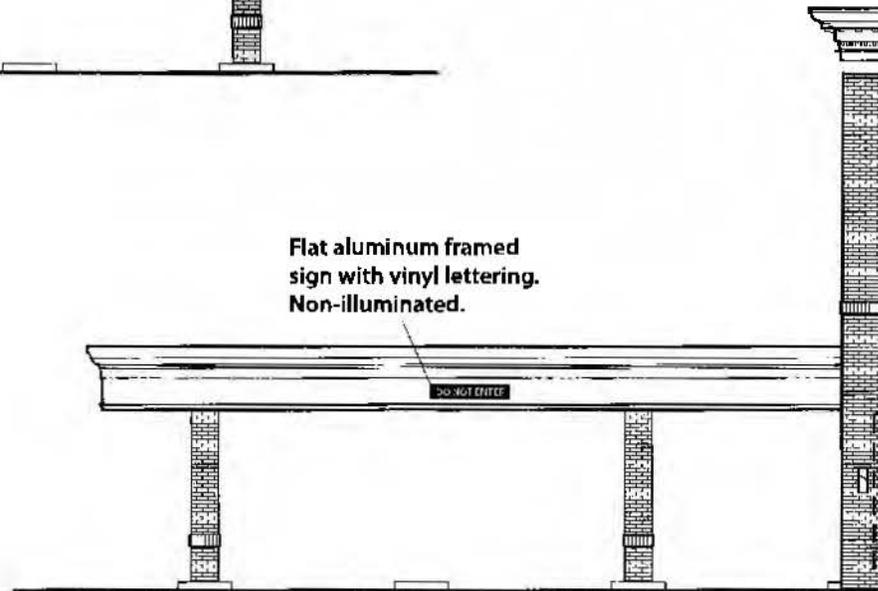
\*DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE\*

FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.  
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.

# Drive-Thru Signs



CITY OF WORTHINGTON  
 AR 45-16  
 DRAWING NO.  
 DATE 3-10-16



**FASTSIGNS**  
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ACCOUNT:

FILE:

REPRESENTATIVE:

ADDRESS:

ORIGINAL DRAWING DATE:

|                         |               |
|-------------------------|---------------|
| DRAWING NUMBER:<br>1 of | SCALE:<br>N=5 |
| REV. #1 BY:             | REV. DATE     |

REVISION NOTES:

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| REV. #2 BY: | REV. DATE |
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REVISION NOTES:

|             |           |
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| REV. #3 BY: | REV. DATE |
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REVISION NOTES:

NOTES:

DRAWN BY:

REVISED BY:

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LANDLORD OR AGENT SIGNATURE HERE **X**

Please sign & return drawing/s to **FASTSIGNS**  
 Signature below indicates approval of BOTH design & placement of sign/s

DATE \_\_\_\_\_

\*DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE\*

FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.  
 INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.

# Drive-Thru Sign Specs



ACCOUNT:

FILE:  
\*\*\*\*\*

REPRESENTATIVE:

ADDRESS:

ORIGINAL DRAWING DATE:

DRAWING NUMBER: 1 of SCALE: NTS

REV. #1 BY: REV. DATE

REVISION NOTES:

REV. #2 BY: REV. DATE

REVISION NOTES:

REV. #3 BY: REV. DATE

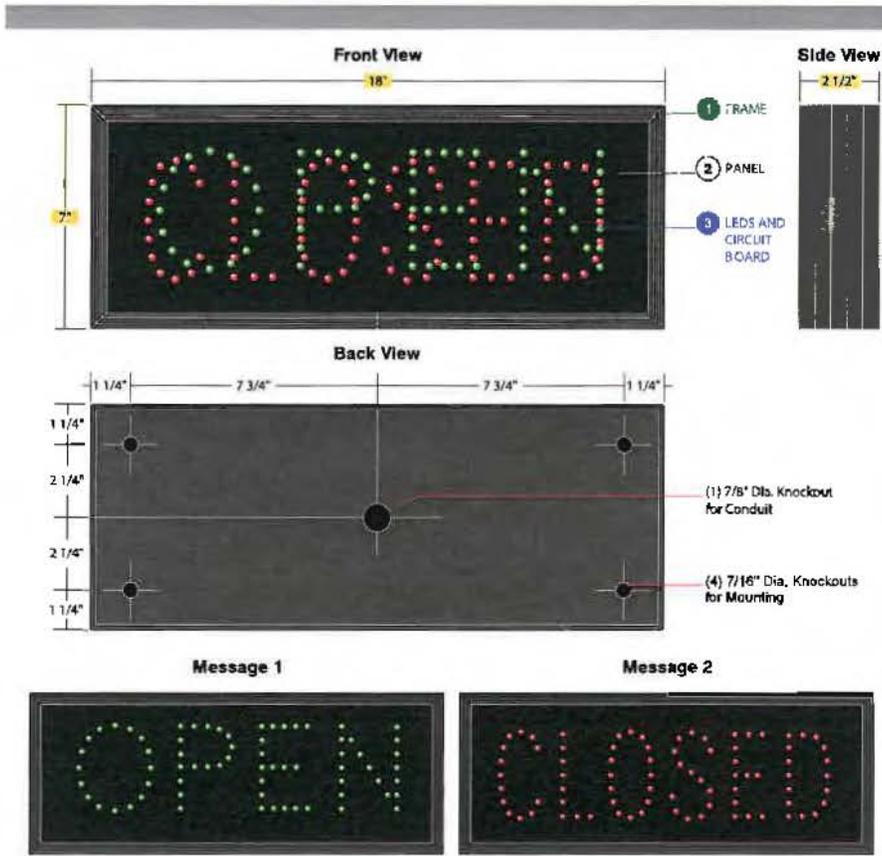
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REVISED BY:

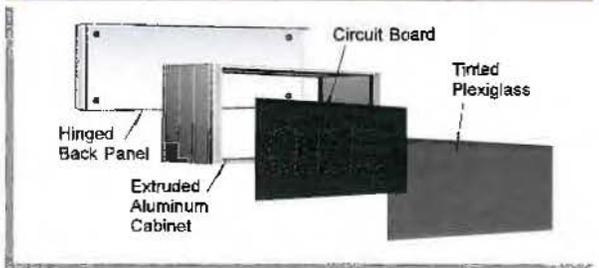
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| PARTS LIST |     |                              |                                  |  |
|------------|-----|------------------------------|----------------------------------|--|
| PART ID.   | QTY | SIZE                         | MATERIAL                         | COLOR/FINISH                               |
| 1          | 2   | 1'-5"                        | 2 1/2" Extruded Aluminum         | Duranodic Bronze Satin Finish              |
| 1          | 2   | 7"                           | 2 1/2" Extruded Aluminum         | Duranodic Bronze Satin Finish              |
| 2          | 1   | 6 7/8" x 1'-5 7/8"           | 125" Impact Resistant Plexiglass | Smoked Blank-Out                           |
| 2          | 1   | 6 7/8" x 1'-5 7/8"           | .048" Aluminum                   | Duranodic Bronze Satin Finish              |
| 3          | 1   | 6 5/8" x 1'-5 5/8"           | Copper Circuitry                 | None                                       |
| 3          | 2   | Approx. 3 1/2" Letter Height | OPEN CL OSED                     | Green - Super Bright<br>Red - Super Bright |

Highlighted Areas Denote Overall Cabinet Size(s)

### TCL718GR-100 DETAIL

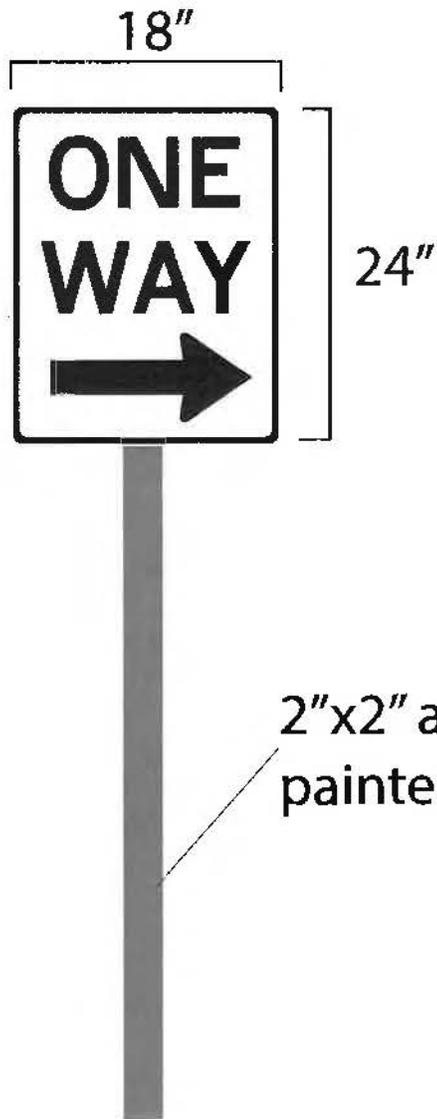


CITY OF WORTHINGTON  
AR 45-16  
DRAWING NO.  
DATE 3-10-16

**-LANDLORD OR AGENT SIGNATURE HERE** **X**  
Please sign & return drawing/s to FASTSIGNS  
Signature below indicates approval of BOTH design & placement of sign/s  
DATE \_\_\_\_\_

\*DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE\*  
FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.  
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.

# One Way Sign



Aluminum sign with engineer grade reflective face.

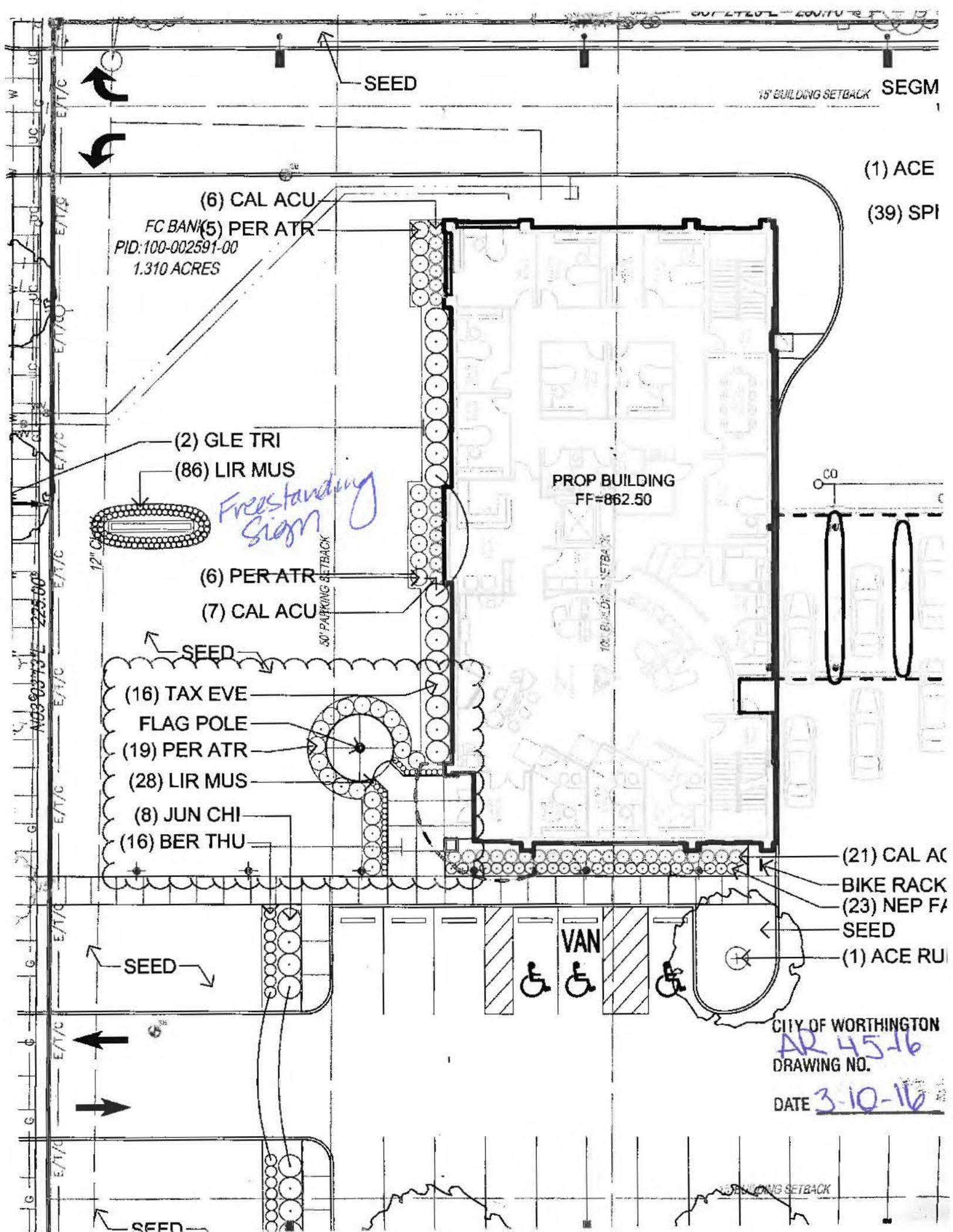
|  |               |
|--|---------------|
| <b>FASTSIGNS</b><br>More than fast. More than signs.™  |               |
| ACCOUNT:   |               |
| FILE:  |               |
| REPRESENTATIVE:  |               |
| ADDRESS:   |               |
| ORIGINAL DRAWING DATE:   |               |
| DRAWING NUMBER:<br>1 of  | SCALE:<br>NTS |
| REV. #1 BY:  | REV. DATE     |
| REVISION NOTES:  |               |
| REV. #2 BY:  | REV. DATE     |
| REVISION NOTES:  |               |
| REV. #3 BY:  | REV. DATE     |
| REVISION NOTES:  |               |
| NOTES:   |               |
| DRAWN BY:  |               |
| REVISED BY:  |               |
| THIS DRAWING IS THE PROPERTY OF FASTSIGNS INTERNATIONAL, INC. THE BORROWER AGREES, IT SHALL NOT BE REPRODUCED, COPIED OR DISPOSED OF, DIRECTLY OR INDIRECTLY, NOR USED FOR ANY PURPOSE WITHOUT PERMISSION. |               |

CITY OF WORTHINGTON  
AR 45-16  
DRAWING NO.  
DATE 3-10-16

|   |   |
|---|---|
|   | Please sign & return drawing/s to <b>FASTSIGNS</b>                      |
|   | Signature below indicates approval of BOTH design & placement of sign/s |
| X | DATE _____  |

\*DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE\*

FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.  
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.



SEED

18' BUILDING SETBACK SEGMENT

(1) ACE  
(39) SPI

(6) CAL ACU  
FC BANK (5) PER ATR  
PID:100-002591-00  
1.310 ACRES

(2) GLE TRI  
(86) LIR MUS

*Freestanding Sign*

PROP BUILDING  
FF=862.50

(6) PER ATR  
(7) CAL ACU

30' PARKING SETBACK

SEED

(16) TAX EVE  
FLAG POLE  
(19) PER ATR  
(28) LIR MUS  
(8) JUN CHI  
(16) BER THU

(21) CAL AC  
BIKE RACK  
(23) NEP F  
SEED  
(1) ACE RU

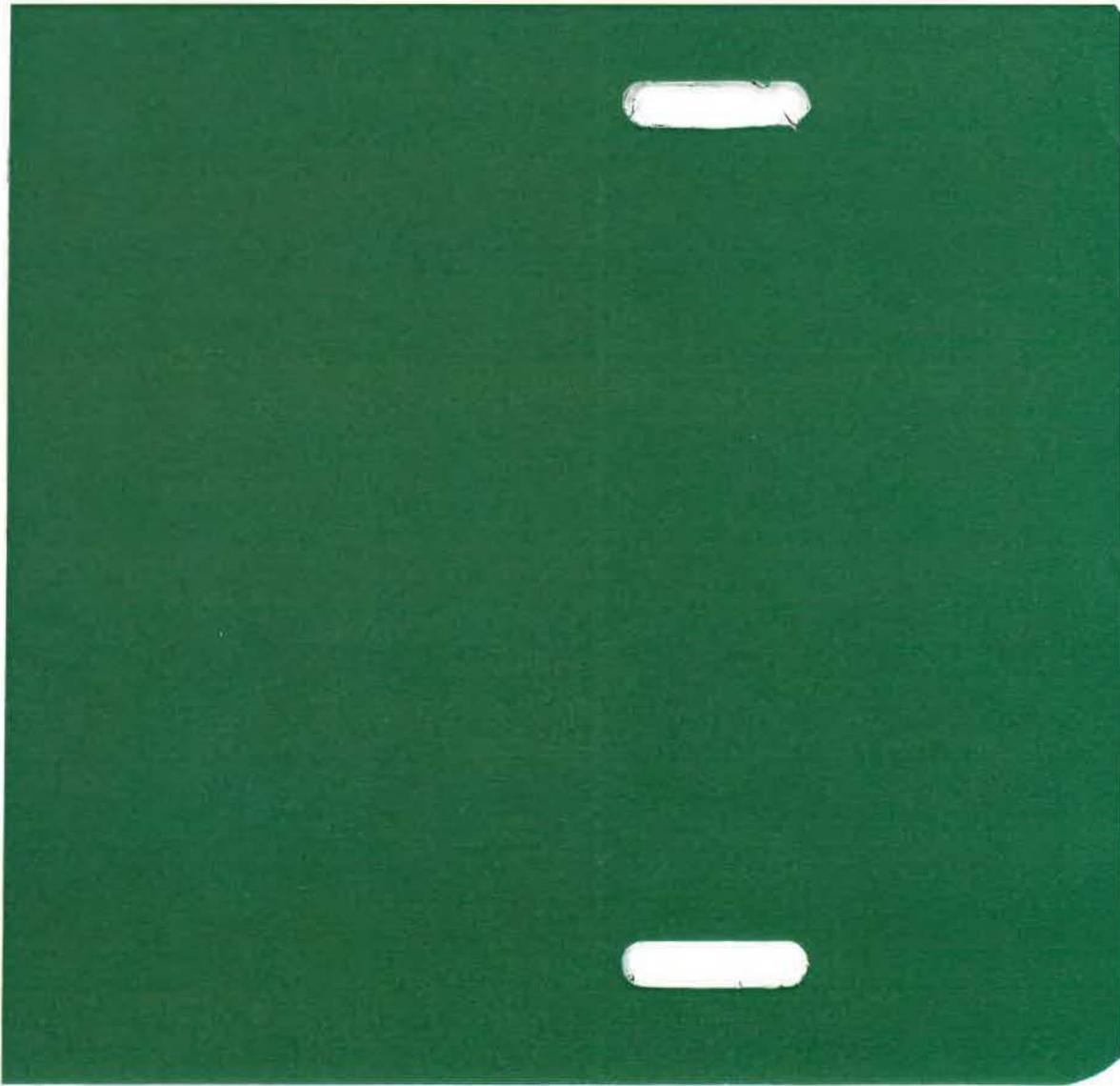
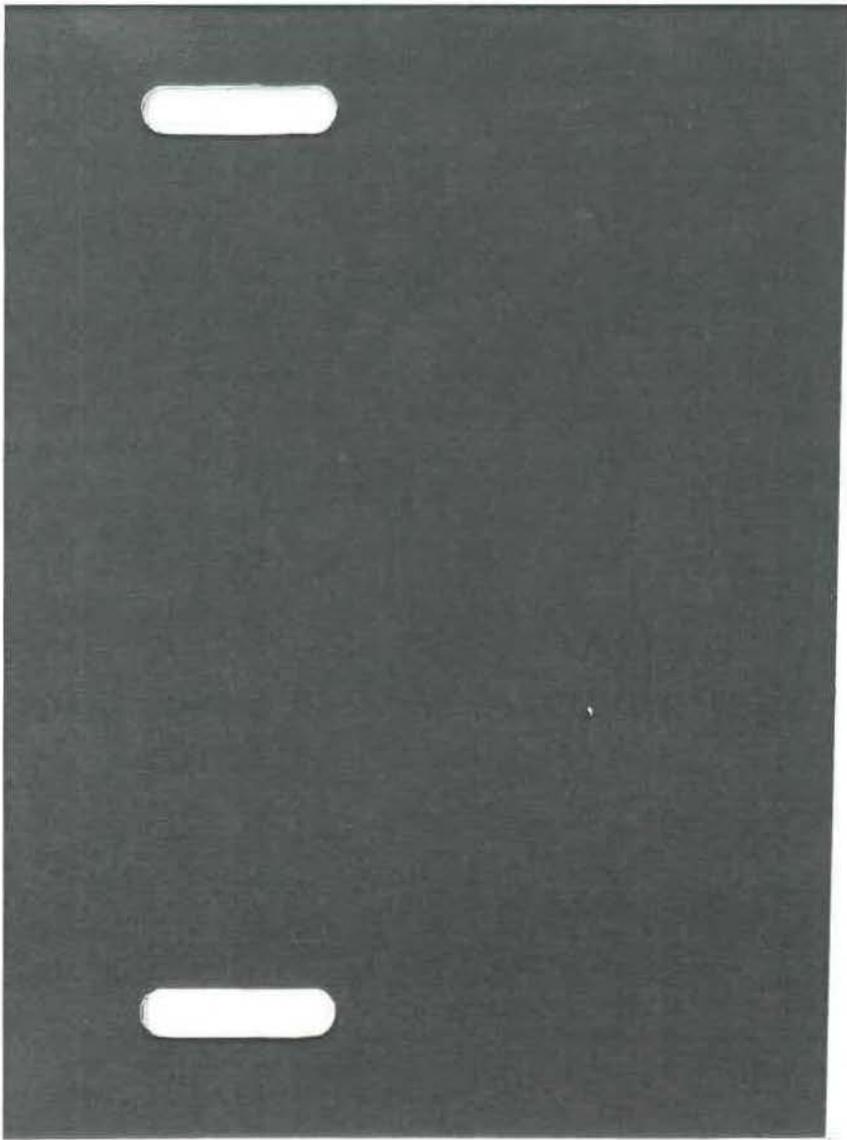
SEED

VAN

CITY OF WORTHINGTON  
*AR 45-16*  
DRAWING NO.

DATE *3-10-16*

10' BUILDING SETBACK



CITY OF WORTHINGTON  
DRAWING NO. AR 45-16  
DATE 3-10-16



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
Certificate of Appropriateness  
Application

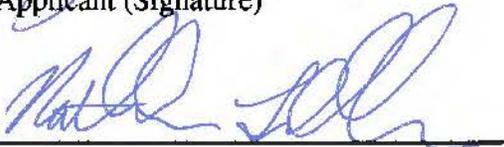
|                 |          |
|-----------------|----------|
| Case #          | AR 54-16 |
| Date Received   | 4/1/16   |
| Fee             | \$39,000 |
| Meeting Date    | 4/14/16  |
| Filing Deadline |          |
| Receipt #       | 61814    |

1. Property Location 653 Oxford Street
2. Present/Proposed Use Single Family Dwelling
3. Zoning District \_\_\_\_\_
4. Applicant RAS Construction, Inc  
Address 351 W. South Street  
Phone Number(s) 614.679.3863
5. Property Owner Nathan & Emma Lindholm  
Address 653 Oxford Street  
Phone Number(s) 614.679.3863
6. Project Description New Front Porch and Brick  
reinsulating Satellite Dish
7. Project Details:
  - a) Design \_\_\_\_\_
  - b) Color white/red
  - c) Size 100"
  - d) Approximate Cost 39,000<sup>00</sup> Expected Completion Date 8/16

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**  
The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

  
\_\_\_\_\_  
Applicant (Signature)

4/1/16  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Property Owner (Signature)

4/1/16  
\_\_\_\_\_  
Date

*talked 4/14/16*

Abutting Property Owners List for  
653 Oxford St.

|                                |                         |                       |
|--------------------------------|-------------------------|-----------------------|
| Patrick & Nicole Porter        | 659 Oxford St.          | Worthington, OH 43085 |
| Worthington Historical Society | 50 W. New England Ave,  | Worthington, OH 43085 |
| Adam & Mary Moore              | 59 W. New England Ave.  | Worthington, OH 43085 |
| William Fallon                 | PO Box 465              | Worthington, OH 43085 |
| Resident                       | 633 Oxford St.          | Worthington, OH 43085 |
| Bryan Fouss                    | 99 W. New England Ave.  | Worthington, OH 43085 |
| John Marsh & Jodi Utterback    | 115 W. New England Ave. | Worthington, OH 43085 |
| Nancy Ratey                    | 100 W. New England Ave. | Worthington, OH 43085 |



# R.A.S. Construction

**Supporting Statement  
for  
653 Oxford Street  
by  
RAS Construction, Inc.  
351 W. South St., Worthington, OH 43085  
614-679-3863**

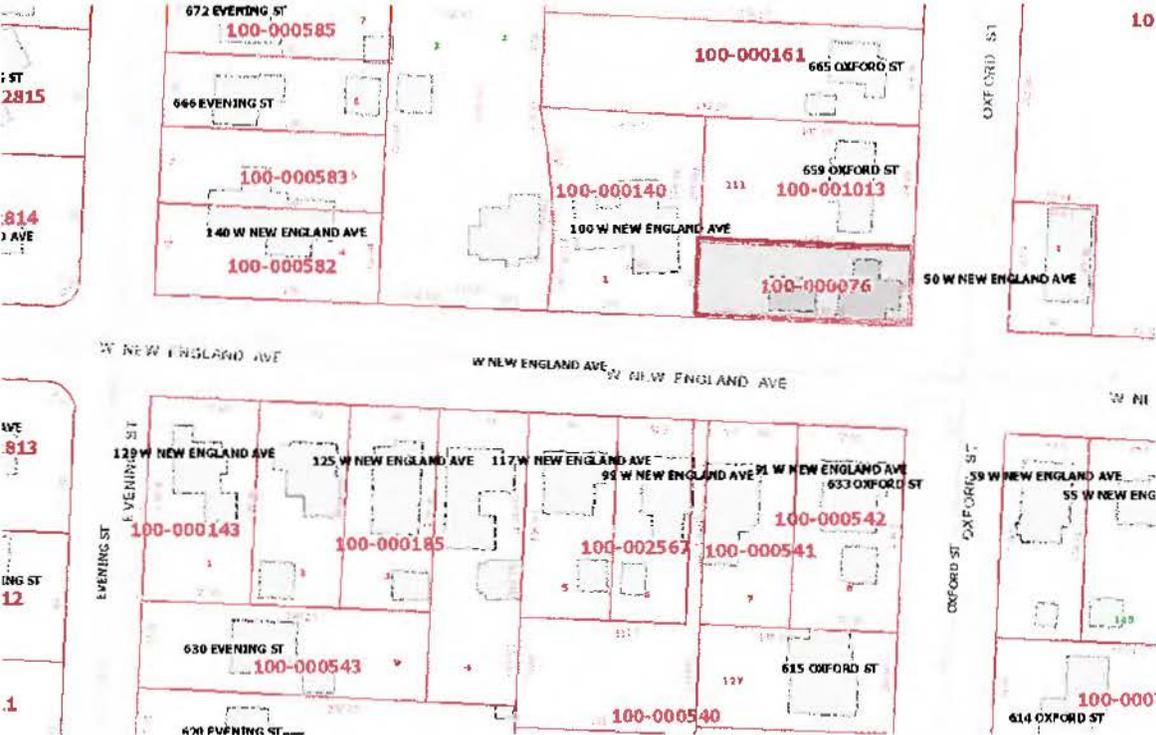
5/3/16

**To Whom it May Concern,**

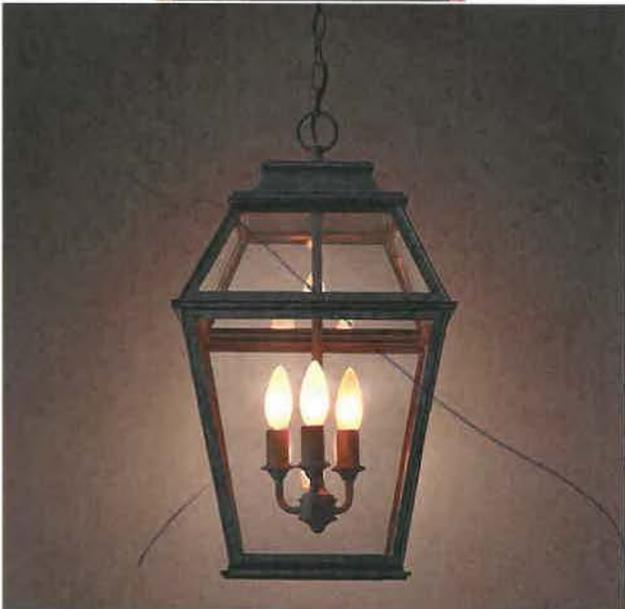
**We are proposing to add a front porch and install (1) course of row lock brick to match the concrete porch height which is the bottom of the existing door threshold. The porch is being added to create both visual interest and protection from the elements. The row lock brick is needed to help create a barrier from the grade which has rotted out the existing floor system in the front foyer area of the home. The grade cannot be altered as the front wall of the home is below the city sidewalk. We propose to paint the row lock brick white to match the white brick chimney which should allow for good cohesiveness with this new design element.**

Respectfully Submitted,  
Sean Kocheran

# 653 Oxford St.



100-000076 04/10/2014



Designs for front door and porch light.

Door will be painted white to match shutters, trim, side door and proposed brick wall.

← Preferred Design

CITY OF WORTHINGTON  
DRAWING NO. AR 54-116

DATE 4-1-16

City of Worthington  
374 Highland Ave.  
Worthington, Ohio 43085

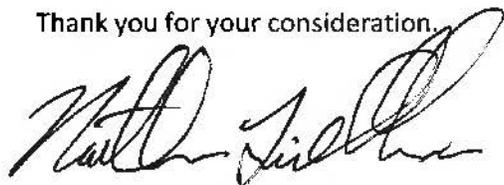
March 31, 2016

Dear Worthington Architectural Review Board,

Homeowner's Nathan A. Lindholm and Emma L. Lindholm are requesting approval of the existing DirectTV satellite dish located on the home at 653 Oxford Street. The dish is only visible when approaching the residence from the west on New England.

The dish was installed in the past prior to our purchase of the home in March 2015. We don't currently use the dish, however we are seeking approval of the dish as I am concerned the removal of the dish may affect the integrity of roof on our house.

Thank you for your consideration.



CITY OF WORTHINGTON  
AR 54-16  
DRAWING NO.  
DATE 4-1-16



02 02 2016 15:18

CITY OF WORTHINGTON  
AR 54-16  
DRAWING NO.  
DATE 4-1-16



EAST ELEVATION

EAST ELEVATION

LINDHOLM RESIDENCE

673 OXFORD ST.

WORTHINGTON OH

43087

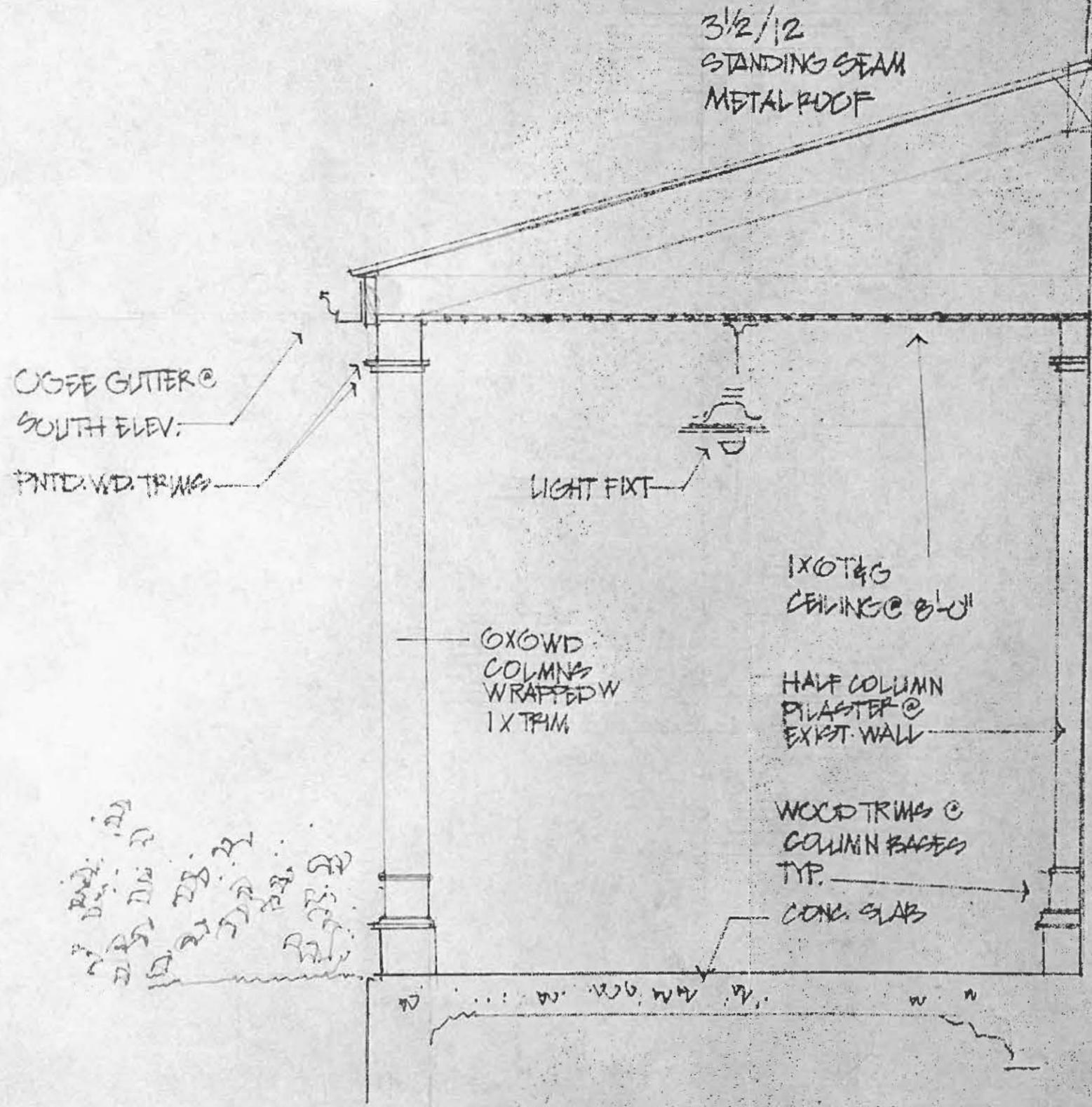
CITY OF WORTHINGTON  
AR 54-16  
DRAWING NO.  
DATE 4-1-16



SOUTH ELEVATION

SOUTH ELEVATION

LINDHOLM RESIDENCE  
653 OXFORD ST.  
WORTHINGTON, OH  
43085



SCHEMATIC PORCH SECTION  
3/4" = 1'-0"

LINDHOLM RESIDENCE  
673 OXFORD ST.  
WORTHINGTON OHIO  
43085



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

|                 |          |
|-----------------|----------|
| Case #          | AR 63-16 |
| Date Received   | 4-22-16  |
| Fee             | \$25     |
| Meeting Date    | 5-12-16  |
| Filing Deadline |          |
| Receipt #       | 61933    |

1. Property Location 821 Oxford Worthington OH 43085
2. Present/Proposed Use Home - Single Family
3. Zoning District \_\_\_\_\_
4. Applicant Renewal by Anderson  
 Address 5850 Summit Rd. Dublin, OH 43017  
 Phone Number(s) 614 602-8100
5. Property Owner Earl & Linda Riley  
 Address 821 Oxford  
 Phone Number(s) 614-888-1861
6. Project Description Replacing existing wood windows (double hung) with RBA composite double hung windows to match existing profile w/ simulated Full divided lites to match existing grill
7. Project Details: Pattern,
  - a) Design double hung
  - b) Color white
  - c) Size Existing openings - NO Alterations
  - d) Approximate Cost \$24,956.00 Expected Completion Date June 2016

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
 Applicant (Signature)

4/21/16  
 Date

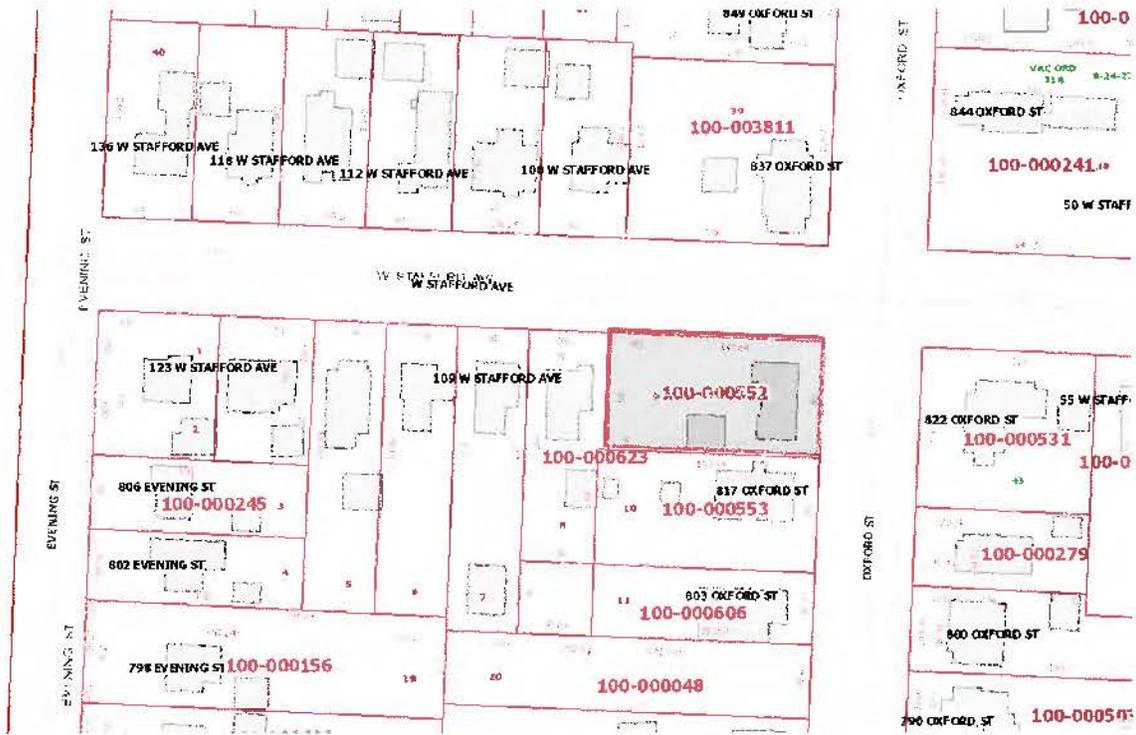
[Signature]  
 Property Owner (Signature)

4/21/16  
 Date

Abutting Property Owners List for  
821 Oxford St.

|                                    |                |                      |                       |
|------------------------------------|----------------|----------------------|-----------------------|
| Sue Kneubel                        |                | 108 W. Stafford Ave. | Worthington, OH 43085 |
| Jeffrey & Cherie Nelson            |                | 837 Oxford St.       | Worthington, OH 43085 |
| Christopher & Jason Bradley-Krauss |                | 844 Oxford St.       | Worthington, OH 43085 |
| Jennifer Tyler Barren              |                | 822 Oxford St.       | Worthington, OH 43085 |
| Christopher Otter                  | Kristina Sessa | 817 Oxford St.       | Worthington, OH 43085 |
| Michael Narazaki                   | Miki Ushiba    | 107 W. Stafford Ave. | Worthington, OH 43085 |

# 821 Oxford St.



100-000552 04/10/2014



CITY OF WORTHINGTON  
AR 63-16  
DRAWING NO.  
DATE 4-22-16



CITY OF WORTHINGTON  
AR 63-16  
DRAWING NO.  
DATE 4-22-16

**DOUBLE-HUNG WINDOW**

## ADVANTAGES AND APPLICATIONS

A double-hung window consists of two vertically sliding sash in a single frame. Both sash are counterbalanced by a spring-powered block-and-tackle balance mounted on the side of each sash. Tilt latches for each sash allow inward tilting for easy cleaning. Upper and lower sash are securely closed by use of a cam-type sash lock. An insect screen is installed into the outside track.

**ADVANTAGES**

- Both sash can be operated for ventilation at top and bottom of window.
- Both sash can be tilted inward for easy cleaning.
- Patented Fibrex® material is stronger than vinyl, providing greater durability.
- Fibrex material with low-maintenance capstock gives a rich, low-luster finish to sash and frame, similar to painted wood.
- Smooth radius surfaces on the frame and sash are pleasing to the eye and easier to clean.
- Mortise-and-tenon appearance on the interior and exterior sash corners gives a traditional, hand-crafted look.
- Full-perimeter weatherstrip provides superior weathertightness while still allowing easy sash operation.
- Sash are counterbalanced by a spring-powered block-and-tackle balance mounted on the side and matched to the weight of each individual sash.

**APPLICATIONS**

- Excellent choice for homes and condominiums where traditional styling is important; appropriate for many restoration projects.
- Suitable in areas facing walkways, decks and other traffic areas because sash do not project outward.
- Convenient in areas where the sash need to be cleaned from the interior.
- Visually compatible with other Renewal by Andersen® products.

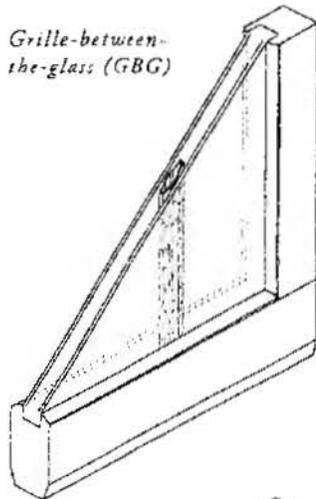
*Double-Hung  
Replacement Windows*

OPTIONS, cont.

DOUBLE-HUNG WINDOW

Available Grille Types

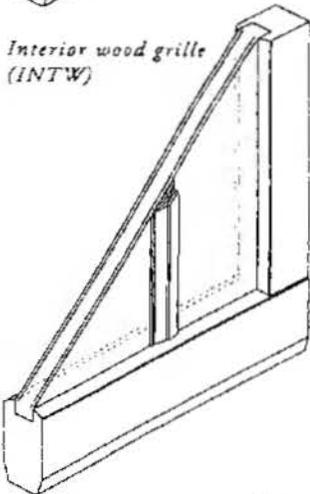
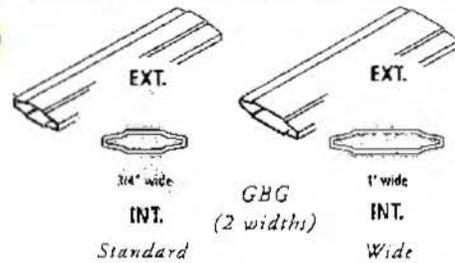
Three grille types are available. The interior and exterior sides of the grilles are color-coordinated with each side of the window frame. Consult the color combination charts in each window product section for detailed color information.



Grille-between-the-glass (GBG)

Grille-Between-the-Glass (GBG)

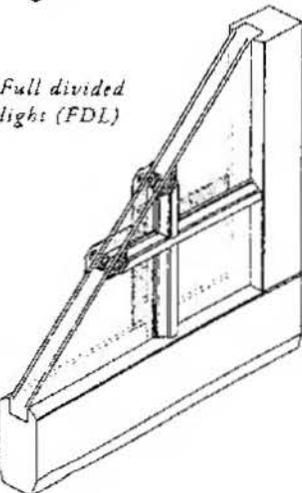
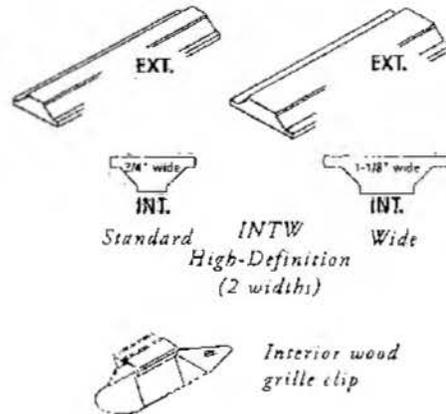
Sculpted aluminum grille members are manufactured between the glass panes, and are available in two widths. Enamel finish replicates interior and exterior face of window. If wood interior, interior facing surface will be gray.



Interior wood grille (INTW)

Interior Wood Grille (INTW)

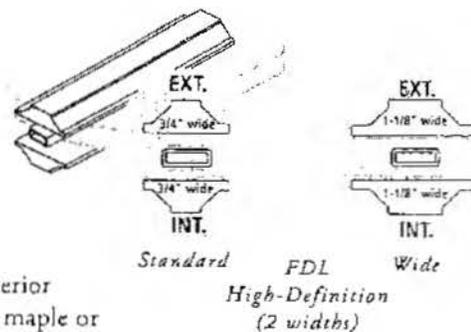
With the option of hardwood maple or oak, these grilles snap into clips placed around the interior side of the sash and may be removed to clean the glass. These high-definition interior wood grilles are available in two different widths.



Full divided light (FDL)

Full Divided Light (FDL) Grille

FDL grilles provide the classic look of a true divided light window. The high-definition exterior grille is made from Fibrex® material and is available in two different widths. Between the glass panes, an aluminum spacer stands slightly away from each pane to maintain thermal performance. The high-definition interior wood grille is available in hardwood, maple or oak and in two different widths, and may be permanently applied or removable.



101 Living 38 W  
 + 1/4 51 H + 1/2  
 38 1/4 52 3/4  
 o/s 39 3/4 140

**Window:** Double-Hung, 38w x 51h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White **Screen:** Fiberglass, Full Screen **Grille Style:** Grilles Between Glass (GBG) **Grille Pattern:** Sash 1. Colonial 4w x 2h, Sash 2: Colonial 4w x 2h **Misc:** Lead Paint, RBA Window Wraps: Up to 100ui

102 Living 30 W  
 50 H  
 29 1/4 52 3/4

**Window:** Double-Hung, 30w x 50h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White **Screen:** Fiberglass, Full Screen **Grille Style:** Grilles Between Glass (GBG) **Grille Pattern:** Sash 1. Colonial 3w x 2h, Sash 2: Colonial 3w x 2h **Misc:** Lead Paint, Insulate Weight Cavities, RBA Window Wraps: Up to 100ui

103 Living 30 W  
 53 H  
 29 1/4 52 3/4

**Window:** Double-Hung, 30w x 53h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White **Screen:** Fiberglass, Full Screen **Grille Style:** Grilles Between Glass (GBG) **Grille Pattern:** Sash 1. Colonial 3w x 2h, Sash 2: Colonial 3w x 2h **Misc:** Lead Paint, RBA Window Wraps: Up to 100ui

104 Dining 38 W  
 52 H  
 38 1/4 52 3/4

**Window:** Double-Hung, 38w x 52h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White **Screen:** Fiberglass, Full Screen **Grille Style:** Grilles Between Glass (GBG) **Grille Pattern:** Sash 1. Colonial 4w x 2h, Sash 2: Colonial 4w x 2h **Misc:** Lead Paint, Insulate Weight Cavities, RBA Window Wraps: Up to 100ui

105 Dining 38 W  
 52 H  
 38 1/4 52 3/4

**Window:** Double-Hung, 38w x 52h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White **Screen:** Fiberglass, Full Screen **Grille Style:** Grilles Between Glass (GBG) **Grille Pattern:** Sash 1. Colonial 4w x 2h, Sash 2: Colonial 4w x 2h **Misc:** Lead Paint, RBA Window Wraps: Up to 100ui

CITY OF WORTHINGTON  
 AR 63-16  
 DRAWING NO.  
 DATE 4-22-16

- |   |   |  |
|---|---|--|
| <p>111 Master closet</p> <p>29 W<br/>52 H</p> <p>29 1/4    52 3/4</p> |    | <p><b>Window:</b> Double-Hung , 29w x 52h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White <b>Glass:</b> All Sash: High Performance SmartSun Glass , No Pattern</p> <p><b>Hardware:</b> White <b>Screen:</b> Fiberglass , Full Screen <b>Grille Style:</b> Grilles Between Glass (GBG) <b>Grille Pattern:</b> Sash 1: Colonial 3w x 2h, Sash 2: Colonial 3w x 2h <b>Misc:</b> Lead Paint , RBA Window Wraps: Up to 100ui</p> |
| <p>212 Stairway</p> <p>27 W<br/>35 H</p> <p>26 1/4    34 3/4</p>      |    | <p><b>Window:</b> Casement - Single , Casement, 27w x 35h, Right, L Base Frame, Exterior White, Interior White <b>Glass:</b> All Sash: High Performance SmartSun Glass , No Pattern <b>Hardware:</b> White <b>Screen:</b> Fiberglass <b>Grille Style:</b> Grilles Between Glass (GBG) <b>Grille Pattern:</b> All Sash: Colonial 3w x 3h <b>Misc:</b> Lead Paint , RBA Window Wraps: Up to 100ui</p>  |
| <p>213 Bedroom</p> <p>27 W<br/>35 H</p> <p>26 1/4    34 3/4</p>       |    | <p><b>Window:</b> Casement - Single , Casement, 27w x 35h, Right, L Base Frame, Exterior White, Interior White <b>Glass:</b> All Sash: High Performance SmartSun Glass , No Pattern <b>Hardware:</b> White <b>Screen:</b> Fiberglass <b>Grille Style:</b> Grilles Between Glass (GBG) <b>Grille Pattern:</b> All Sash: Colonial 3w x 3h <b>Misc:</b> Lead Paint , RBA Window Wraps: Up to 100ui</p>  |
| <p>214 Bedroom</p> <p>27 W<br/>35 H</p> <p>26 1/4    34 3/4</p>       |   | <p><b>Window:</b> Casement - Single , Casement, 27w x 35h, Right, L Base Frame, Exterior White, Interior White <b>Glass:</b> All Sash: High Performance SmartSun Glass , No Pattern <b>Hardware:</b> White <b>Screen:</b> Fiberglass <b>Grille Style:</b> Grilles Between Glass (GBG) <b>Grille Pattern:</b> All Sash: Colonial 3w x 3h <b>Misc:</b> Lead Paint , RBA Window Wraps: Up to 100ui</p>  |
| <p>215 Bedroom</p> <p>27 W<br/>35 H</p> <p>26 1/4    34 3/4</p>       |  | <p><b>Window:</b> Casement - Single , Casement, 27w x 35h, Right, L Base Frame, Exterior White, Interior White <b>Glass:</b> All Sash: High Performance SmartSun Glass , No Pattern <b>Hardware:</b> White <b>Screen:</b> Fiberglass <b>Grille Style:</b> Grilles Between Glass (GBG) <b>Grille Pattern:</b> All Sash: Colonial 3w x 3h <b>Misc:</b> Lead Paint , RBA Window Wraps: Up to 100ui</p>  |
| <p>216 Bedroom</p> <p>26 W<br/>35 H</p> <p>26 1/4    34 3/4</p>       |  | <p><b>Window:</b> Casement - Single , Casement, 26w x 35h, Right, L Base Frame, Exterior White, Interior White <b>Glass:</b> All Sash: High Performance SmartSun Glass , No Pattern <b>Hardware:</b> White <b>Screen:</b> Fiberglass <b>Grille Style:</b> Grilles Between Glass (GBG) <b>Grille Pattern:</b> All Sash: Colonial 3w x 3h <b>Misc:</b> Lead Paint , RBA Window Wraps: Up to 100ui</p>  |

106 Breakfast area 29 W  
53 H

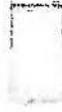
29 1/4 52 3/4



**Window:** Double-Hung , 29w x 53h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** All Sash: High Performance SmartSun Glass , No Pattern  
**Hardware:** White **Screen:** Fiberglass , Full Screen **Grille**  
**Style:** Grilles Between Glass (GBG) **Grille Pattern:** Sash 1: Colonial 3w x 2h , Sash 2: Colonial 3w x 2h **Misc:** Lead Paint , RBA Window Wraps: Up to 100ui

107 Breakfast area 29 W

29 1/4 52 3/4



**Window:** Double-Hung , 29w x 53h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** All Sash: High Performance SmartSun Glass , No Pattern  
**Hardware:** White **Screen:** Fiberglass , Full Screen **Grille**  
**Style:** Grilles Between Glass (GBG) **Grille Pattern:** Sash 1: Colonial 3w x 2h , Sash 2: Colonial 3w x 2h **Misc:** Lead Paint , RBA Window Wraps: Up to 100ui

108 Master bath 20 W  
44 H

18 1/4 x 44 1/2 + 3/4

0/3 19 3/4



**Window:** Double-Hung , 20w x 44h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** All Sash: High Performance SmartSun Glass , No Pattern  
**Hardware:** White **Screen:** Fiberglass , Full Screen **Grille**  
**Style:** Grilles Between Glass (GBG) **Grille Pattern:** Sash 1: Colonial 2w x 2h , Sash 2: Colonial 2w x 2h **Misc:** Lead Paint , RBA Window Wraps: Up to 100ui

109 Master bedroom 30 W  
53 H

29 1/4 x 52 3/4

0/5 30 3/4



**Window:** Double-Hung , 30w x 53h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** All Sash: High Performance SmartSun Glass , No Pattern  
**Hardware:** White **Screen:** Fiberglass , Full Screen **Grille**  
**Style:** Grilles Between Glass (GBG) **Grille Pattern:** Sash 1: Colonial 3w x 2h , Sash 2: Colonial 3w x 2h **Misc:** Lead Paint , RBA Window Wraps: Up to 100ui

110 Master bedroom 43 W  
53 H

42 1/4 52 3/4



**Window:** Double-Hung , 43w x 53h, Equal, Slope Sill Insert, Traditional Checkrail, Exterior White, Interior White **Glass:** All Sash: High Performance SmartSun Glass , No Pattern  
**Hardware:** White **Screen:** Fiberglass , Full Screen **Grille**  
**Style:** Grilles Between Glass (GBG) **Grille Pattern:** Sash 1: Colonial 4w x 2h , Sash 2: Colonial 4w x 2h **Misc:** Lead Paint , Insulate Weight Cavities, RBA Window Wraps: Up to 100ui

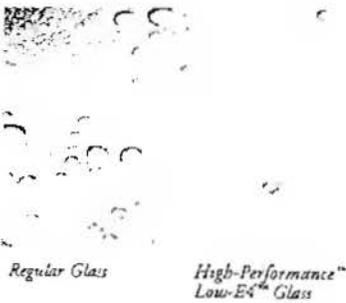
CITY OF WORTHINGTON  
AR 63-16  
DRAWING NO.  
DATE 4-22-16

**STANDARD FEATURES**

**DOUBLE-HUNG WINDOW**

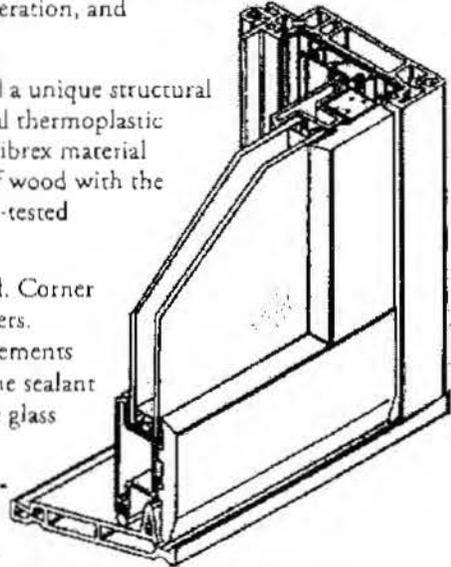


A sloped sill insert double-hung window corner section is shown here, though standard features are the same as for flat sill insert or full-frame double-hung windows.



Described below are features that contribute to the double-hung window's low maintenance, energy efficiency, ease of operation, and pleasing appearance.

- **Frame** – Made of rigid Fibrex® material a unique structural composite of wood fibers and a special thermoplastic polymer. Developed by Andersen®, Fibrex material combines the strength and stability of wood with the low-maintenance features of our time-tested Perma-Shield® cladding.
- **Sash** – Constructed of Fibrex material. Corner keys provide durable, watertight corners. The mortise and tenon joinery complements the frame. A high-performance silicone sealant provides a watertight seal between the glass and sash.
- **Glazing** – High-Performance™ LoE<sup>4</sup>\* glass with an inert, energy-efficient gas, is standard for every window. See Options on page 3-6 for other glass choices.



\*LoE<sup>4</sup> is a registered trademark of Cardinal IG Company.

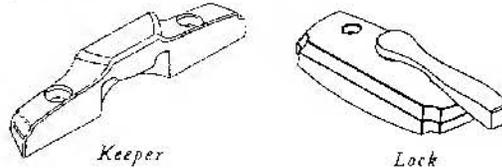
- **Glass spacer** – The patented low-conductivity spacer is made of stainless steel and resists heat transfer four to five times better than aluminum spacers used by many other manufacturers.
- **Low-maintenance exterior coating** – A highly durable microscopic coating of titanium dioxide (TiO<sub>2</sub>) is applied to the exterior glass surface during the glass manufacturing process. High-Performance Low-E<sup>4</sup>™ glass is self-activating by exposure to sunlight. When activated by sunlight, it loosens dirt, dust and organic material which are then washed away by rain. The glass dries faster and reduces water spotting by up to 99%. (See photo on this page.)

The unique exterior coating works similarly to a rechargeable battery. Once the coating is activated or "charged," it will hold its activation for some time. The more sunlight it receives, the better the activation. When re-exposed to sunlight, the coating will recharge after periods of lower sunlight levels.

**STANDARD FEATURES, cont.**

DOUBLE-HUNG WINDOW

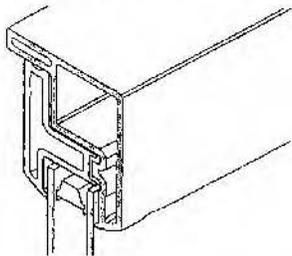
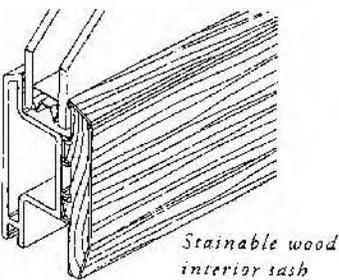
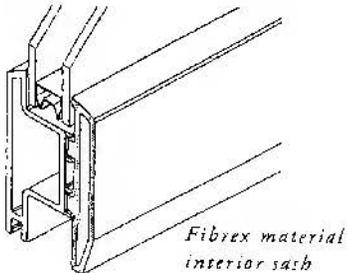
- **Removable protective film** – Packaging features a clear protective film that is factory applied to both the interior and exterior glass surfaces to help protect the glass from shipping and installation damage.
- **Weatherstrip** – A dual system of a foam filled bulb applied to the sash frame and a constant-force low-friction weatherstrip applied to the frame provide a tight seal.



- **Sash Lock and Keeper** – The zinc die cast dual cam-type sash lock, mounted at center of the meeting rail on the interior sash, engages easily into the keeper mounted on the center of the meeting rail on the exterior sash. The Double-hung Window Component Color Combination Chart on page 3-11 shows the hardware color for each window color combination.

**OPTIONS**

DOUBLE-HUNG WINDOW



*Traditional Fibrex Material  
Square Check Rail*

The following options are available for all Renewal by Andersen® double-hung windows:

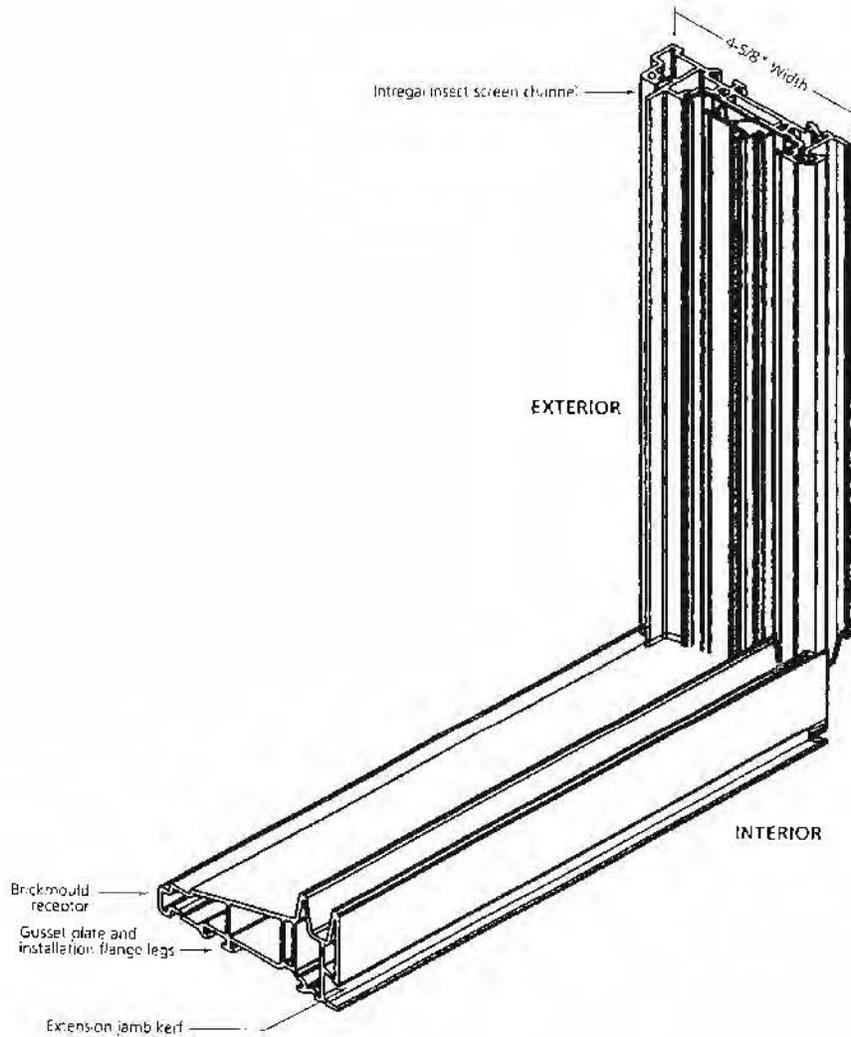
- **Dual-Colors and Stainable Wood Interior Veneers** – Dual-color windows are available that have different interior and exterior colors. Stainable wood interior veneers are also available in oak, maple, and engineered pine. The Double-Hung Window Component Color Combination Chart on page 3-11 shows available color combinations and the default color of individual components for these combinations. Alternative component (e.g., insect screens, grilles, hardware, side jambs) color combinations are available upon request.

Painting and staining guidelines for Fibrex® material and stainable wood interiors are available in this manual, the *Product Installation Manual* and in the *Care and Maintenance Guide*.

- **Traditional Square Check Rail** – Optional square-shaped check rail available in oak, maple, engineered pine veneer and Fibrex material interior finishes offers a classic flat surface appearance. These classic lines create the old world look, using the advanced technology of today. This option can be used with any other double-hung lock components or grille accessories.
- **Rounded Contemporary Check Rail** – Original rounded contemporary check rail is still available (as an option) in same color and wood species.
- **TruScene® Insect Screen** – Micro-fine stainless steel mesh (25 x 25 per inch mesh) that provides over 50% more clarity than standard Andersen insect screens.

**FULL-FRAME DOUBLE-HUNG WINDOW**

The full-frame double-hung window is a complete window that includes a full frame and sash. It works well in replacement situations where the old window frame is deteriorated beyond repair or when the existing window frame doesn't allow for a double-hung insert window to be installed, such as old wood casement or metal frames. Frame will also accommodate exterior and interior trim options. See page 3-10.



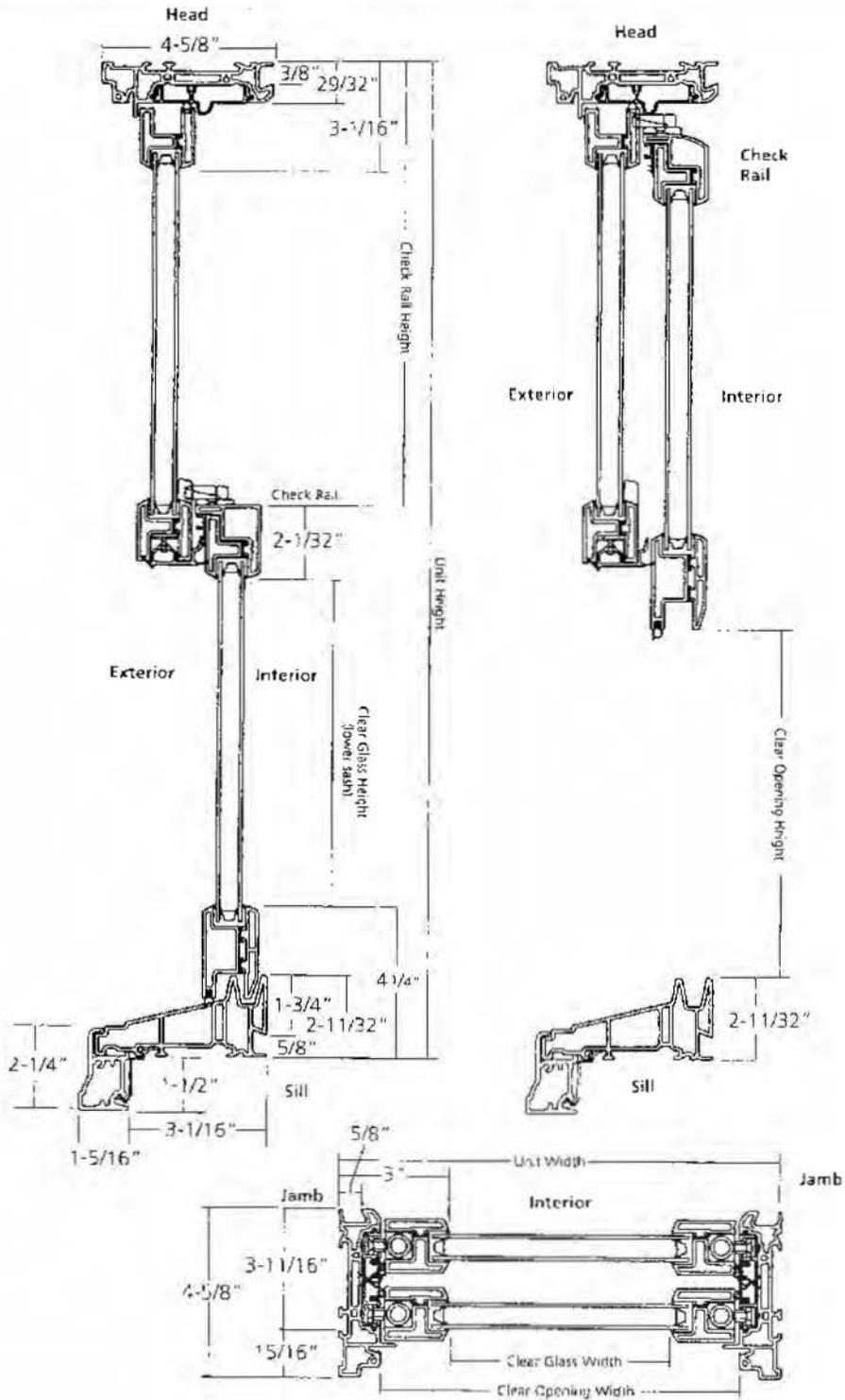
CLEAR OPENING AND CLEAR GLASS DIMENSIONS, cont.

DOUBLE-HUNG WINDOW

FULL FRAME



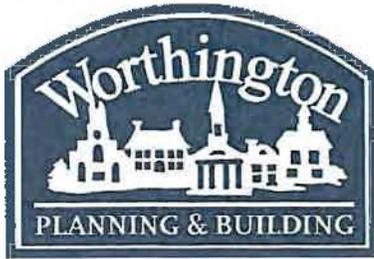
Brickmould and window profiles shown for measurement purposes.



CITY OF WORTHINGTON  
 AR 103-16  
 DRAWING NO.  
 DATE 4-22-10



CITY OF WORTHINGTON  
DRAWING NO. AR 163-16  
DATE 4-22-16



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

|                 |             |
|-----------------|-------------|
| Case #          | AR 64-16    |
| Date Received   | 4/25/16     |
| Fee             | \$10,000 pd |
| Meeting Date    | 5/12/16     |
| Filing Deadline |             |
| Receipt #       | 61944       |

1. Property Location 137 Dublin Granville rd, Worthington, OH 43085
2. Present/Proposed Use Sharon Turp Memorial Hall
3. Zoning District VM (Veterans Memorial)
4. Applicant DaNite Sign Company  
 Address 1640 Harmon ave, Columbus, OH 43223  
 Phone Number(s) 614-444-3333
5. Property Owner trustee of Sharon Turp Memorial of Worthington Ohio  
 Address Po Box 61, Worthington, OH 43085  
 Phone Number(s) 614-582-5087
6. Project Description Install a double sided non-illuminated permanent sign with brick base and columns per attached design.
7. Project Details:
  - a) Design Brick base, columns, topper to mimic building
  - b) Color white or vinyl graphics & red brick base
  - c) Size 7'2" overall Height, 7'4" overall width
  - d) Approximate Cost \$10,000      Expected Completion Date 6-8 week lead time

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**  
 The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
 Applicant (Signature)

4/21/16  
 Date

[Signature]  
 Property Owner (Signature)

4/21/16  
 Date

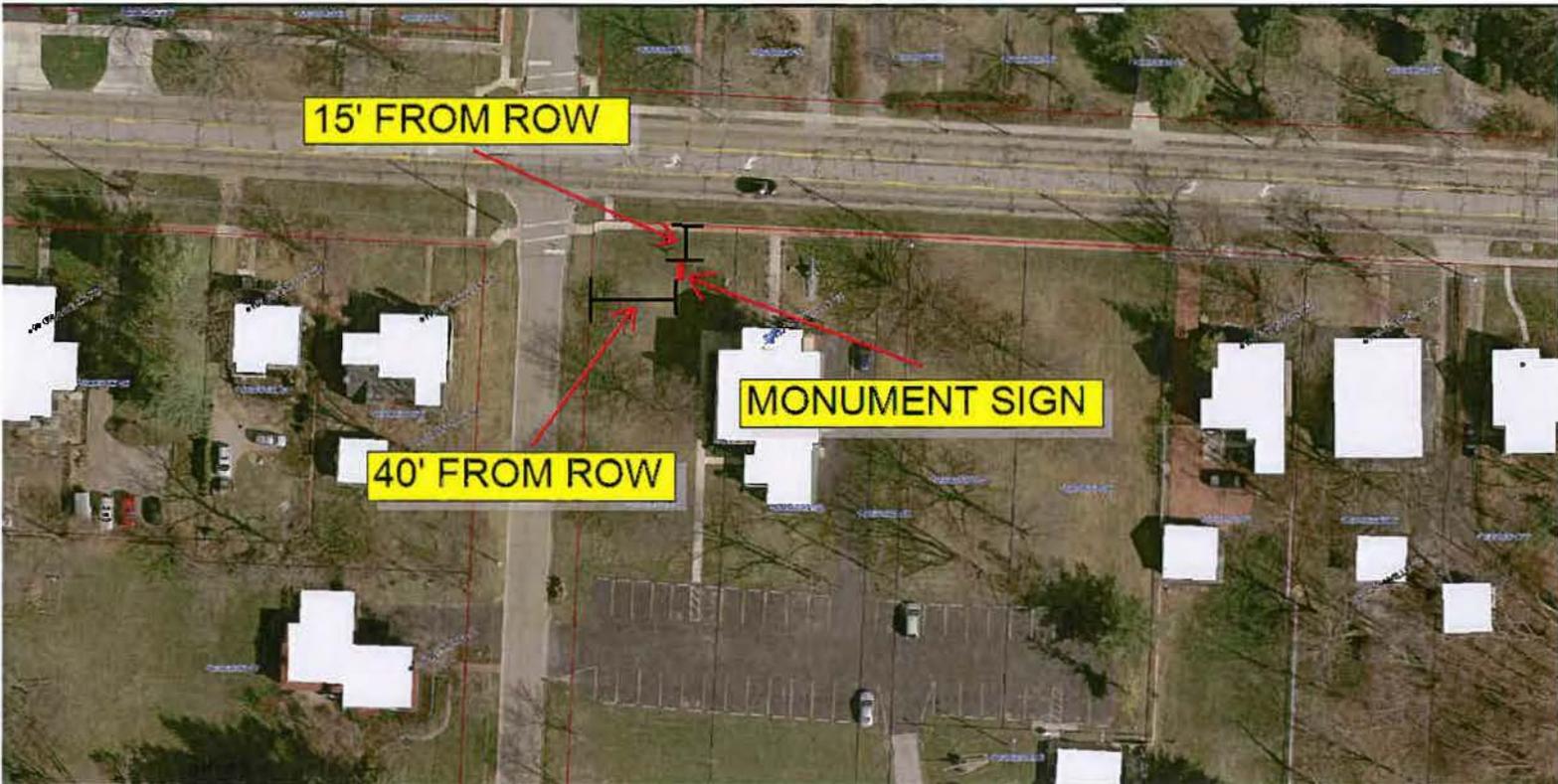
Abutting Property Owners List for  
137 E. Granville Rd.

|                            |                        |                      |                       |
|----------------------------|------------------------|----------------------|-----------------------|
| Jeffrey Deville            |                        | 132 E. Granville Rd. | Worthington, OH 43085 |
| Barbara Myers              |                        | 138 E. Granville Rd. | Worthington, OH 43085 |
| John & Allison Chapman     |                        | 144 E. Granville Rd. | Worthington, OH 43085 |
| Sandra Masters             |                        | 152 E. Granville Rd. | Worthington, OH 43085 |
| Eugene & Kimberly Wells    |                        | 151 E. Granville Rd. | Worthington, OH 43085 |
| Leasure Blackston Post     | 239 American Legion Tr | 700 Morning St.      | Worthington, OH 43085 |
| Timothy & Sherril Berridge |                        | 686 Morning St.      | Worthington, OH 43085 |
| Daniel & Rachel Gibson     |                        | PO Box 1284          | Worthington, OH 43085 |
| Glenn Laine                | Aber Garneta           | 707 Morning St.      | Worthington, OH 43085 |
| JC Rice                    |                        | 119 E. Granville Rd. | Worthington, OH 43085 |
| Patricia Herban            |                        | 120 E. Granville Rd. | Worthington, OH 43085 |

# 137 E. Granville Rd.



100-000392 04/09/2014



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CITY OF WORTHINGTON  
AR 164-16  
DRAWING NO.  
DATE 4-25-16



EXISTING ELEVATION: 3/8" = 1'-0"



PROPOSED CONCEPTUAL: 3/8" = 1'-0"



Proudly Serving Central Ohio Since 1954  
 1640 Harmon Ave Columbus, Ohio, 43223  
 (614) 444-3333 (FAX) 444-3028  
 www.danitesign.com

UL LISTED via STANDARD UL48  
 FILE NO: E60042 DaNITE SIGN CO.

For electrical illuminated signs. For non-illuminated signs, UL does not apply.

COLORS

- WHITE
- 3630-49 BURGUNDY
- 3630-167 BRIGHT BLUE
- PMS COOL GRAY 1C

APPROVED-CUSTOMER \_\_\_\_\_ DATE \_\_\_\_\_



|             |                             |
|-------------|-----------------------------|
| JOB NAME    | SHARON MEMORIAL HALL #29629 |
| STREET      | 137 DUBLIN-GRANVILLE RD     |
| CITY, STATE | WORTHINGTON, OH             |
| LOCATION    | MONUMENT                    |
| SKETCH #    | 15-979 R6                   |
| DATE        | 12/10/15 REV. 4/1/16        |
| FILE NAME   | SHARON MEMORIAL HALL.CDR    |
| DIRECTORY   | KEITH > 2015 > H            |

SCALE AS NOTED SALE ID DESIGNER KS

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CITY OF WORTHINGTON  
 AR 64-116  
 DRAWING NO.  
 DATE 4-25-16



7'-4" BASE & 7'-10" SILL

SIDE VIEW

- #29629: D/F NON-ILLUMINATED MONUMENT SIGN 3/4" = 1'-0"
- CABINET & FACES: ALUMINUM - WHITE PAINTED FINISH.
- GRAPHICS: 3630-49 BURGUNDY 3630-167 BRIGHT BLUE & FULL-COLOR PRINTED VINYL.
- CAP: ALUMINUM - WHITE PAINTED FINISH.
- COLUMNS: WHITE POLYETHYLENE.
- POLE COVER: BRICK VENEER (COLOR TO MATCH BUILDING AS CLOSE AS POSSIBLE)
- SILL: ALUMINUM - PMS COOL GRAY 1C PAINTED FINISH.



Proudly Serving Central Ohio Since 1954  
 1840 Harmon Ave Columbus, Ohio, 43223  
 (614) 444-3333 (FAX) 444-3026  
 www.danitesign.com

UL LISTED via STANDARD UL48  
 FILE NO: E60042 DaNITE SIGN CO.  
 For electrical illuminated signs. For non-illuminated signs, UL does not apply.

COLORS

- WHITE
- 3630-49 BURGUNDY
- BLACK
- PMS COOL GRAY 1C

APPROVED-CUSTOMER \_\_\_\_\_ DATE \_\_\_\_\_

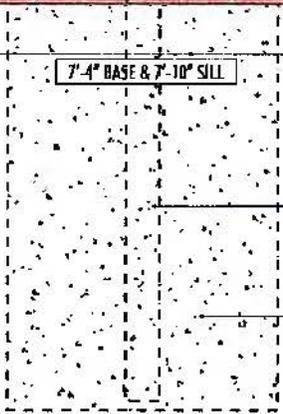
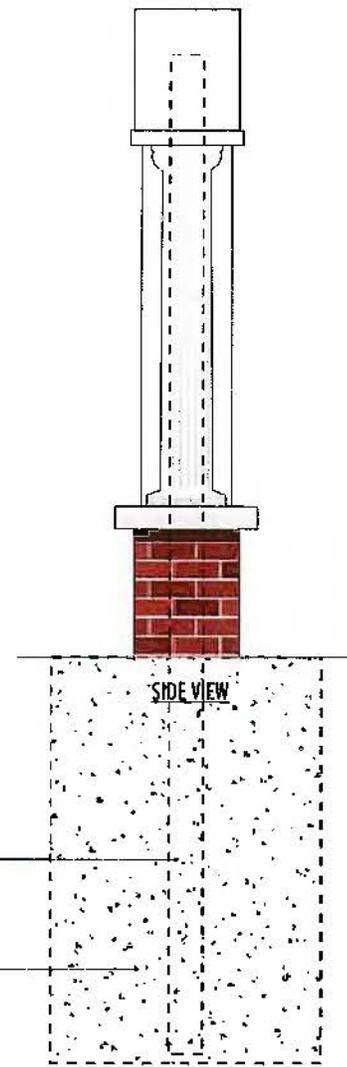
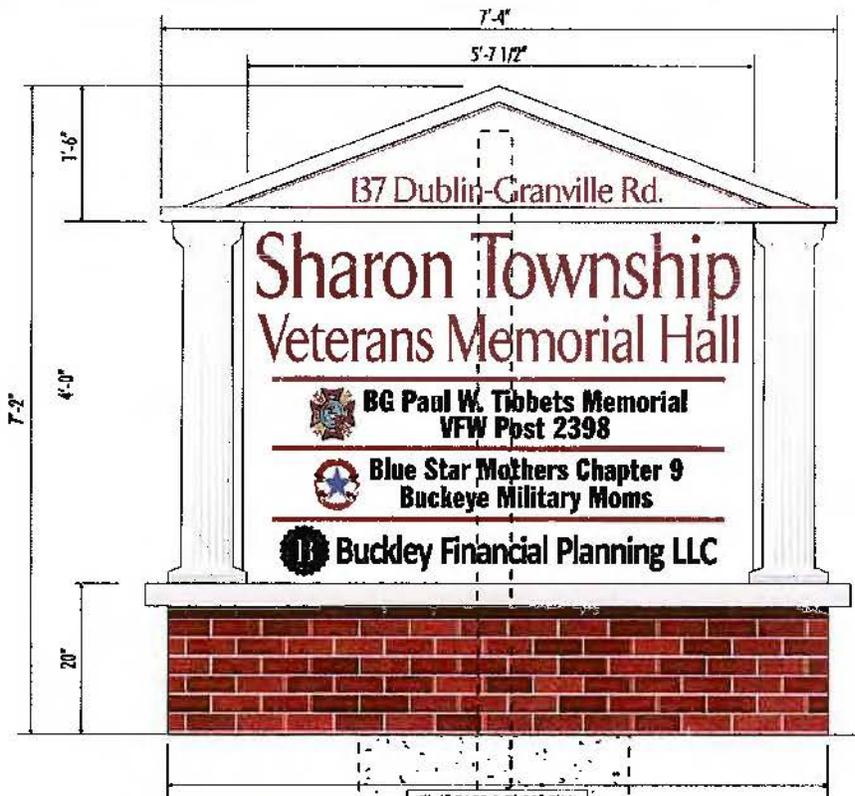


|             |                             |
|-------------|-----------------------------|
| JOB NAME    | SHARON MEMORIAL HALL #29629 |
| STREET      | 137 DUBLIN-GRANVILLE RD     |
| CITY, STATE | WORTHINGTON, OH             |
| LOCATION    | MONUMENT                    |
| SKETCH #    | 15-979 R6                   |
| DATE        | 12/10/15 REV. 4/1/16        |
| FILE NAME   | SHARON MEMORIAL HALL.CDR    |
| DIRECTORY   | KEITH > 2015 > H            |

SCALE: AS NOTED SALE: LD DESIGNER: KS

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CITY OF WORTHINGTON  
 AR 164-116  
 DRAWING NO.  
 DATE 4-25-16



FOUNDATION DETAILS 3/4" = 1'-0"

**DaNite Sign Co.**  
 Proudly Serving Central Ohio Since 1954  
 1640 Harmon Ave Columbus, Ohio, 43223  
 (614) 444-3333 (FAX) 444-3026  
 www.danitesign.com

UL LISTED via STANDARD UL48  
 FILE NO. E60042 DaNITE SIGN CO.  
 For electrical illuminated signs. For non-illuminated signs, UL does not apply.

- COLORS
- WHITE
  - 3630-49 BURGUNDY
  - BLACK
  - PMS COOL GRAY 1C

APPROVED-CUSTOMER \_\_\_\_\_ DATE \_\_\_\_\_



|             |                             |
|-------------|-----------------------------|
| JOB NAME    | SHARON MEMORIAL HALL #29629 |
| STREET      | 137 DUBLIN-GRANVILLE RD     |
| CITY, STATE | WORTHINGTON, OH             |
| LOCATION    | MONUMENT                    |
| SKETCH #    | 15-979 R6                   |
| DATE        | 12/10/15 REV. 4/1/16        |
| FILE NAME   | SHARON MEMORIAL HALL.CDR    |
| DIRECTORY   | KEITH > 2015 > H            |

SCALE AS NOTED SALL:LD DESIGNER KS  
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CITY OF WORTHINGTON  
 AR 64-16  
 DRAWING NO.  
 DATE 4-25-16



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Amend AR 37-16

Table with application details: Case # AR 65-16, Date Received 4-27-16, Fee \$2, Meeting Date 5-12-16, Filing Deadline, Receipt # 61949

- 1. Property Location 72 E Granville Rd + 764 Hartford St
2. Present/Proposed Use To keep dogs from exiting tree line
3. Zoning District
4. Applicant Jim + Jordy Ventresca / ACE Fence + Deck LLC
Address 72 E Granville Rd / 4459 Carroll Southern Rd Carroll OH 43112
Phone Number(s) 614-846-1804 / 614-751-8054
5. Property Owner Jim + Jordy Ventresca
Address 72 E Granville Rd
Phone Number(s) 614-846-1804
6. Project Description Fence installation
7. Project Details:
a) Design Flat top Cedar picket 1x4x4 w/ two inch space
b) Color Natural Cedar unstained
c) Size 4' Tall
d) Approximate Cost 3,000.00 Expected Completion Date July 15th 2016

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

ACE Fence + Deck LLC

Applicant (Signature)

Date 4-27-16

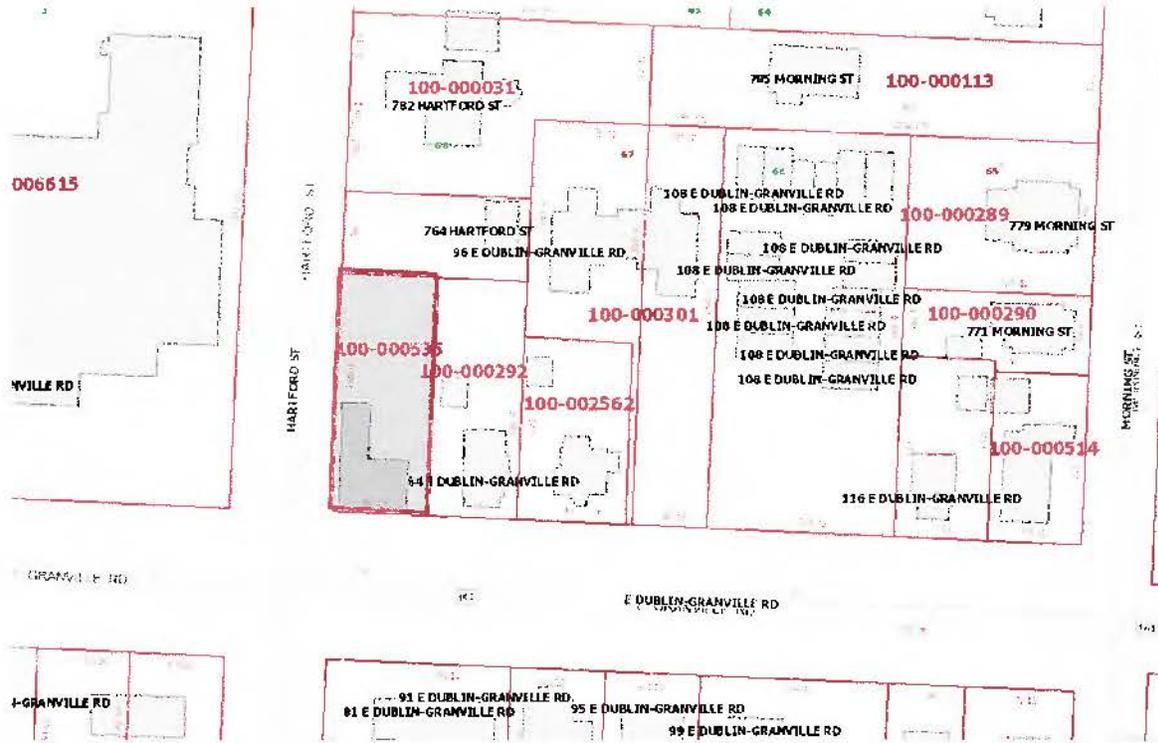
Property Owner (Signature)

Date

ABUTTING PROPERTY OWNERS  
FOR  
72 E. Granville Rd.

|                             |                   |                          |                       |
|-----------------------------|-------------------|--------------------------|-----------------------|
| Lynne Williams              |                   | 84 E. Granville Rd.      | Worthington, OH 43085 |
| Robert Davidson             |                   | 8561 Turnberry Ct.       | Dublin, OH 43017      |
| Resident                    |                   | 73 E. Granville Rd.      | Worthington, OH 43085 |
| Resident                    |                   | 77 E. Granville Rd.      | Worthington, OH 43085 |
| Resident                    |                   | 81 E. Granville Rd.      | Worthington, OH 43085 |
| Resident                    |                   | 85 E. Granville Rd.      | Worthington, OH 43085 |
| Resident                    |                   | 89 E. Granville Rd.      | Worthington, OH 43085 |
| St. John's Episcopal Church |                   | 700 High St.             | Worthington, OH 43085 |
| Worthington Schools         | Attn: Tim Gehring | 200 E. Wilson Bridge Rd. | Worthington, OH 43085 |

# 72 E. Granville Rd.



100-000535 04/10/2014



30' Front Setback

33-1/3' Side Setback

9'

56

76.4

160.4

160.4

12.1

72

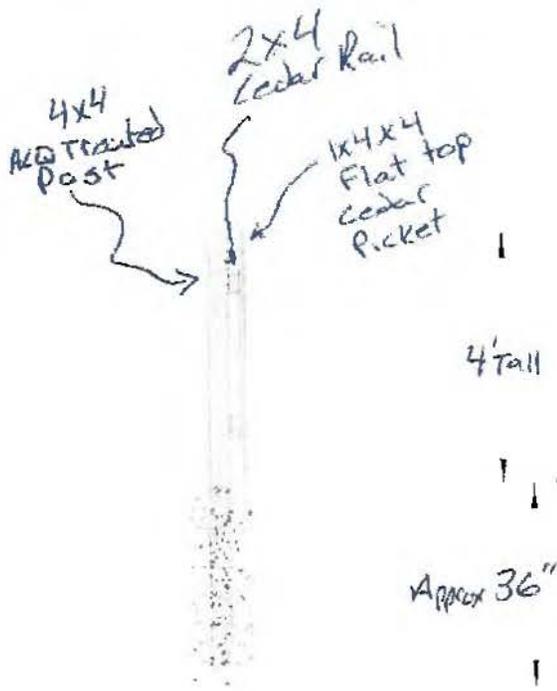
66.12

64

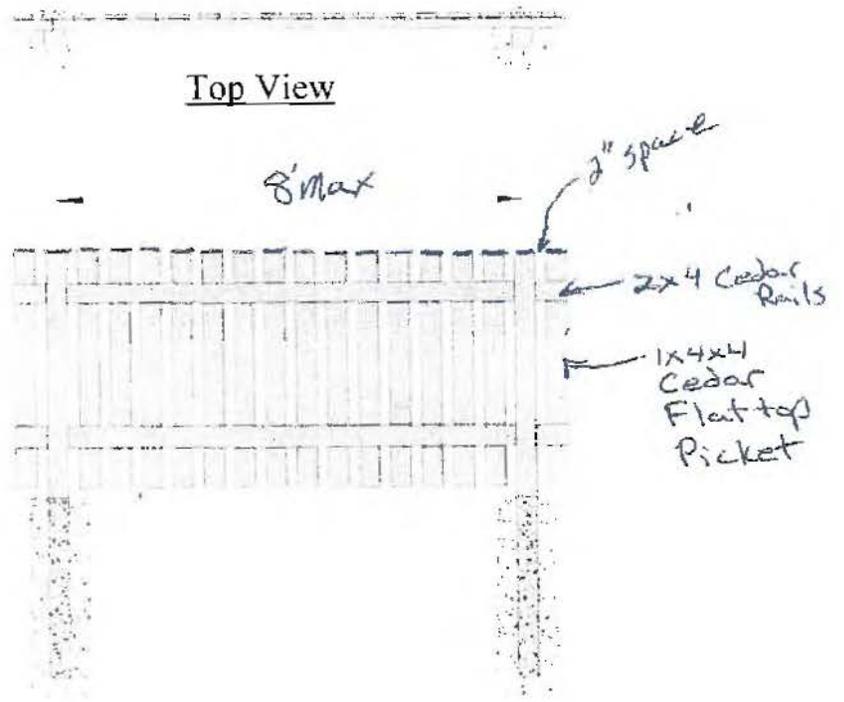
60

CITY OF WORTHINGTON  
DRAWING NO. AR 65-16  
DATE 4/27/16

**Picket Fence Detail**



Side View



Top View

Front View



Project: *Ventresca*  
 Site Location: *72 Granville Rd*  
 Submitted by: *ACE Fence*

Date: *4-25-16*  
 Drawing # *W-02*

CITY OF WORTHINGTON  
*AR 165-16*  
 DRAWING NO.  
 DATE *4-27-16*



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

(Amend AR 50-14)

Case # AR 16-16 Date Received 4-29-16 Fee \$2 Meeting Date 5-12-16 Filing Deadline Receipt # 619101

1. Property Location 634 High Street, Worthington, Ohio 43085

2. Present/Proposed Use Mixed Use Residential and Commercial

3. Zoning District PUD

4. Applicant Worthington Lodge LLC

Address 45 N. 4th Street, Ste 200, Columbus, Ohio 43215

Phone Number(s) 614-481-8106

5. Property Owner Same as applicant

Address

Phone Number(s)

6. Project Description Amendment to certificate of appropriateness AR 50-14 Certain changes to elevations site plan and landscaping

7. Project Details:

a) Design

b) Color

c) Size

d) Approximate Cost No Change Expected Completion Date 12/31/2016\*

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature], CHARIS PETERSON, VP 4/25/16 Applicant (Signature) Date WORTHINGTON LODGE LLC

SAME Property Owner (Signature) Date

Abutting Property Owners List for  
634 High St. and  
41 E. New England Ave.

|                                      |                        |                       |
|--------------------------------------|------------------------|-----------------------|
| Dewey's Pizza                        | 640 High St.           | Worthington, OH 43085 |
| Michael & Taryn Shadwick             | 38 E. New England Ave. | Worthington, OH 43085 |
| Robert Bloomer                       | 12318 Ivy Ridge Pl     | Galena, OH 43021      |
| Resident                             | 48 E. New England Ave. | Worthington, OH 43085 |
| Daniel & Sarah Mullen                | 655 Hartford St.       | Worthington, OH 43085 |
| James Smith III                      | 49 E. New England Ave. | Worthington, OH 43085 |
| James & Lindsay Roop                 | 305 E. Granville Rd.   | Worthington, OH 43085 |
| Marilyn Kling                        | 615 Hartford St.       | Worthington, OH 43085 |
| Worthington United Methodist Church  | 600 High St.           | Worthington, OH 43085 |
| Ripley Partners                      | 623 High St.           | Worthington, OH 43085 |
| SGS General Inc.                     | 1550 W. Lane Ave.      | Columbus, OH 43221    |
| La Chatelaine French Bakery & Bistro | 627 High St.           | Worthington, OH 43085 |

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**WORTHINGTON LODGE SUPPORTING STATEMENT**

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**TO:** LINDA BITAR, DIVISION OF PLANNING, CITY OF WORTHINGTON  
**FROM:** WORTHINGTON LODGE LLC  
**SUBJECT:** AMENDMENT TO CERTIFICATE OF APPROPRIATENESS NO. AR 50-14  
**DATE:** APRIL 29, 2016  
**CC:** CHRIS PETERSON, NEW ENGLAND DEVELOPMENT COMPANY LLC

---

We appreciate the opportunity to update the City of Worthington's Staff, Architectural Review Board, Council and community of some improvements made to the architectural plans which were approved by the above-captioned Certificate of Appropriateness.

Since that approval, the ownership group determined to pursue state and federal Historic Preservation Tax Credits (HPTC) to help finance this valuable historic building in downtown Worthington. The HPTC program applies preservation standards to both the interior and exterior of historic buildings. As a result, several of our floor plans were modified to conform to these standards, resulting in changes to the exterior of the 1820 and 1955 buildings and site. Other minor owner-directed changes are also proposed for the garages and the townhomes.

We have broken out this statement into four parts in order to help organize what has changed: A. Historic Buildings, B. Detached Garages, C. Townhomes and D. Site Plan.<sup>1</sup> Additionally, we have included two sets of drawings. The first set (A) contains what we are proposing as redesigned, and the second set (B) contains a "before and after" of elevations and other drawings. Please note that we have made a best effort to show all changes to the plans that the City is most concerned with, but cannot represent that we have caught everything. Therefore, we respectfully ask City Staff and the Architectural Review Board to refer to drawing set (A) when reviewing for approval of this amended application.

Finally, please note that exterior finishes are noted in Drawing Set B. Wherever a finish is unidentified, it should be assumed that we are continuing the previously approved material and color.

#### **A. HISTORIC BUILDINGS**

Changes were made to the interior floor plans and exterior elevations and site plan in order to accommodate the nuances of the HPTC Program. These changes, which I attempt to summarize below, are the result of significant input from the Ohio State Historic Preservation Office (SHPO) and the National Park Service (NPS). That said, the submitted drawings should control over the textual description in this statement.

It should be noted here that the use of the project remains to be a mixed-use residential and commercial project, and that the upper floor (Unit C-3) of the 1820 building is being preserved under the HPTC program as a museum. The table below summarizes the size and intended uses of the planned units (all of which are covered in our PUD Approval):

---

<sup>1</sup> We have submitted a landscaping plan which is meant to replace, in its entirety, the prior approved plan.

| UNIT | SIZE (SF) <sup>2</sup> | USE         |
|------|------------------------|-------------|
| A    | 1,944                  | Residential |
| B    | 2,836                  | Residential |
| C    | 6,173                  | Residential |
| C-1  | 2,220                  | Commercial  |
| C-2  | 1,029                  | Commercial  |
| C-3  | 1,109                  | Commercial  |

When we started our review process with SHPO, their major concerns focused on preserving certain elements within the existing spaces, such as (i) preservation of volume, (ii) preservation of delineated spaces of an historic nature, (iii) distinguishing new elements (e.g., windows) from historic elements, amongst many other considerations. As a result, we re-designed the floor plans completely reducing the number of residential units in the 1955 building from five (5) to three (3).

- Whereas the second floor of this building contained 2 residential units, it now only contains 1 unit.
  - The impetus behind this for SHPO was to preserve the volume of space in the lodge meeting room, which represents around 60% of the total floor area. Since it was too difficult to accommodate two units with the requirement, we determined design this as one unit, allowing us to preserve the meeting room and many of the existing walls on that floor.
  - As a result, changes were required to the placement of new windows on the south and east elevations. Additionally, SHPO required us to preserve the existing glass block windows on the north elevation, which we expanded downward with new windows to allow for light in living areas.
  - Other changes to the elevations were owner-requested and meant to conform with the City of Worthington's requirements, balanced by SHPO's requirements. So for example, we added two new arched windows on the east elevation of the hyphen that connects the 1820 building with the 1955 Building to be compatible with, but not exactly like, the arched windows on the west elevation of the hyphen.
  - Note also that we have modified the exterior balcony area and eastern ingress / egress for the second floor unit. We enclosed the area of what is currently the roof of the one-story protrusion in order create an interior "four-seasons" room for use by this one unit. Additionally, we removed the exterior stair, and created an internal stair that will use some of the space of the one-story protrusion (former Mason vault) to access the four seasons room.

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<sup>2</sup> These values are based off of "take-off" measurements and may differ slightly from the plans due to different measuring protocols. Worthington Lodge intends to use the table values for marketing as they accurately reflect the saleable space.

- Whereas the first floor of this building contained 3 residential units, it now only contains 2 units.
  - The impetus behind this was partly driven by SHPO, and partly owner driven. In order to accommodate SHPO's requirement to preserve certain walls and circulation on the first floor to reflect historic uses, it became easier to have two units rather than three.
  - As a result, changes were made to the placement of new windows on the south and north elevations. Additionally, we re-designed the entry ways on the north and east elevations to accommodate the new floor plans.
  - Other changes to the elevations were owner-requested and meant to conform with the City of Worthington's requirements, balanced by SHPO's requirements. So for example, we are replacing all of the aluminum windows with new wood windows: where the opening is an historic opening, we are following the same pattern as the historic window; where the opening is new, the pattern is slightly different.
- Whereas the basement of this building was used as common/recreational/storage area for use by the owners, we have redesigned it to accommodate those uses plus one commercial unit to be occupied by a family office.
- Whereas we had planned 1 residential unit to occupy the entire 1820 building, we have redesigned it as two commercial units. As mentioned earlier, the first floor of this building will be used as office and the upper floor will be used as a museum.

## **B. DETACHED GARAGES**

Changes were made to the interior floor plans and elevations partly as a result of the HPTC program. Specifically, since we reduced the number of residential units from 6 to 3 due to some requirement of the HPTC program, we determined that 12 garage spaces were not required. Since we wished to use the planned space for storage in keeping with the high-end condominium, we made the following changes:

- We equally partitioned the south garage so as to provide private parking service to Units B and C. Additionally, we removed one parking space per partitioned garage, using that space instead as storage/shed space for the unit occupant. This still allows two spaces for Units B and C.
- The change in spaces for the south garage resulted in certain elevation changes, for example reconfiguring the garage doors, and incorporating a standard door to access the newly appointed storage/shed space.
- Other changes to note are the addition of windows on certain elevations, change in garage door style, change in door number and position and change in style of cupola.

### C. TOWNHOMES

Changes were made to the building height in the townhomes in order to accommodate higher, and more marketable ceiling heights and to accommodate a closet over a portion of the unit's attached garage. The eave height increased by approximately 2 feet 2 inches, increasing the unit's overall marketability without adverse effect to the massing. Other changes to note are:

- Changes to the style of the garage doors, the addition of goose neck fixtures over each garage door.
- A reconfiguration of windows and patio access on the west elevation of the building, including the addition of new fixtures.
- The footprint of the townhome building hasn't changed and will continue to respect what was approved in the PUD.

### D. SITE PLAN AND LANDSCAPING

Changes were made to the site plan to reflect the effects of the HPTC program as summarized in the foregoing descriptions. Notable changes include:

- Addition of a stoop and entrance to Unit A at the elbow of the SE corner of the hyphen and the 1955 building.
- Movement and reduction of size of the stoop and entrance to Unit B (fka Unit 01B).
- Addition of a stoop and entrance to Unit C internal to the building; this replaces the approved exterior stair.
- Addition of a car gate system across the garage access point
- Addition of an electric service/meter location on east elevation of north garage. Note that plans call for removal of the existing pole located at the east elevation of the existing building. When we drop that pole, the pole transformer will be placed on the existing pole at the SW corner of the detached condominium site.
- Addition of electric service/meter location on east elevation of the north townhome. We have not completed landscape plans for this location. Since we have not yet submitted for a permit for the townhomes, we are seeking provisional approval for this location, subject to Staff's or ARB's landscaping or other requirements.
- Movement of condenser unit for the north townhome to the northwest corner of the unit. We have not completed landscape plans for this location. Since we have not yet submitted for a permit for the townhomes, we are seeking provisional approval for this location, subject to Staff's or ARB's landscaping or other requirements.
- Movement of condenser unit for the south townhome to the southwest corner of the unit. We have not completed landscape plans for this location. Since we have not yet

submitted for a permit for the townhomes, we are seeking provisional approval for this location, subject to Staff's or ARB's landscaping or other requirements.

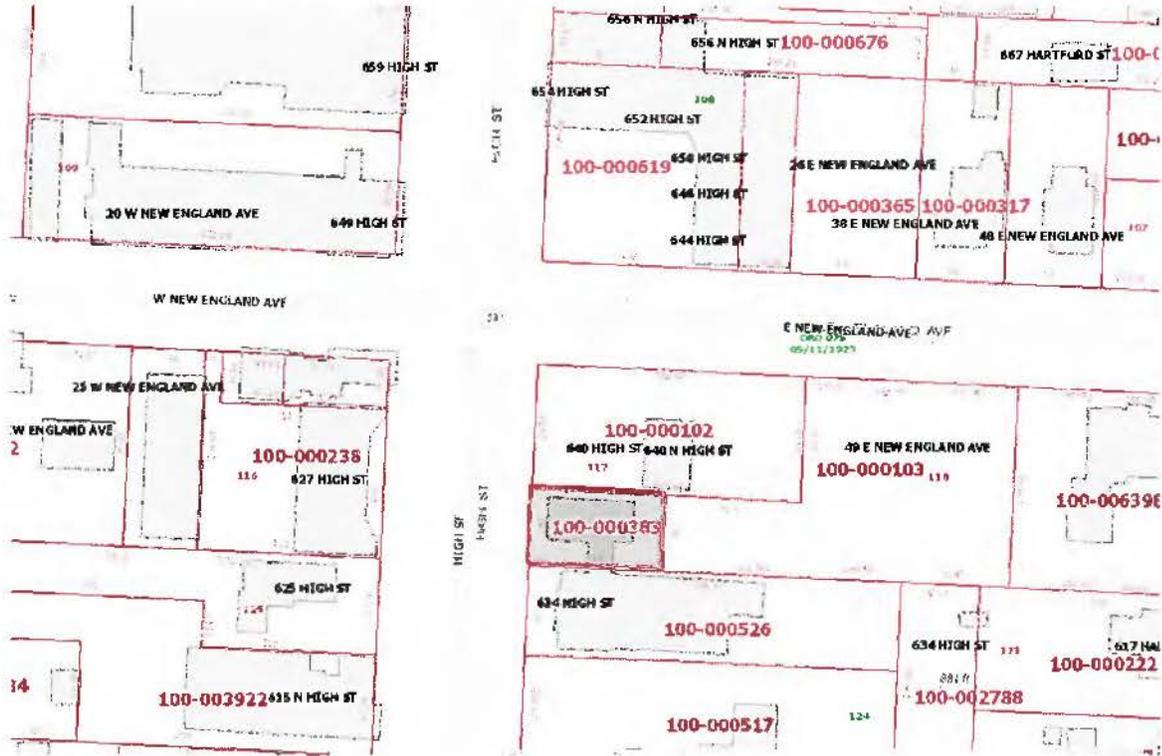
- Modification of patio area outside of Unit B (fka Unit 01C) to include a handicap ramp, enhanced landscaping and hardscaping. Note condenser units and service utilities have been moved elsewhere in order to accommodate this handicap ramp.
- Modification of the landscaping and hardscaping plans, included in the attached drawings, and meant to replace, in their entirety, the formerly approved landscape plans.

Finally, no material spec has changed on any of the windows. However, the design (over/under), position and quantity have changed. Each of these are observable on Drawing Set A and Drawing Set B.

APPENDIX A – LIST OF INCLUDED DRAWINGS

| Drawing Set A                          | Drawing Set B             |
|--|---------------------------|
| 00. Cover                              | 00. Cover                 |
| 01. Survey                             | 01. Site Plan Comparison  |
| 02. Existing Conditions                | 02. Elevations Comparison |
| 03. Dimension and Site Plan            |                           |
| 04. Landscape                          |                           |
| 05. Rehab Demolition                   |                           |
| 06. Rehab Floor Plans                  |                           |
| 07. Rehab Elevations                   |                           |
| 08. Rehab HVAC (showing condensers)    |                           |
| 09. Garage Floor Plans and Elevations  |                           |
| 10. Garage Electrical (showing meters) |                           |
| 11. Townhome Floorplans                |                           |
| 12. Townhome Elevations                |                           |
| 13. Townhome HVAC (showing condensers) |                           |
| 14. Townhome Electric (showing meters) |                           |

# 634 High St.



100-000383 04/10/2014



CITY OF WORTHINGTON  
AR 1010-16  
DRAWING NO.  
DATE 4-29-16



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ONE CREAM

**Featured Color**

- Available on all Entry Systems, Open Crawl and Fullman Windows
- Color-Resistant Coatings and Coaling Systems



CITY OF WORTHINGTON  
AR 100-116  
DRAWING NO.

DATE 4-29-16

### Worthington Lodge Exterior Lights

- West Elevation of 1956 Connector to receive top and bottom scrolls
- Garages to receive top scroll only
- Residential entrances no scroll

CITY OF WORTHINGTON  
AR 166-16  
DRAWING NO.  
DATE 4-29-16

Locations to be used:  
 - West Elevation of 1956 Connector  
 - Garages

N - 22  
 wall mount

26h x 13.5w x 14.5d

**ELECTRIC OPTIONS**

- Medium Base Socket
- Frosted Chimney
- Single Brass Candle
- Single Brass Tall Candle
- 2 Light Brass Cluster
- 2 Light Tall Brass Cluster
- 3 Light Brass Cluster
- 4 Light Brass Cluster
- Drip Candle Covers



**GAS OPTIONS**

- Single Brass Burner
- Double Brass Burner
- Triple Brass Burner
- Extra Tall Burner
- LP Brass Burner
- Palmetto Flame Brass Burner
- Bat Flame Brass Burner
- Hidden Gas Line



**GLASS OPTIONS**

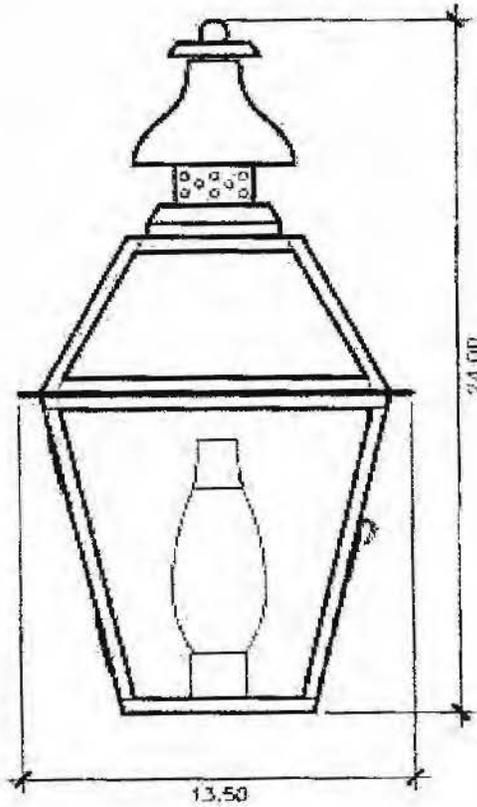
- Tempered Clear
- Seeded
- Antique

**ACCESSORIES**

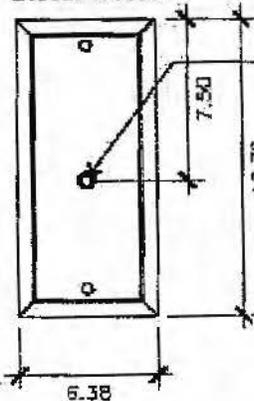
- Solid Copper Top
- Copper Panels
- Top Copper Ring
- Brass Cross Bars
- Copper Cross Bars
- Top Loop
- Full Scroll
- Backward Scroll
- Side Scrolls
- Down Scrolls
- Top Loop Hanger
- Wall Bracket WBC
- Wall Yoke
- Extender Bracket
- Top Mount
- Top Hole Backplate
- Pier Mount
- Pier Mount Cover

**FINISHES**

- Solid Copper
- Aged Bronze
- Powder Coated Black
- Silver



**BACKPLATE**



Mounting Hole

\* Top of Fixture to Mounting Hole is 4000"

**STANDARD FEATURES**

- Solid Copper
- Tempered Clear Glass
- Electric: Frosted Chimney
- Gas: Single Brass Burner

\* Shown with Standard Frosted Chimney



www.carolinalanterns.com  
 P. 843-881-4170

CITY OF WORTHINGTON  
 AR 1010-116  
 DRAWING NO.

DATE 4-29-16

Locations to be used:  
- Residential entrances

N - 27  
wall mount

21h x 10.5w x 11.5d

**ELECTRIC OPTIONS**

- Medium Base Socket
- Frosted Chimney
- Single Brass Candle
- Single Brass Tall Candle
- 2 Light Brass Cluster
- 2 Light Tall Brass Cluster
- 3 Light Brass Cluster
- 4 Light Brass Cluster
- Drip Candle Covers

**GAS OPTIONS**

- Single Brass Burner
- Double Brass Burner
- Triple Brass Burner
- Extra Tall Burner
- LP Brass Burner
- Palmetto Flame Brass Burner
- Bat Flame Brass Burner
- Hidden Gas Line

**GLASS OPTIONS**

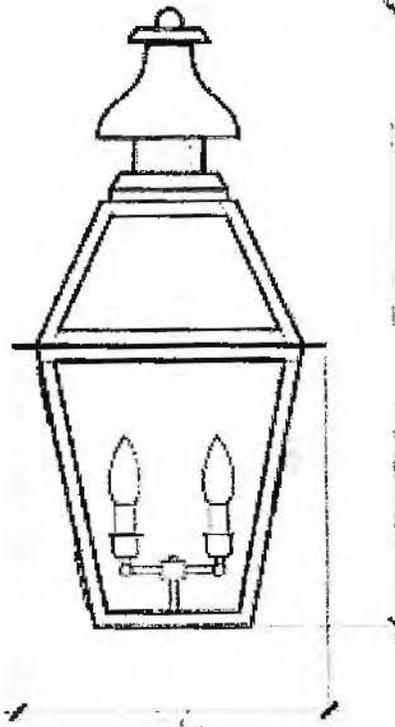
- Tempered Clear
- Seeded
- Antique

**ACCESSORIES**

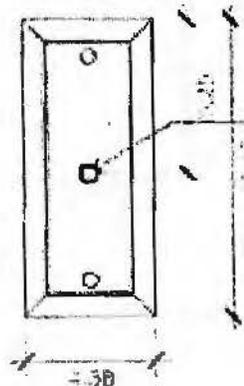
- Solid Copper Top
- Copper Panel
- Top Copper Ring
- Brass Cross Bars
- Copper Cross Bars
- Top Loop
- Full Scroll
- Backward Scroll
- Side Scroll
- Down Scrolls
- Top Loop Hanger
- Wall Bracket WBC
- Wall Yoke
- Extender Bracket
- Top Mount
- Top Hole Backplate
- Pier Mount
- Pier Mount Cover

**FINISHES**

- Solid Copper
- Aged Bronze
- Powder Coated Black
- Silver



**BACKPLATE**



Mounting Hole:  
1.50" (Backplate Mounting Hole is 1.75")

**STANDARD FEATURES**

- Solid Copper
- Tempered Clear Glass
- Electric Medium Base Socket
- Gas Single Brass Burner

\* Shown with Optional 2 Light Brass Cluster



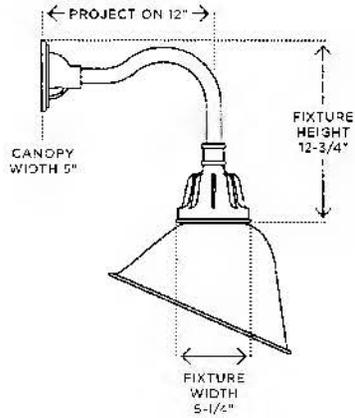
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CITY OF WORTHINGTON  
AP 106-16  
DRAWING NO.  
DATE 4-29-16

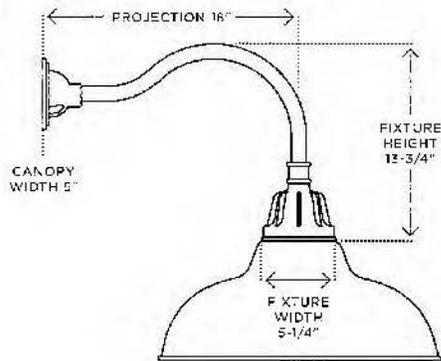
# CARSON GOOSENECK

WAREHOUSE WALL FIXTURE

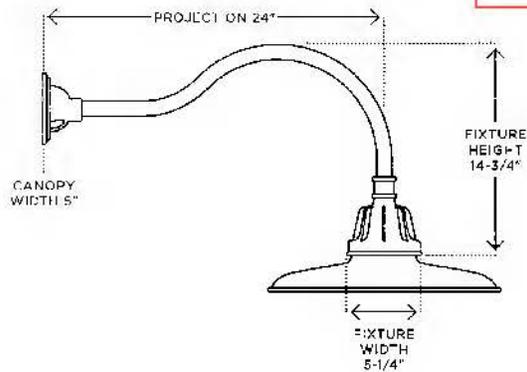
AVAILABLE SIZES: A2949 - 12"PROJ, 18"PROJ, 24"PROJ



Location - West Elevation  
above 1820's Entrance Door



Location - Above garages  
doors to the townhouses



## DETAILS

**UL RATING:** Wet

**NUMBER OF SOCKETS:** 1

**MAX WATTAGE:** 300W

**AVAILABLE SOCKET TYPES:** Standard incandescent or GU24

**NUMBER OF AVAILABLE COMBINATIONS:** 120+

**SHADE SHOWN:** B0039 - Angled Dome in Gloss Green

**AVAILABLE FIXTURE FINISH:** Carbon

CITY OF WORTHINGTON  
AR 66-16  
DRAWING NO.

DATE 4-29-16





April 29th, 2016

# DRAWING SET B

## WORTHINGTON LODGE

Worthington, Ohio 43085

Worthington Lodge, LLC

CITY OF WORTHINGTON  
AR 606-16  
DRAWING NO.  
DATE 4-29-16

**SCHOOLEY  
CALDWELL**

ARCHITECTURE. INSPIRED.

Z:\14-0001-648\production drawings\site development\14-0001-648 - site plan - red.dwg 3 SITE PLAN Mod 02, 2015 - 4:54:40pm collinon

N HIGH STREET (US-23)



**LEGEND**  
 → TRAFFIC FLOW ARROW  
 PROPOSED ACCESS EASEMENT

CITY OF WORTHINGTON  
 AR 14-16  
 DRAWING NO.  
 DATE 4-29-16



PLAN PREPARED BY:  
**ADVANCED CIVIL DESIGN**  
 432 South 4th Ave  
 Columbus, Ohio 43225  
 PR 614.426.7700  
 FAX 614.426.7756

---

PLAN PREPARED FOR:  
**SHOWE WORTHINGTON LLC**  
 45 N. FOURTH STREET  
 SUITE 200  
 COLUMBUS, OH 43215

---

CITY OF WORTHINGTON / FRANKLIN COUNTY, OHIO  
**THE LODGE CONDOMINIUMS**  
 FOR  
**SITE PLAN**  
 FOR  
**SHOWE WORTHINGTON LLC**  
**FINAL DEVELOPMENT PLAN**

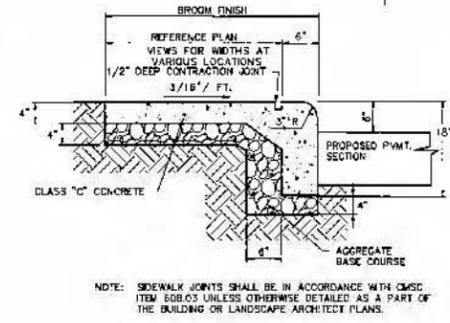
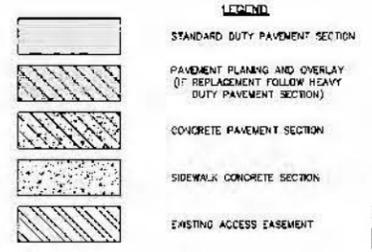
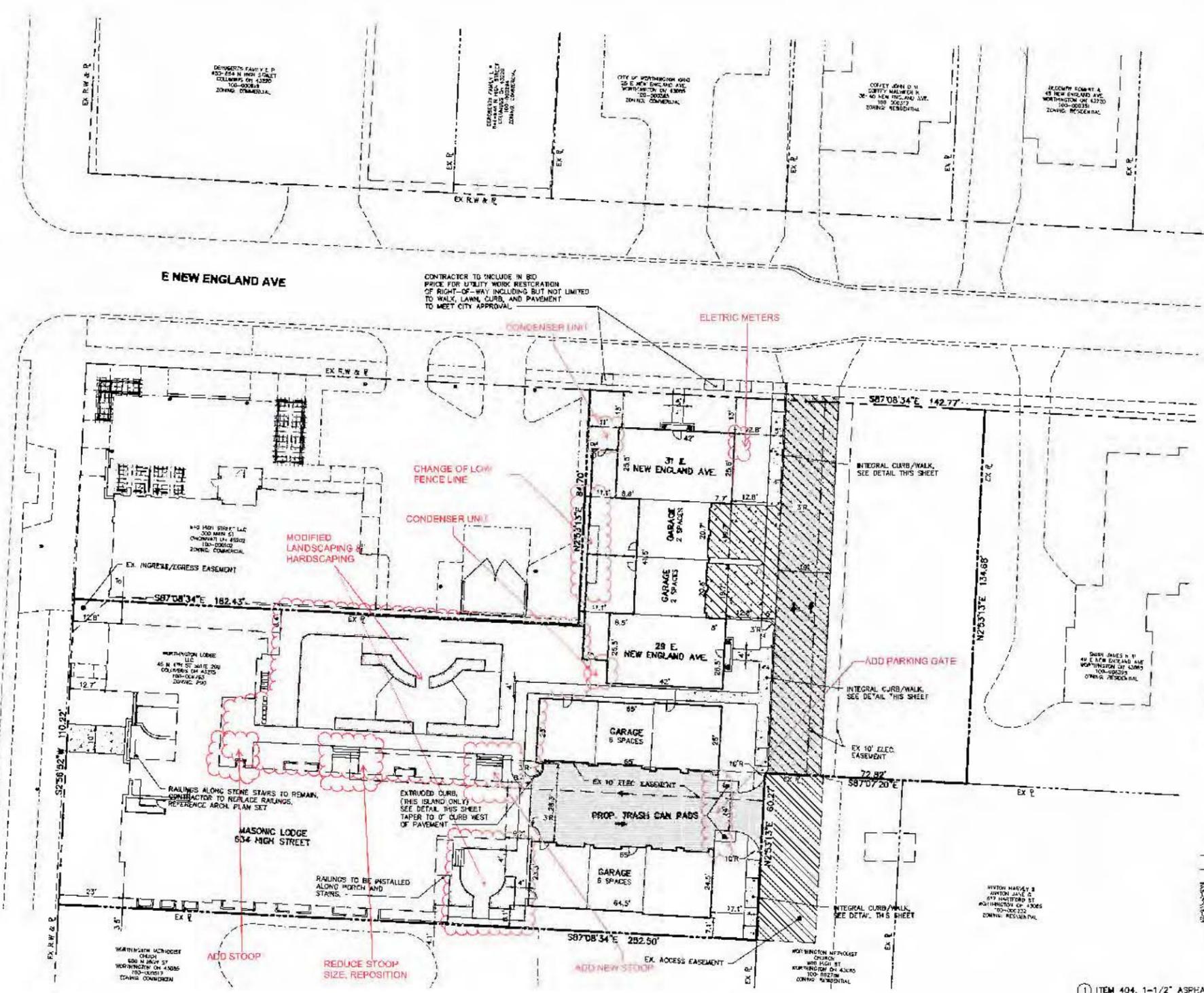
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|                 |                                    |
|-----------------|------------------------------------|
| Issue Date:     | 2-11-2015: REVISED ACCESS EASEMENT |
|                 | 3-12-2015: ADD'D CONDENSED         |
| Date:           | 12/01/2014                         |
| Scale:          | 1" = 20'                           |
| Drawn By:       | Checked By:                        |
| TPC             | TPC                                |
| Project Number: | 14-0001-648                        |
| Drawing Number: | 3 / 5                              |

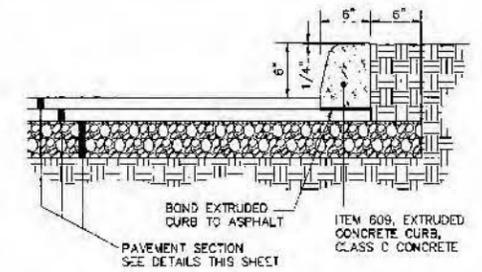
Z:\14-0001-648\WORK\PRODUCTION\REFRANCIS\SITE CONSTRUCTION\0001-648 SCP - Site plan.dwg DIMENSION & SITE DETAIL PLAN Apr 15, 2016 - 3:04:30am heathlun

HIGH STREET (US-23)

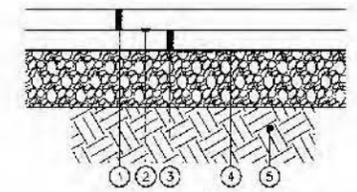
E NEW ENGLAND AVE



COMBINED SIDEWALK AND CURB DETAIL  
NO SCALE



EXTRUDED CONCRETE CURB  
NO SCALE



- |   |   |
|---|---|
| ① ITEM 404, 1-1/2" ASPHALT CONCRETE           | ① ITEM 404, 2" ASPHALT CONCRETE               |
| ② ITEM 407, TACK COAT (0.15-0.20 GAL/SQ. YD.) | ② ITEM 407, TACK COAT (0.15-0.20 GAL/SQ. YD.) |
| ③ ITEM 402, 1-1/2" ASPHALT CONCRETE           | ③ ITEM 402, 2" ASPHALT CONCRETE               |
| ④ ITEM 304, 8" CRUSHED AGGREGATE BASE         | ④ ITEM 304, 10" CRUSHED AGGREGATE BASE        |
| ⑤ ITEM 204, SUBGRADE COMPACTION               | ⑤ ITEM 204, SUBGRADE COMPACTION               |

**STANDARD DUTY**  
NO SCALE

**HEAVY DUTY**  
NO SCALE

NOTES: THE TACK COAT MAY BE ELIMINATED IF THE INTERMEDIATE COURSE IS CLEAN AND THE SURFACE IS PLACED IMMEDIATELY FOLLOWING THE PLACEMENT OF THE INTERMEDIATE COURSE.

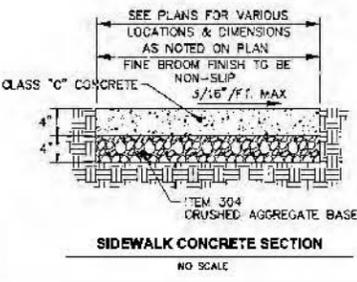
MEDIUM-DUTY GEOGRID (TENSAR BX 1100, OR EQUAL) SHALL BE INSTALLED BELOW THE BASE AGGREGATE IN AREAS SUBJECT TO STOPPING AND TURNING TRAFFIC OR CONCENTRATED TRAFFIC FLOW, SUCH AS THE MAIN ENTRANCE/EXIT DRIVES.

**PAVEMENT SECTION**  
NO SCALE

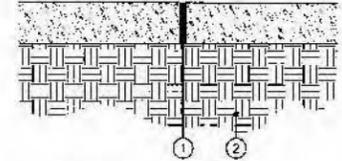
CITY OF WORTHINGTON

AR 648-16  
DRAWING NO.

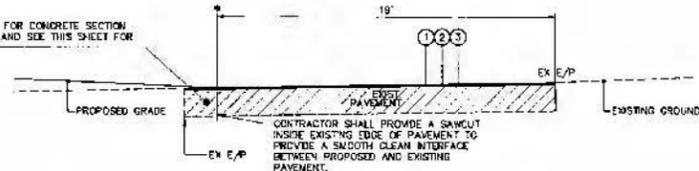
4-29-16  
DATE



SIDEWALK CONCRETE SECTION  
NO SCALE



① ITEM 452, 8" REINFORCED P.C. CONCRETE PAVEMENT (CLASS C)  
② ITEM 204, SUBGRADE COMPACTION  
CONCRETE PAVEMENT SECTION  
NO SCALE



① ITEM 254, 1-1/4" PAVEMENT PLANNING. SEE PLAN VIEW FOR DETAILS  
② 1-1/4" - ITEM 404, ASPHALT CONCRETE SURFACE COURSE (OVERLAY)  
③ ITEM 407, BITUMINOUS TACK COAT. BITUMINOUS MATERIAL 722.02, RS-1 OR AN APPROVED EQUAL, APPLIED AT 0.10 GAL/SQ.YD. AND COVER AGGREGATE CONSISTING OF CRUSHED GRAVEL OR Limestone, SIZE NO. 9.  
CONTRACTOR TO SAW CUT FULL DEPTH AND SEAL THE LONGITUDINAL JOINT 1' INSIDE EXISTING EDGE OF PAVEMENT (WHITE EDGE LINE) OR TO SOUND EXISTING PAVEMENT AND OVERLAY FULL WIDTH.  
PAVEMENT PLANNING AND OVERLAY SECTION  
NO SCALE

CONTRACTOR TO INCLUDE IN BID PRICE FOR UTILITY WORK RESTORATION OF RIGHT-OF-WAY INCLUDING BUT NOT LIMITED TO WALK, LAWN, CURB, AND PAVEMENT TO MEET CITY APPROVAL.

SEE PLAN VIEW FOR CONCRETE SECTION THAT APPLIES, AND SEE THIS SHEET FOR SECTIONS

**STANDARD DUTY**  
NO SCALE

PLAN PREPARED BY:  
WORTHINGTON LODGE, LLC  
45 N. FOURTH STREET  
SUITE 200  
COLUMBUS, OH 43215

CITY OF WORTHINGTON / FRANKLIN COUNTY, OHIO  
WORTHINGTON LODGE  
FOR  
DIMENSION & SITE DETAIL PLAN  
WORTHINGTON LODGE, LLC  
SITE CONSTRUCTION PLAN

DATE: 4/15/2016  
Scale: 1" = 20'

Drawn By: TPC  
Checked By: JME

Project Number:  
14-0001-648

Drawing Number:  
4 / 8

**WORTHINGTON LODGE**

Worthington, Ohio 43085

1820 & 1956 BUILDINGS  
ELEVATION COMPARISON

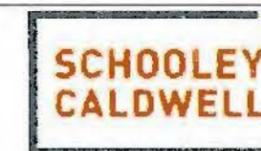


April 29th, 2016

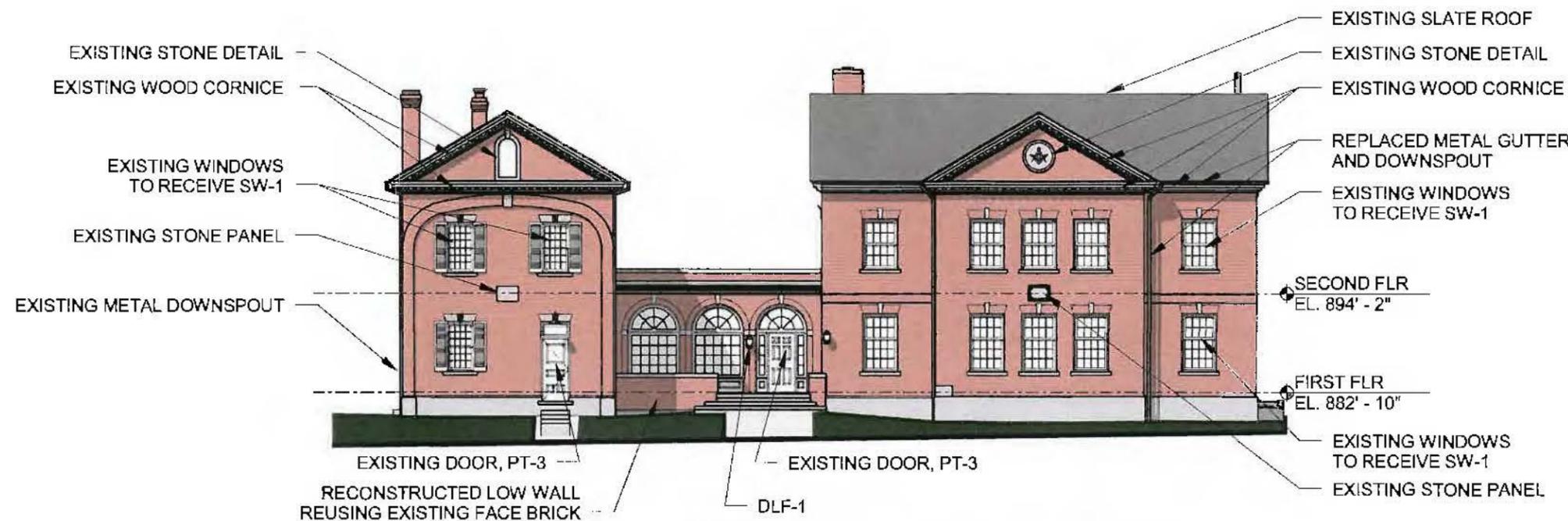
WORTHINGTON LODGE, LLC

45 N. Fourth Street, Suite 200

Columbus, Ohio 43215

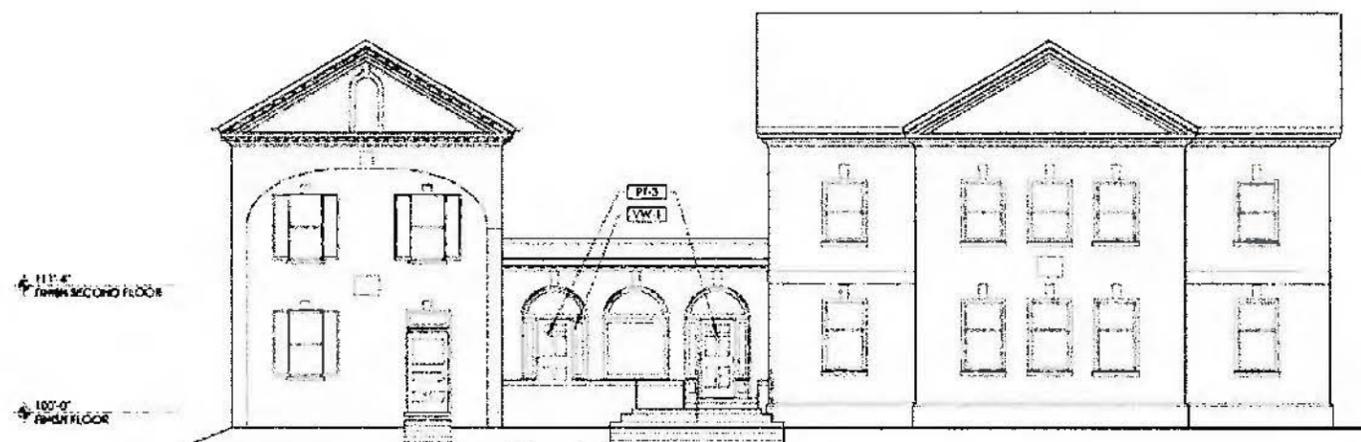


ARCHITECTURE. INSPIRED.



**2016 - Proposed West Elevation along North High Street**

Scale: 1/16" = 1'-0"



**2014 - Proposed West Elevation along North High Street**

CITY OF WORTHINGTON  
AR 1616-16  
DRAWING NO.

DATE 4-29-16

**LEGEND - MATERIAL**

|                | KEY   | MANUFACTURER      | DESCRIPTION   | 2014 | 2016 |
|----------------|-------|-------------------|---|------|------|
| FACE BRICK     | BRK-1 | GLEN-GARY         | POTOMAC - MORTAR: LAFARGE 'LAFARGE BEIGE'                     | X    | X    |
| LIGHT FIXTURES | DLF-1 | CAROLINA LANTERNS | TRADD STREET II - COLLECTION, FINISH "COPPER"                 | X    | X    |
| PAINT          | PT-1  | BENJAMIN MOORE    | HC-85 "FAIRVIEW TAUPE", FIELD, EGGSHELL                       | X    |      |
| PAINT          | PT-2  | BENJAMIN MOORE    | HC-84 "ELMIRA WHITE", TRIM, EGGSHELL                          | X    |      |
| PAINT          | PT-3  | BENJAMIN MOORE    | #2199-10 "SPACE BLACK", ACCENT, SEMI-GLOSS                    | X    | X    |
| PAINT          | PT-4  | BENJAMIN MOORE    | OC-38 "ACADIA WHITE", ACCENT, EGGSHELL TO MATCH EXISTING TRIM |      | X    |

**LEGEND - MATERIAL**

|               | KEY   | MANUFACTURER          | DESCRIPTION                              | 2014 | 2016 |
|---------------|-------|-----------------------|--|------|------|
| ROOF          | AS-1  | GAF                   | ASPHALT SHINGLES "ANTIQUE SLATE"         | X    |      |
| ROOF          | SS-1  | DMI                   | "WEATHERED ZINC"                         |      | X    |
| SIDING        | FCS-1 | HARDIEPLANK           | "WOODSTOCK BROWN"                        |      | X    |
| SIDING        | FCS-2 | HARDIEPLANK           | "NAVAJO BEIGE"                           |      | X    |
| STORM WINDOWS | SW-1  | PROVIA                | "CAFE CREAM"                             |      | X    |
| WINDOWS       | VW-1  | ANDERSEN - SILVERLINE | VINYL, 2200 SERIES SINGLE HUNG, WHITE    | X    |      |
| WINDOWS       | ACW-1 | MARVIN OR PELLA       | ALUMINUM CLAD WOOD - COLOR TO MATCH SW-1 |      | X    |

**WORTHINGTON LODGE**

Worthington, Ohio 43085

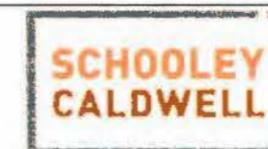
1820 & 1956 BUILDINGS  
ELEVATION COMPARISON



April 29th, 2016

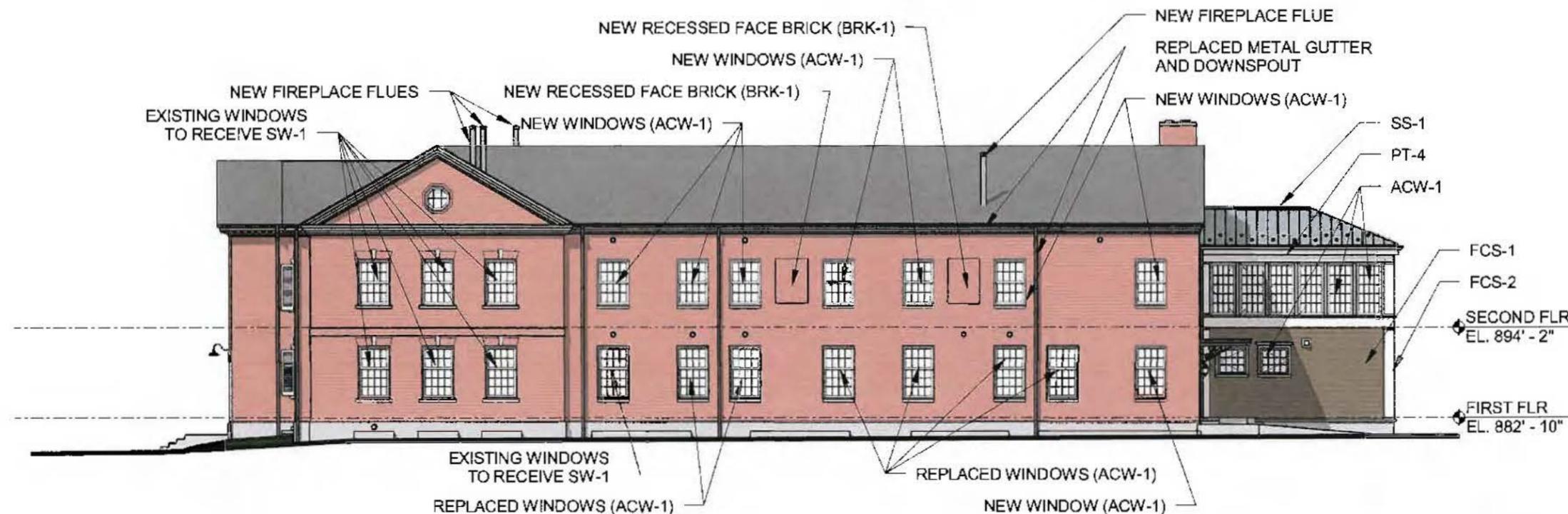
**WORTHINGTON LODGE, LLC**

45 N. Fourth Street, Suite 200  
Columbus, Ohio 43215



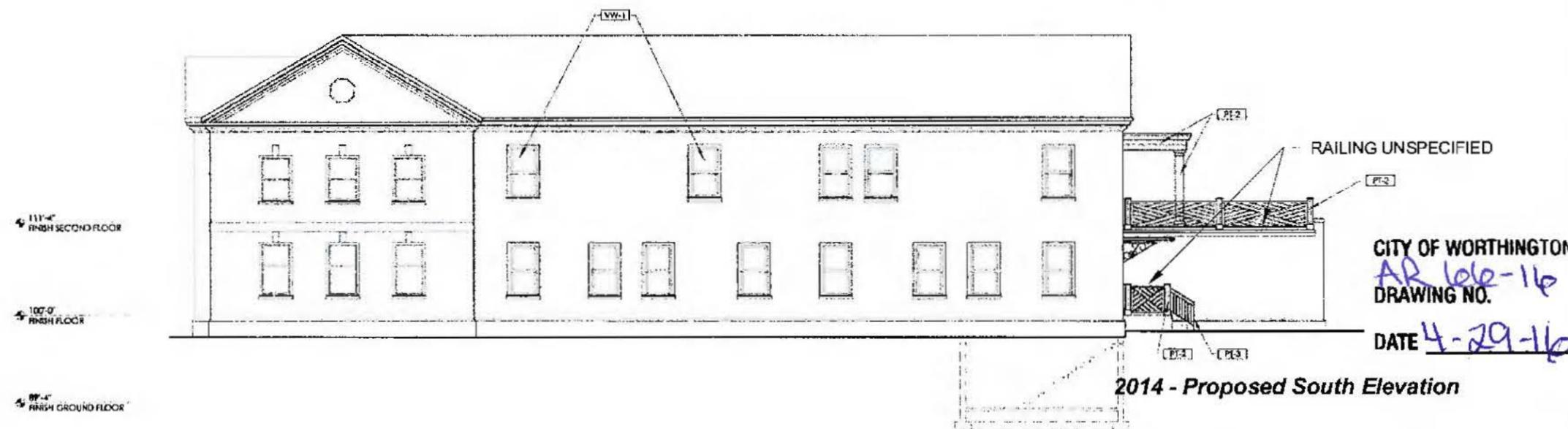
ARCHITECTURE. INSPIRED.

ARB 2



**2016 - Proposed South Elevation**

Scale: 1/16" = 1'-0"



**2014 - Proposed South Elevation**

**LEGEND - MATERIAL**

|                | KEY   | MANUFACTURER      | DESCRIPTION   | 2014 | 2016 |
|----------------|-------|-------------------|---|------|------|
| FACE BRICK     | BRK-1 | GLEN-GARY         | POTOMAC - MORTAR: LAFARGE 'LAFARGE BEIGE'                     | X    | X    |
| LIGHT FIXTURES | DLF-1 | CAROLINA LANTERNS | TRADD STREET II - COLLECTION, FINISH "COPPER"                 | X    | X    |
| PAINT          | PT-1  | BENJAMIN MOORE    | HC-85 "FAIRVIEW TAUPE", FIELD, EGGSHELL                       | X    |      |
| PAINT          | PT-2  | BENJAMIN MOORE    | HC-84 "ELMIRA WHITE", TRIM, EGGSHELL                          | X    |      |
| PAINT          | PT-3  | BENJAMIN MOORE    | #2199-10 "SPACE BLACK", ACCENT, SEMI-GLOSS                    | X    | X    |
| PAINT          | PT-4  | BENJAMIN MOORE    | OC-38 "ACADIA WHITE", ACCENT, EGGSHELL TO MATCH EXISTING TRIM |      | X    |

**LEGEND - MATERIAL**

|               | KEY   | MANUFACTURER          | DESCRIPTION                              | 2014 | 2016 |
|---------------|-------|-----------------------|--|------|------|
| ROOF          | AS-1  | GAF                   | ASPHALT SHINGLES "ANTIQUE SLATE"         | X    |      |
| ROOF          | SS-1  | DMI                   | "WEATHERED ZINC"                         |      | X    |
| SIDING        | FCS-1 | HARDIEPLANK           | "WOODSTOCK BROWN"                        |      | X    |
| SIDING        | FCS-2 | HARDIEPLANK           | "NAVAJO BEIGE"                           |      | X    |
| STORM WINDOWS | SW-1  | PROVIA                | "CAFE CREAM"                             |      | X    |
| WINDOWS       | VW-1  | ANDERSEN - SILVERLINE | VINYL, 2200 SERIES SINGLE HUNG, WHITE    | X    |      |
| WINDOWS       | ACW-1 | MARVIN OR PELLA       | ALUMINUM CLAD WOOD - COLOR TO MATCH SW-1 |      | X    |

**WORTHINGTON LODGE**

Worthington, Ohio 43085

1820 & 1956 BUILDINGS  
ELEVATION COMPARISON

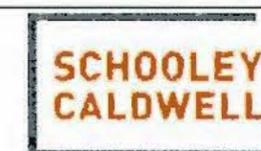


April 29th, 2016

**WORTHINGTON LODGE, LLC**

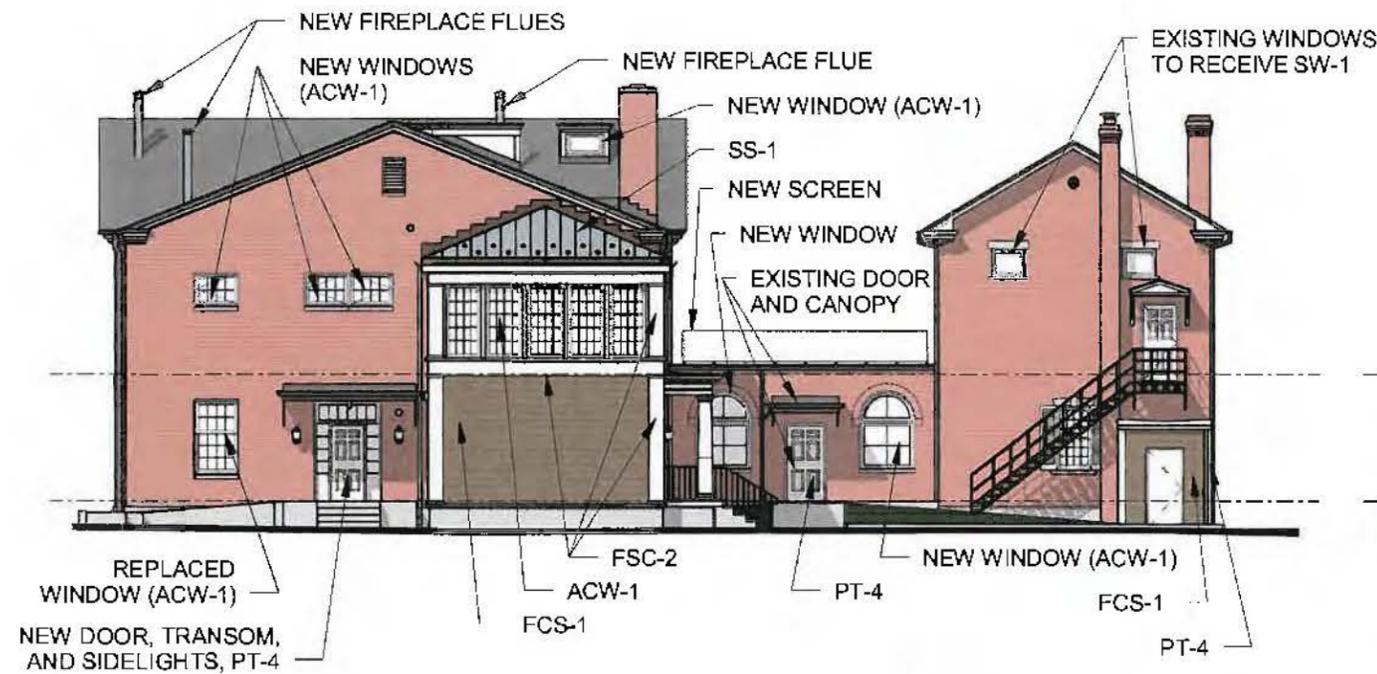
45 N. Fourth Street, Suite 200

Columbus, Ohio 43215



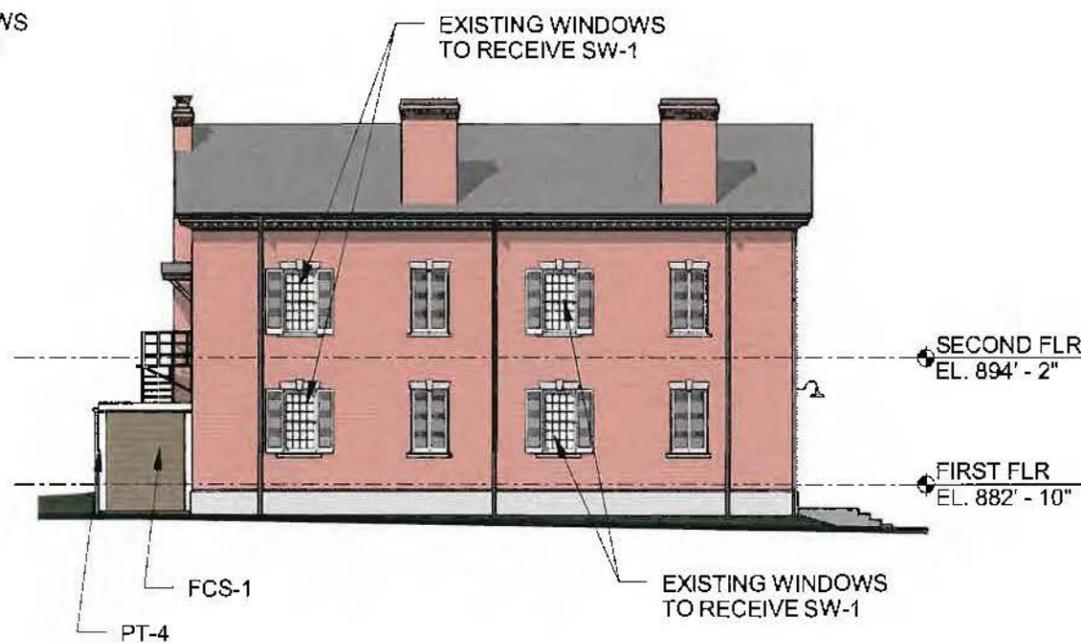
ARCHITECTURE. INSPIRED.

ARB 3



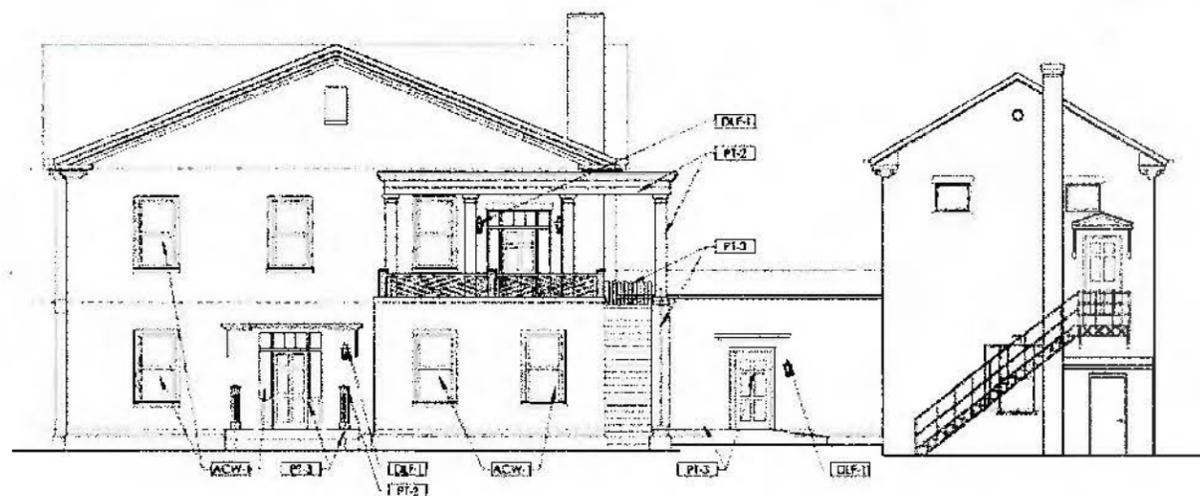
**2016 - Proposed East Elevation**

Scale: 1/16" = 1'-0"



**2016 - Proposed North Elevation of 1820 Building**

Scale: 1/16" = 1'-0"



**2014 - Proposed East Elevation**

CITY OF WORTHINGTON  
AR 106-16  
DRAWING NO.

DATE 4-29-16

**LEGEND - MATERIAL**

|                | KEY   | MANUFACTURER      | DESCRIPTION   | 2014 | 2016 |
|----------------|-------|-------------------|---|------|------|
| FACE BRICK     | BRK-1 | GLEN-GARY         | POTOMAC - MORTAR: LAFARGE 'LAFARGE BEIGE'                     | X    | X    |
| LIGHT FIXTURES | DLF-1 | CAROLINA LANTERNS | TRADD STREET II - COLLECTION, FINISH "COPPER"                 | X    | X    |
| PAINT          | PT-1  | BENJAMIN MOORE    | HC-85 "FAIRVIEW TAUPE", FIELD, EGGSHELL                       | X    |      |
| PAINT          | PT-2  | BENJAMIN MOORE    | HC-84 "ELMIRA WHITE", TRIM, EGGSHELL                          | X    |      |
| PAINT          | PT-3  | BENJAMIN MOORE    | #2199-10 "SPACE BLACK", ACCENT, SEMI-GLOSS                    | X    | X    |
| PAINT          | PT-4  | BENJAMIN MOORE    | OC-38 "ACADIA WHITE", ACCENT, EGGSHELL TO MATCH EXISTING TRIM |      | X    |

**LEGEND - MATERIAL**

|               | KEY   | MANUFACTURER          | DESCRIPTION                              | 2014 | 2016 |
|---------------|-------|-----------------------|--|------|------|
| ROOF          | AS-1  | GAF                   | ASPHALT SHINGLES "ANTIQUE SLATE"         | X    |      |
| ROOF          | SS-1  | DMI                   | "WEATHERED ZINC"                         |      | X    |
| SIDING        | FCS-1 | HARDIEPLANK           | "WOODSTOCK BROWN"                        |      | X    |
| SIDING        | FCS-2 | HARDIEPLANK           | "NAVAJO BEIGE"                           |      | X    |
| STORM WINDOWS | SW-1  | PROVIA                | "CAFE CREAM"                             |      | X    |
| WINDOWS       | VW-1  | ANDERSEN - SILVERLINE | VINYL, 2200 SERIES SINGLE HUNG, WHITE    | X    |      |
| WINDOWS       | ACW-1 | MARVIN OR PELLA       | ALUMINUM CLAD WOOD - COLOR TO MATCH SW-1 |      | X    |

**WORTHINGTON LODGE**

Worthington, Ohio 43085

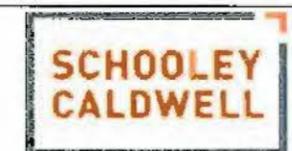
1820 & 1956 BUILDINGS  
ELEVATION COMPARISON



April 29th, 2016

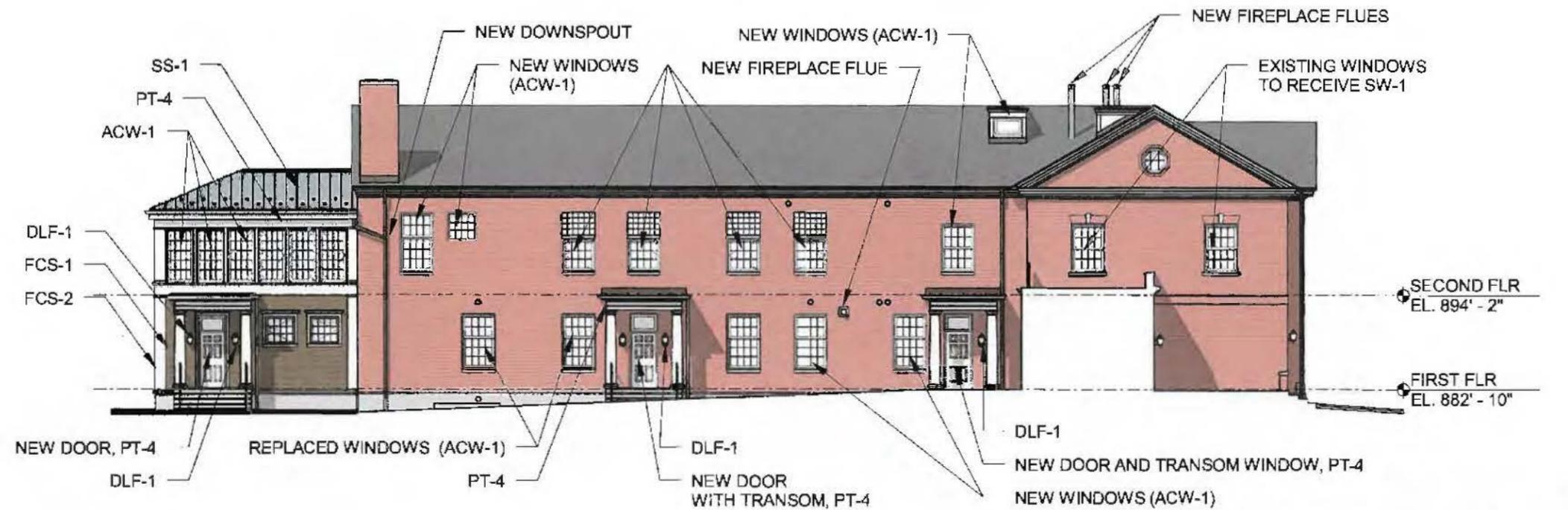
**WORTHINGTON LODGE, LLC**

45 N. Fourth Street, Suite 200  
Columbus, Ohio 43215



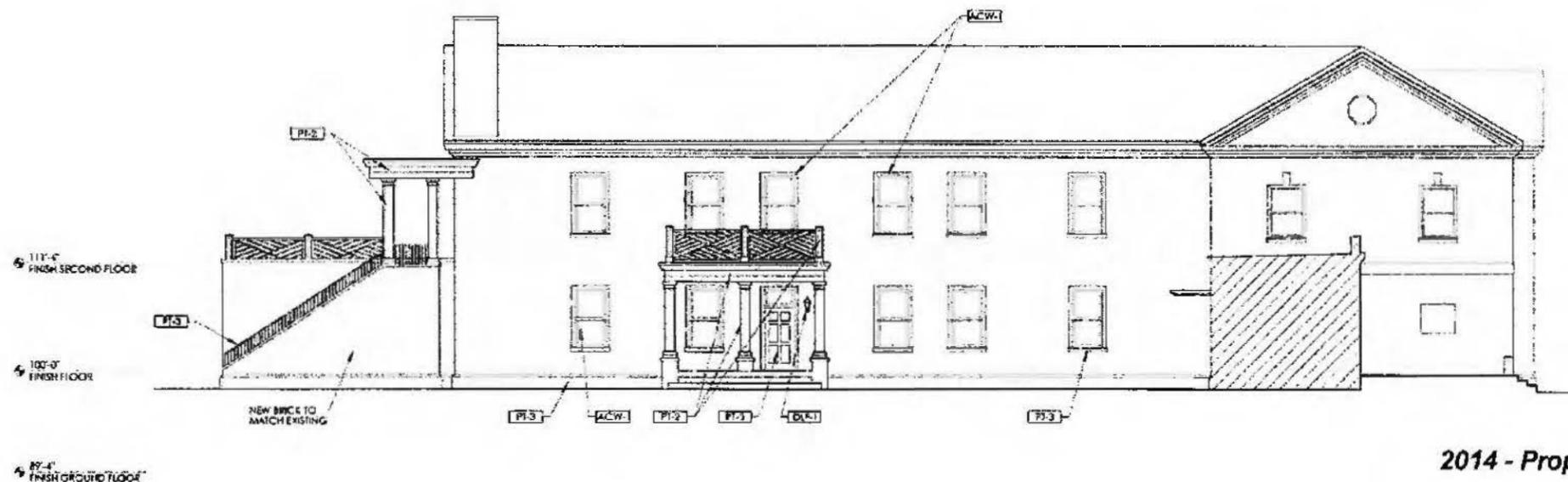
ARCHITECTURE. INSPIRED.

ARB 4



**2016 - Proposed North Elevation**

Scale: 1/16" = 1'-0"



**2014 - Proposed North Elevation**

CITY OF WORTHINGTON  
AR 104-16  
DRAWING NO.  
DATE 4-29-16

**LEGEND - MATERIAL**

|                | KEY   | MANUFACTURER      | DESCRIPTION  | 2014 | 2016 |
|----------------|-------|-------------------|--|------|------|
| FACE BRICK     | BRK-1 | GLEN-GARY         | POTOMAC - MORTAR: LAFARGE 'LAFARGE BEIGE'                      | X    | X    |
| LIGHT FIXTURES | DLF-1 | CAROLINA LANTERNS | TRADD STREET II - COLLECTION, FINISH 'COPPER'                  | X    | X    |
| PAINT          | PT-1  | BENJAMIN MOORE    | HC-85 'FAIRVIEW TAUPE', FIELD, EGG SHELL                       | X    |      |
| PAINT          | PT-2  | BENJAMIN MOORE    | HC-84 'ELMIRA WHITE', TRIM, EGG SHELL                          | X    |      |
| PAINT          | PT-3  | BENJAMIN MOORE    | #2199-10 'SPACE BLACK', ACCENT, SEMI-GLOSS                     | X    | X    |
| PAINT          | PT-4  | BENJAMIN MOORE    | OC-38 'ACADIA WHITE', ACCENT, EGG SHELL TO MATCH EXISTING TRIM |      | X    |

**LEGEND - MATERIAL**

|               | KEY   | MANUFACTURER          | DESCRIPTION                              | 2014 | 2016 |
|---------------|-------|-----------------------|--|------|------|
| ROOF          | AS-1  | GAF                   | ASPHALT SHINGLES 'ANTIQUE SLATE'         | X    |      |
| ROOF          | SS-1  | DMI                   | 'WEATHERED ZINC'                         |      | X    |
| SIDING        | FCS-1 | HARDIEPLANK           | 'WOODSTOCK BROWN'                        |      | X    |
| SIDING        | FCS-2 | HARDIEPLANK           | 'NAVAJO BEIGE'                           |      | X    |
| STORM WINDOWS | SW-1  | PROVIA                | 'CAFE CREAM'                             |      | X    |
| WINDOWS       | VW-1  | ANDERSEN - SILVERLINE | VINYL, 2200 SERIES SINGLE HUNG, WHITE    | X    |      |
| WINDOWS       | ACW-1 | MARVIN OR PELLA       | ALUMINUM GLAD WOOD - COLOR TO MATCH SW-1 |      | X    |

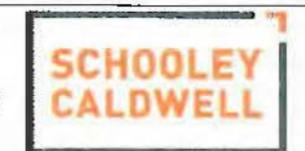
GARAGES  
ELEVATION COMPARISON



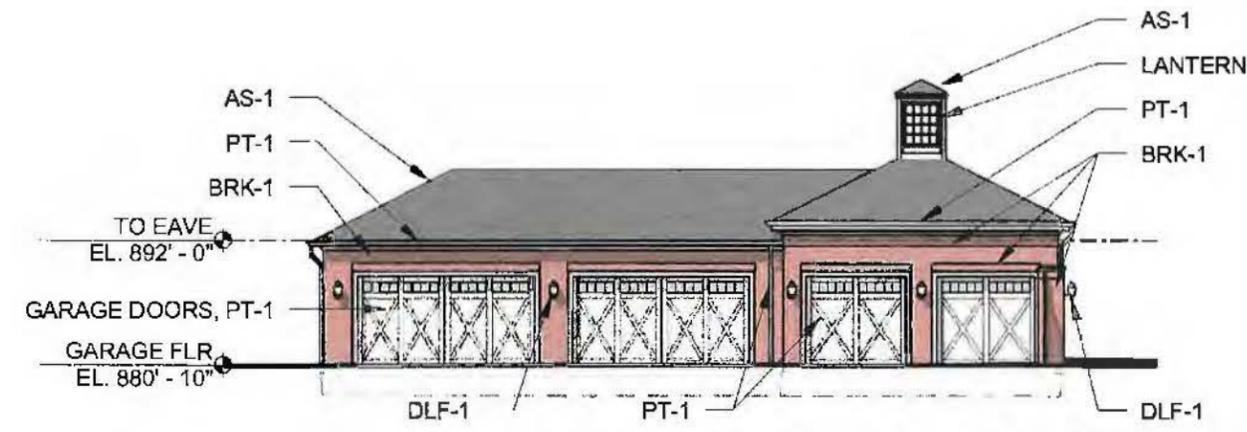
April 29th, 2016

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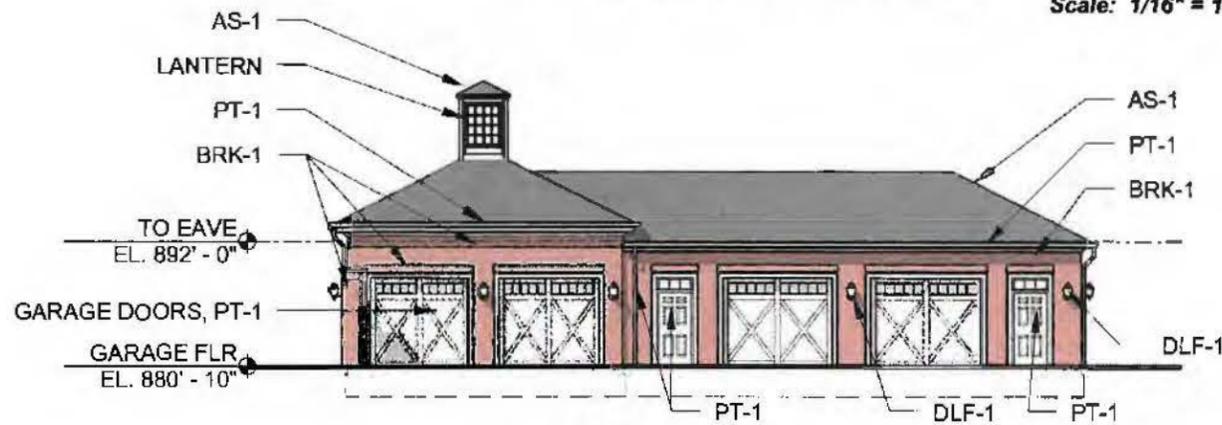


ARCHITECTURE. INSPIRED.



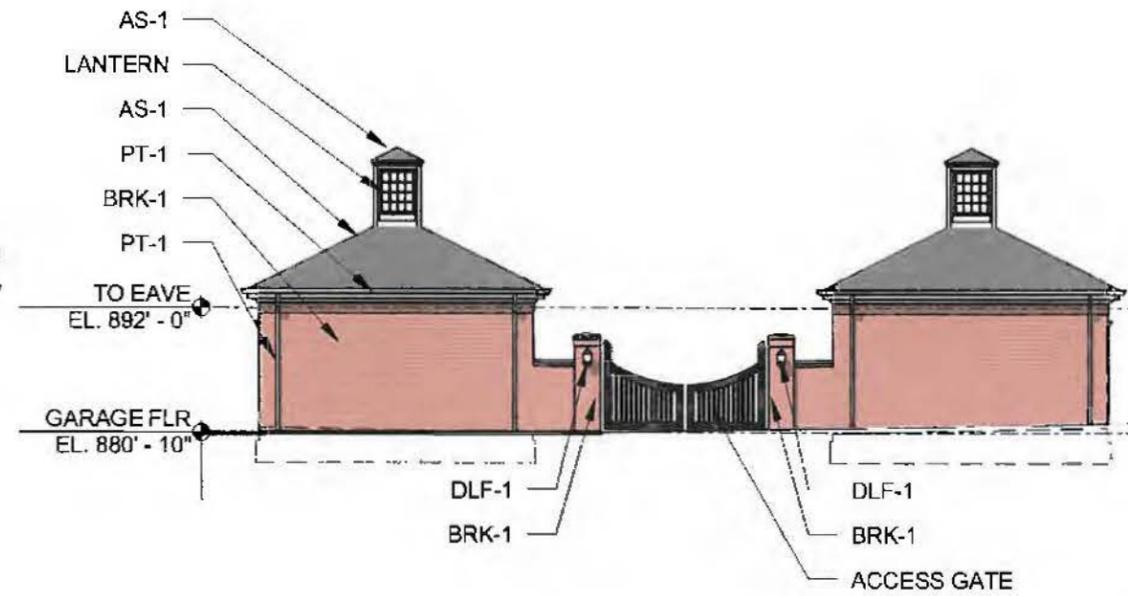
2016 - North Garage - Proposed South Elevation

Scale: 1/16" = 1'-0"



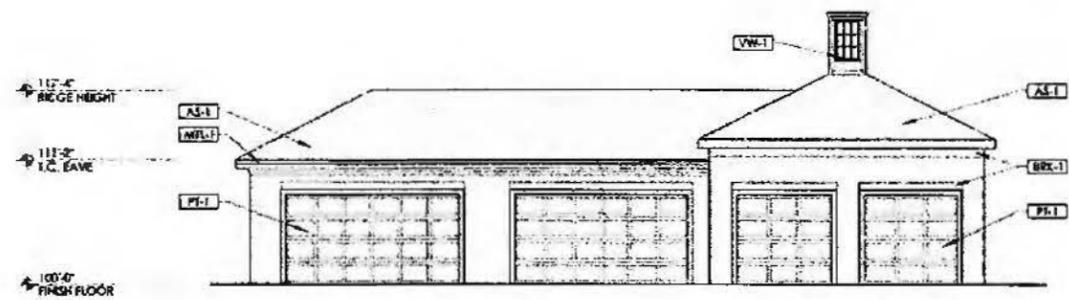
2016 - South Garage - Proposed North Elevation

Scale: 1/16" = 1'-0"

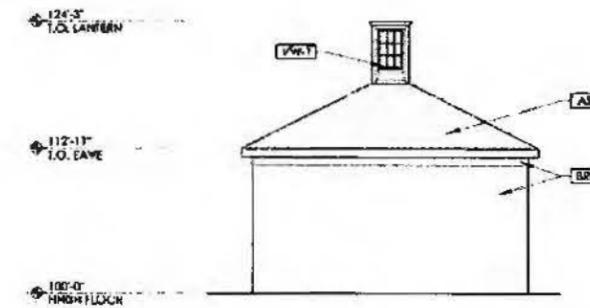


2016 - Garages - Proposed East Elevations

Scale: 1/16" = 1'-0"



2014 - Proposed South Elevation



2014 - Proposed East Elevation

LEGEND - MATERIAL

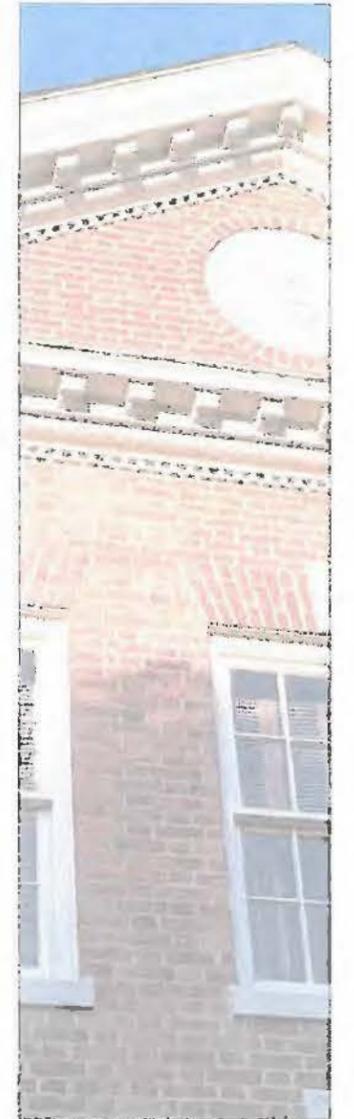
|                | KEY   | MANUFACTURER          | DESCRIPTION                                   | 2014 | 2016 |
|----------------|-------|-----------------------|---|------|------|
| FACE BRICK     | BRK-1 | GLEN-GARY             | MONTICELLO                                    | X    | X    |
| LIGHT FIXTURES | DLF-1 | CAROLINA LANTERNS     | TRADD STREET II - COLLECTION, FINISH "COPPER" |      | X    |
| ROOF           | AS-1  | GAF                   | ASPHALT SHINGLES "ANTIQUE SLATE"              | X    | X    |
| METAL          | MTL-1 | DMI                   | "CLASSIC BRONZE"                              | X    |      |
| PAINT          | PT-1  | BENJAMIN MOORE        | OC-38 "ACADIA WHITE", ACCENT, EGGSHELL        | X    | X    |
| WINDOWS        | VW-1  | ANDERSEN - SILVERLINE | VINYL, 2200 SERIES SINGLE HUNG, WHITE         | X    |      |
| WINDOWS        | ACW-1 | MARVIN OR PELLA       | ALUMINUM GLAD WOOD                            |      | X    |

CITY OF WORTHINGTON  
DRAWING NO. AR 1616-16

DATE 4-29-16

ARB 5

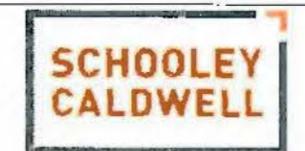
GARAGES  
ELEVATION COMPARISON



April 29th, 2016

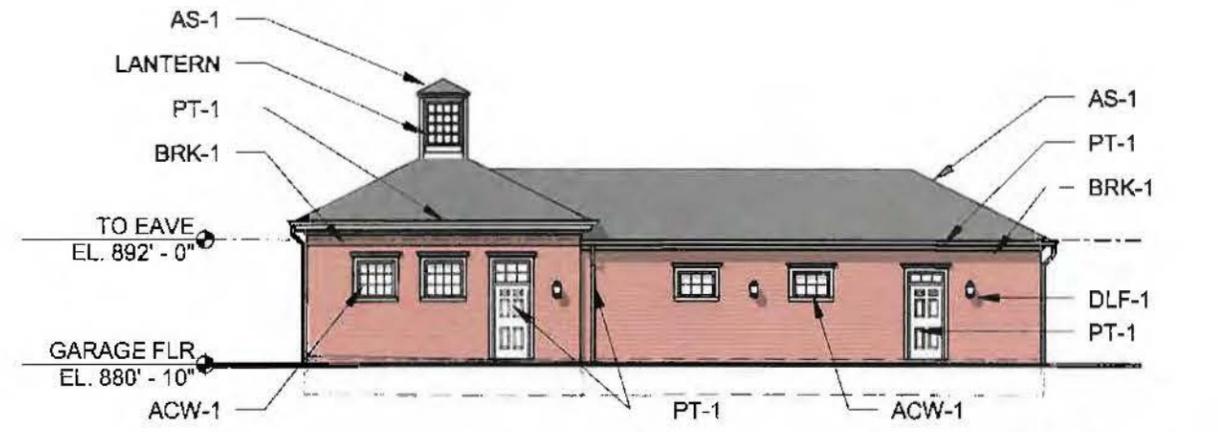
WORTHINGTON LODGE, LLC

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Columbus, Ohio 43215



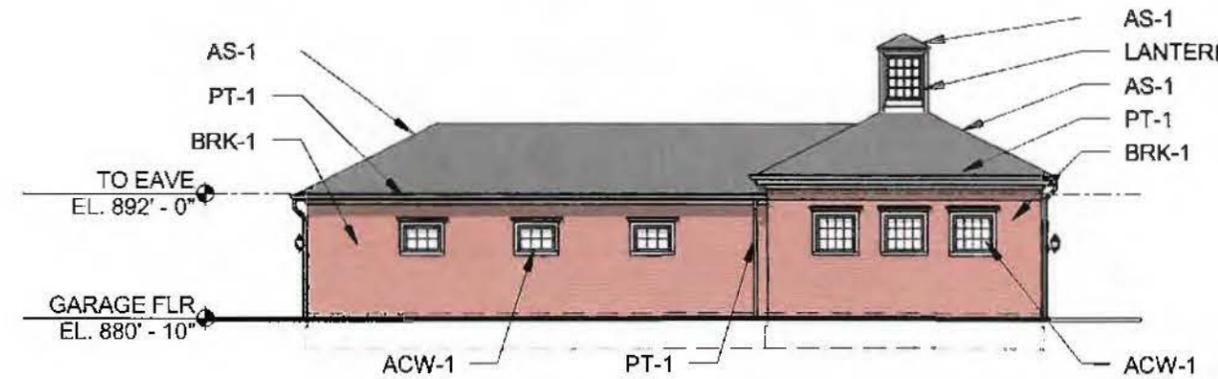
ARCHITECTURE. INSPIRED.

ARB 6



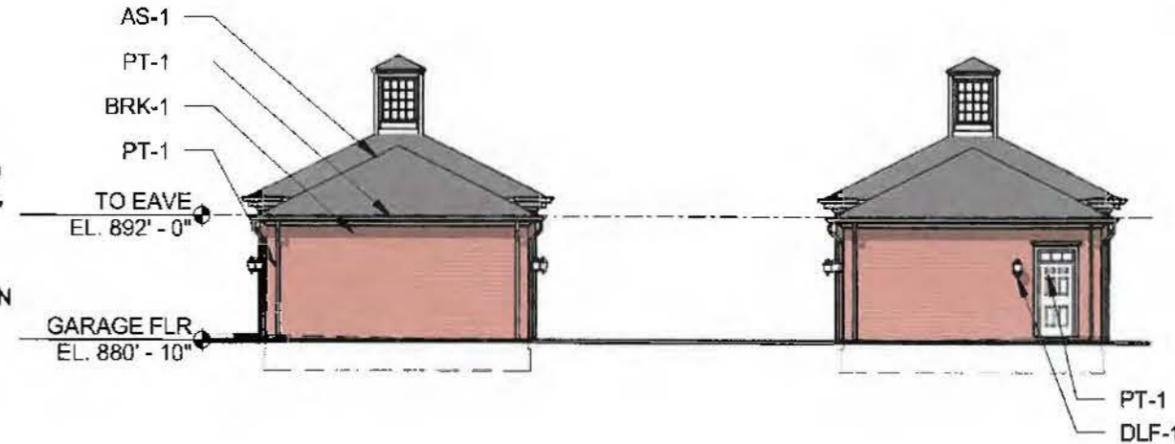
2016 - North Garage - Proposed North Elevation

Scale: 1/16" = 1'-0"



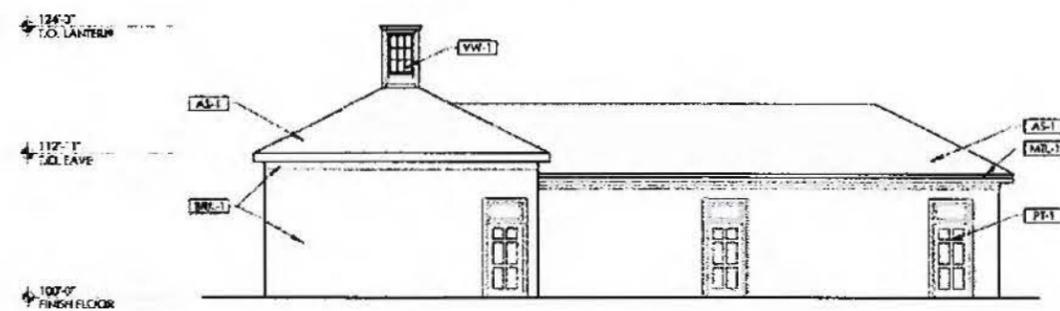
2016 - South Garage - Proposed South Elevation

Scale: 1/16" = 1'-0"

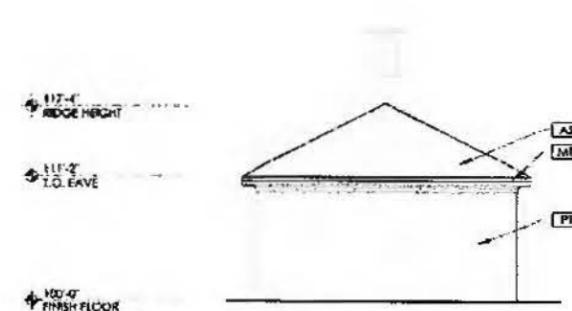


2016 - Garages - Proposed West Elevations

Scale: 1/16" = 1'-0"



2014 - Proposed Back Elevation



2014 - Proposed West Elevation

LEGEND - MATERIAL

|                | KEY   | MANUFACTURER          | DESCRIPTION                                   | 2014 | 2016 |
|----------------|-------|-----------------------|---|------|------|
| FACE BRICK     | BRK-1 | GLEN-GARY             | MONTICELLO                                    | X    | X    |
| LIGHT FIXTURES | DLF-1 | CAROLINA LANTERNS     | TRADD STREET II - COLLECTION, FINISH "COPPER" |      | X    |
| ROOF           | AS-1  | GAF                   | ASPHALT SHINGLES "ANTIQUE SLATE"              | X    | X    |
| METAL          | MTL-1 | DMI                   | "CLASSIC BRONZE"                              | X    |      |
| PAINT          | PT-1  | BENJAMIN MOORE        | OC-36 "ACADIA WHITE", ACCENT, EGGSHELL        | X    | X    |
| WINDOWS        | VW-1  | ANDERSEN - SILVERLINE | VINYL, 2200 SERIES SINGLE HUNG, WHITE         | X    |      |
| WINDOWS        | ACW-1 | MARVIN OR PELLA       | ALUMINUM CLAD WOOD                            |      | X    |

CITY OF WORTHINGTON  
DRAWING NO. AP 1616-16

DATE 4-29-16

TOWNHOMES  
ELEVATION COMPARISON

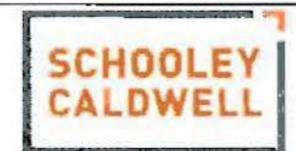


April 29th, 2016

WORTHINGTON LODGE, LLC

45 N. Fourth Street, Suite 200

Columbus, Ohio 43215



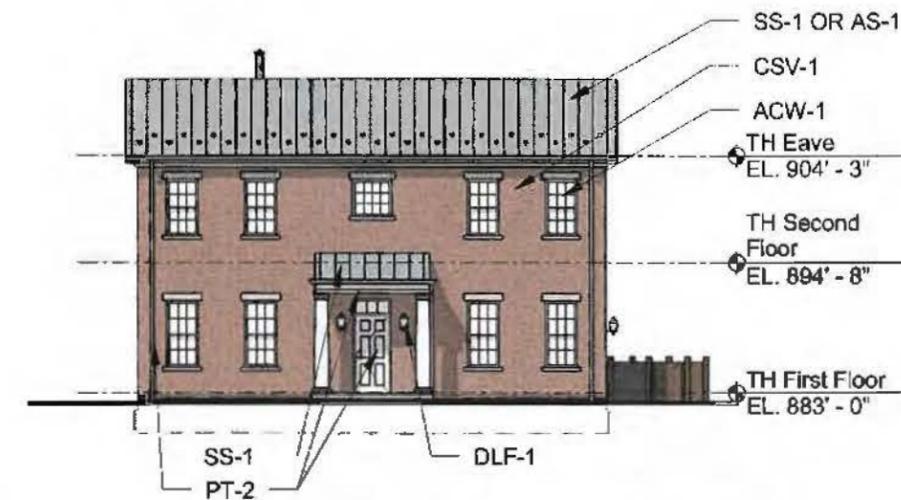
ARCHITECTURE. INSPIRED.

ARB 7



2016 - Proposed East Elevation

Scale: 1/16" = 1'-0"

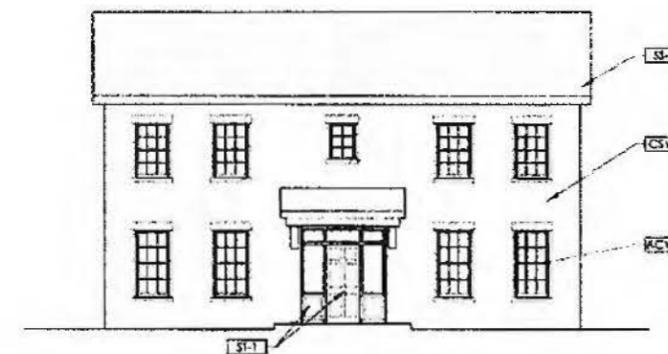


2016 - Proposed North Elevation

Scale: 1/16" = 1'-0"



2014 - Proposed East Elevation



2014 - Proposed North Elevation

LEGEND - MATERIAL

|                       | KEY   | MANUFACTURER          | DESCRIPTION                                   | 2014 | 2016 |
|-----------------------|-------|-----------------------|---|------|------|
| CULTURED STONE VENEER | CSV-1 | CASA DI SASSI         | 'CLASSIC OLD WORLD', DORATO                   | X    | X    |
| LIGHT FIXTURES        | DLF-1 | CAROLINA LANTERNS     | TRADD STREET II - COLLECTION, FINISH "COPPER" | X    | X    |
| PAINT                 | PT-1  | BENJAMIN MOORE        | 2112-20 "BROWN SUGAR", EGGSHELL               | X    |      |
| PAINT                 | PT-2  | BENJAMIN MOORE        | OC-38 "ACADIA WHITE", ACCENT, EGGSHELL        |      | X    |
| ROOF                  | AS-1  | GAF                   | ASPHALT SHINGLES "ANTIQUE SLATE"              |      | X    |
| ROOF                  | SS-1  | DMI                   | "WEATHERED ZINC"                              | X    | X    |
| SIDING                | FCS-1 | HARDIEPLANK           | "WOODSTOCK BROWN"                             |      | X    |
| SIDING                | FCS-2 | HARDIEPLANK           | "NAVAJO BEIGE"                                |      | X    |
| WINDOWS               | VW-1  | ANDERSEN - SILVERLINE | VINYL, 2200 SERIES SINGLE HUNG, WHITE         | X    |      |
| WINDOWS               | ACW-1 | MARVIN OR PELLA       | ALUMINUM CLAD WOOD                            |      | X    |

CITY OF WORTHINGTON

AR 166-116  
DRAWING NO.

DATE 4-29-16

TOWNHOMES  
ELEVATION COMPARISON

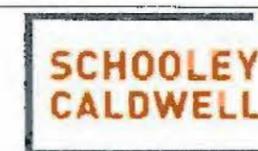


April 29th, 2016

WORTHINGTON LODGE, LLC

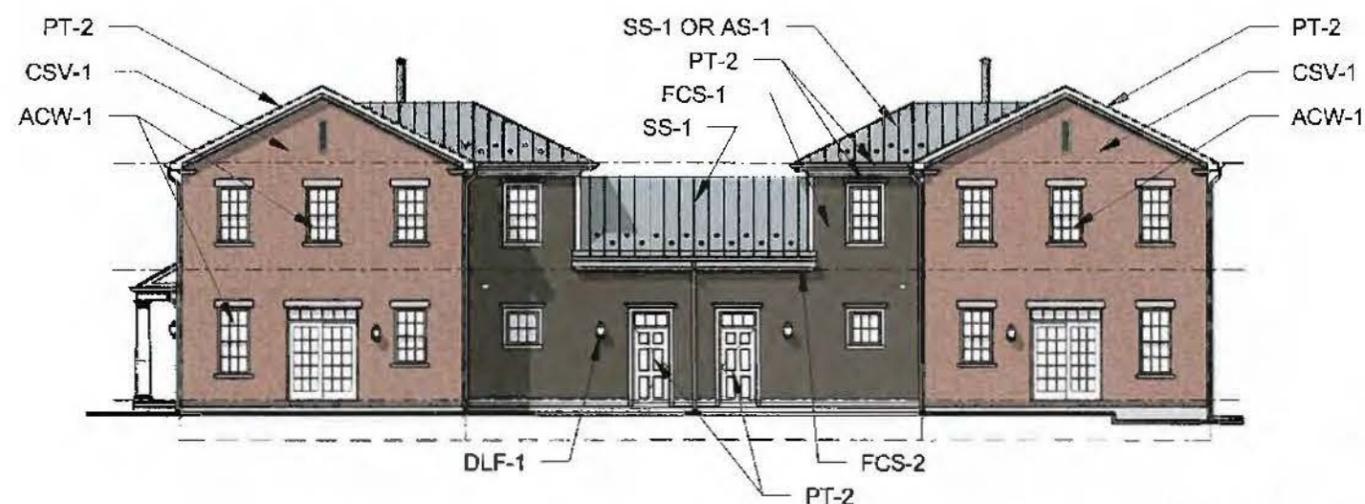
45 N. Fourth Street, Suite 200

Columbus, Ohio 43215



ARCHITECTURE. INSPIRED.

ARB 8



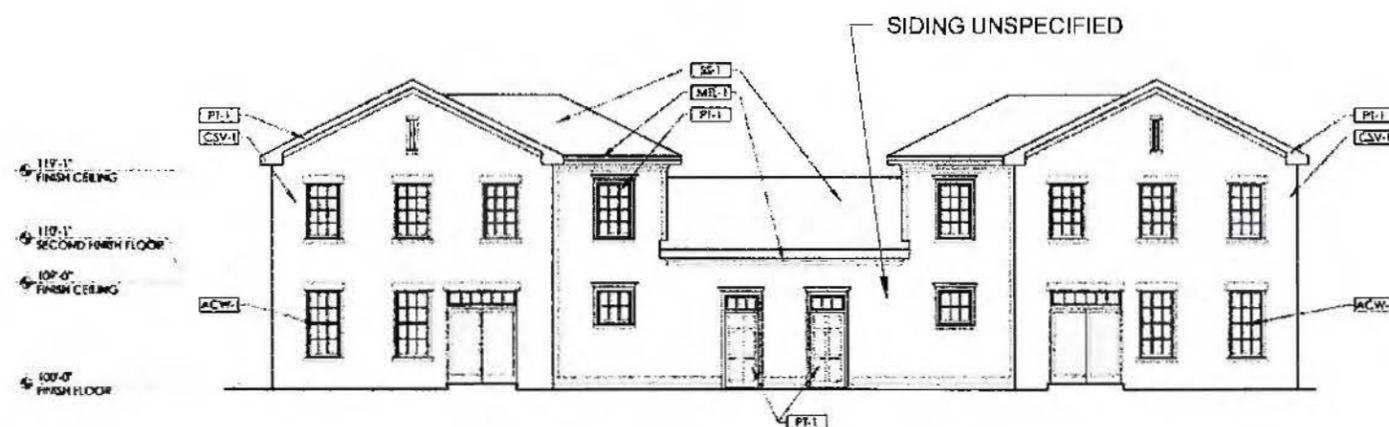
2016 - Proposed West Elevation

Scale: 1/16" = 1'-0"

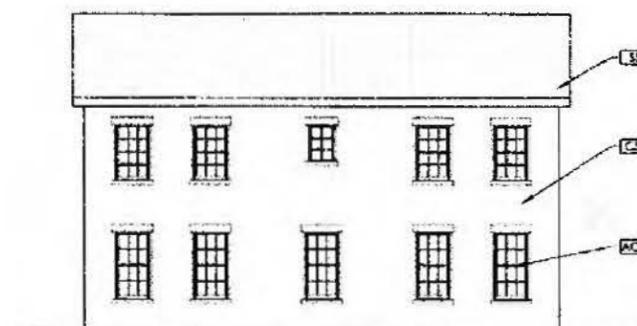


2016 - Proposed South Elevation

Scale: 1/16" = 1'-0"



2014 - Proposed West Elevation



2014 - Proposed South Elevation

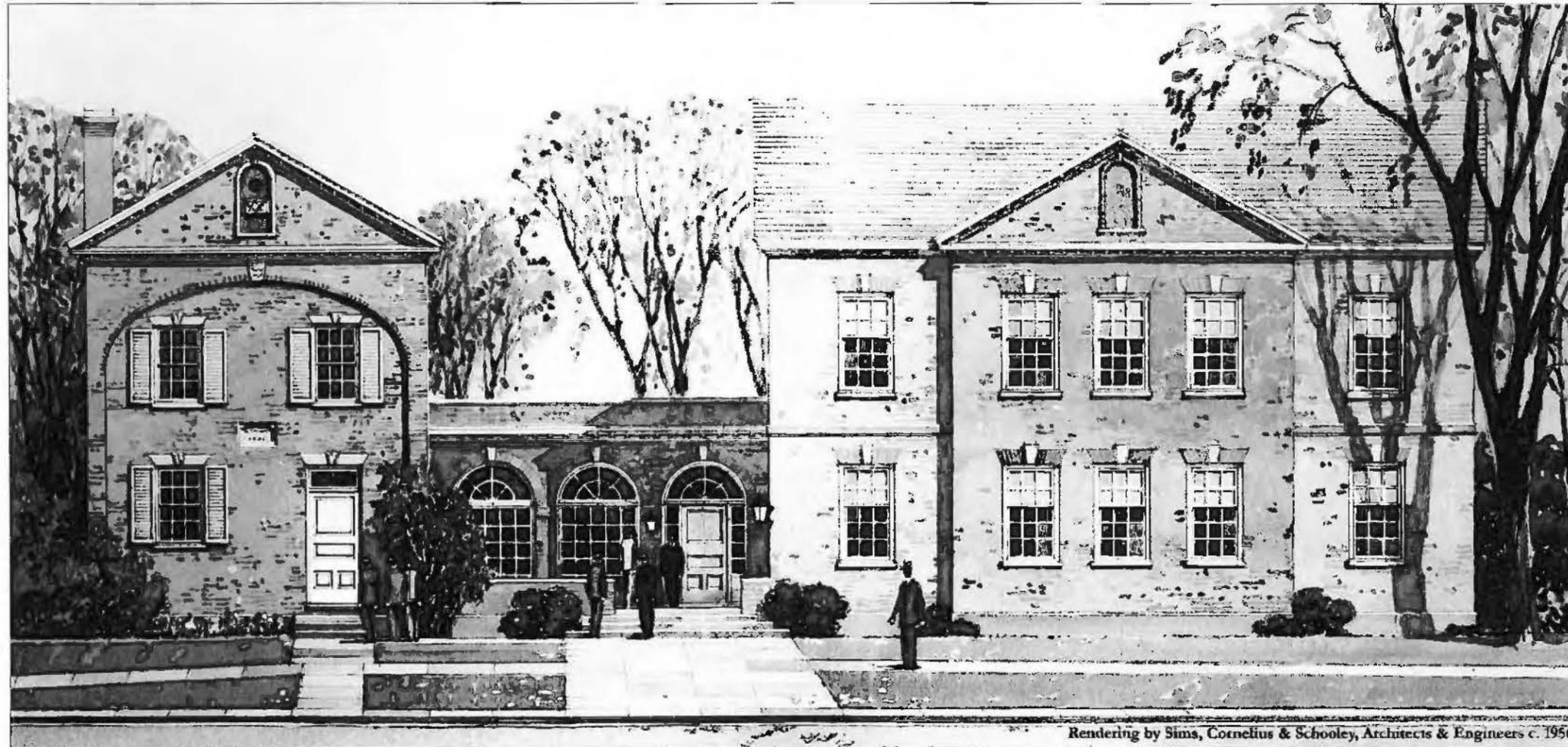
LEGEND - MATERIAL

|                       | KEY   | MANUFACTURER          | DESCRIPTION                                   | 2014 | 2016 |
|-----------------------|-------|-----------------------|---|------|------|
| CULTURED STONE VENEER | CSV-1 | CASA DI SASSI         | 'CLASSIC OLD WORLD', DORATO                   | X    | X    |
| LIGHT FIXTURES        | DLF-1 | CAROLINA LANTERNS     | TRADD STREET II - COLLECTION, FINISH "COPPER" | X    | X    |
| PAINT                 | PT-1  | BENJAMIN MOORE        | 2112-20 "BROWN SUGAR", EGGSHELL               | X    |      |
| PAINT                 | PT-2  | BENJAMIN MOORE        | OC-38 "ACADIA WHITE", ACCENT, EGGSHELL        |      | X    |
| ROOF                  | AS-1  | GAF                   | ASPHALT SHINGLES "ANTIQUE SLATE"              |      | X    |
| ROOF                  | SS-1  | DMI                   | "WEATHERED ZINC"                              | X    | X    |
| SIDING                | FCS-1 | HARDIEPLANK           | "WOODSTOCK BROWN"                             |      | X    |
| SIDING                | FCS-2 | HARDIEPLANK           | "NAVAJO BEIGE"                                |      | X    |
| WINDOWS               | VW-1  | ANDERSEN - SILVERLINE | VINYL, 2200 SERIES SINGLE HUNG, WHITE         | X    |      |
| WINDOWS               | ACW-1 | MARVIN OR PELLA       | ALUMINUM CLAD WOOD                            |      | X    |

CITY OF WORTHINGTON  
AR 166-16  
DRAWING NO.

DATE 4-29-16

**DRAWING  
SET A**



# Worthington Lodge



**Worthington Lodge  
Renovation**

634 High Street  
Worthington, Ohio 43085

**Worthington Lodge  
Garages**

634 High Street  
Worthington, Ohio 43085

Prepared For:  
**Worthington Lodge, LLC**

**SCHOOLEY  
CALDWELL**

ARCHITECTURE INSPIRED.

300 Marconi Boulevard T 614-628-6300  
Columbus OH 43215 F 614-628-6211  
schooleycaldwell.com

Consultants:

- Civil  
Advanced Civil Design  
625 Exchange Blvd  
Columbus, OH 43212
- Landscape  
Riepenhoff Landscape  
1012 North High Street  
Columbus, OH 43215
- Structural  
Kabel Associates  
1000 Broad Street, 4th Floor  
Columbus, OH 43215
- Mechanical  
Custom Air  
4337 North High Street  
Columbus, OH 43214
- Electrical  
Accurate Electric  
2217 Arroyo Parkway  
Worthington, OH 43085
- Plumbing  
Gray Mechanical  
1000 Broad Street  
Columbus, OH 43215
- Alconans Engineering  
1000 Broad Street  
Columbus, OH 43215

Drawing Issue Dates

PERMIT  
April 15th, 2016

Worthington Lodge Renovation

634 High Street  
Worthington, Ohio 43085

CITY OF WORTHINGTON  
AR 16-16  
DRAWING NO.

DATE 4-29-16

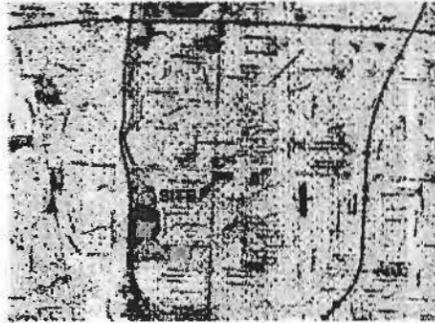
TITLE

General

**GO.0**

April 15th, 2016

15076.20



VICINITY MAP  
SCALE: NTS

**NOTES CORRESPONDING TO SCHEDULE B - SECTION II OF COMMITMENT No. 7-7628**

- 1) Platted Easements, Covenants, Conditions and Restrictions, or Building setback lines as shown on the recorded plat, recorded in Plat Book 3, page(s) 330 of the Franklin County Records. Affects subject parcel, however there are no restrictions on said plat that affect the subject parcel.
- 2) Easement recorded in Deed Book 1904, Page 433 of the Franklin County Records. Affects subject parcel or shown hereon.
- 3) Easement recorded in Deed Book 2823, Page 107 of the Franklin County Records. Affects subject parcel or shown hereon.
- 4) Covenants, Conditions and Restrictions, and all other matters, recorded in Deed Book 2823, Page 104 of the Franklin County Records. Affects subject parcel (Tract Two), however the restrictions contained therein are not survey related restrictions, but rather restrictions as to what type of facilities can be constructed on Tract Two.

**FLOOD NOTE**

By graphic plotting only this property is located in Zone "X" (Areas determined to be outside of the 500-year flood plain) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Plan No. 39049C1058K, with an effective date of June 17, 2006, in Franklin County, Ohio. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

**MISCELLANEOUS NOTES**

Dimensions on this plot are expressed in feet and decimal parts thereof unless otherwise noted. Measurements were found at points where indicated. There is no observable evidence of this site being used as a solid waste dump, pump or any kind of cesspool land fill.

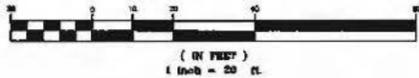
Any locations of underground utilities shown hereon are based upon visible above ground structures and/or record drawings provided to the surveyor. Locations of other ground utility lines and structures may vary from locations shown hereon. Additional buried utility lines and structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures.

The land described hereon is all of the land as described in Schedule A of the 11th Commitment as issued by Stewart Title Insurance Company, Commitment No. 7-7628, Effective date May 24, 2014 at 11:16 A.M.

**STATEMENT OF ENCROACHMENTS**

⚠️ Partial Encroachment South property line by dimensions shown.

**GRAPHIC SCALE**



**ALTA / ACSM CERTIFICATION**

For Showe Worthington, LLC, Stewart Title Insurance Company and Northwest Title Family of Companies, Inc.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, fully established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 8, 9, 11a and 15 of Table A Hereof. The field work was completed in June of 2016.

ADVANCED CIVIL DESIGN, INC.

*Douglas R. Hook* 6/10/16  
Registered Surveyor Date



**LEGAL DESCRIPTIONS**

**TRACT ONE:**  
Parcel One:  
Part of Lot Number One Hundred Seventeen (117) in said Village of Worthington, bounded as follows:  
Beginning at the Southeast corner of said Lot on Main Street (High Street), thence East along the South line of said Lot ninety (90) feet, thence North 87° (90) West thence West ninety (90) feet to said street; thence South with said street fifty (50) feet to the place of beginning.

**PARCEL TWO:**  
The North sixty (60) foot of Lot Number One Hundred Twenty-four (124) of the said Village of Worthington as the same is numbered and delineated on the recorded plat of said Village in the Recorder's Office, Franklin County, Ohio, and further described as follows:  
Beginning at the Northwest corner of said Lot No. 124; thence East along said north line 252 1/4 feet to the Northwest corner of Lot No. 123; thence South sixty (60) feet, thence West 223 1/4 feet; thence North along the West line of said Lot sixty (60) feet to the place of beginning.

**TRACT TWO:**  
Situated in the City of Worthington, County of Franklin and State of Ohio, and known as being part of Lot No. 117, in the City of Worthington and beginning at a point on the South line of New England Avenue, 162.50 feet East of the intersection of the East line of North High Street with the aforementioned South line of New England Avenue; thence East along the South line of New England Avenue 70.00 feet, thence South with an interior angle of 52° 34', 134.86 feet, thence North with an interior angle of 90° 00' 00" 182.56 feet; thence North with an interior angle of 80° 20', 32.00 feet, thence East with an interior angle of 90° 00', 32.50 feet; thence North with an interior angle of 27° 00', 84.67 feet to the South line of New England Avenue, thence an angle of 90° 00' 00" and being the point of beginning, containing 0.3227 Acres, more or less.

**TRACT THREE:**  
Situated in the State of Ohio, County of Franklin, City of Worthington; being part of Lot 118 of the Town of Worthington, on the same is numbered and delineated upon the recorded plat hereof, of record in Plat Book 2, page 330, Recorder's Office, Franklin County, Ohio and being more particularly described as follows:

Beginning at an iron pin found at the Northwest corner of said Lot 118, also being the Northwest corner of Lot 117, also being the South Right-of-Way of New England Avenue (88 Feet), and also being the True Place of Beginning of the herein described land:  
Thence along the North line of said Lot 118 and the South Right-of-Way of said New England Avenue, 17° 50' 15" E, 72.78 Feet to an iron pin set;

Thence, along a new line through said Lot 118, South, 134.88 Feet to an iron pin set on the South line of said Lot 118 and also on the North line of Lot 122;

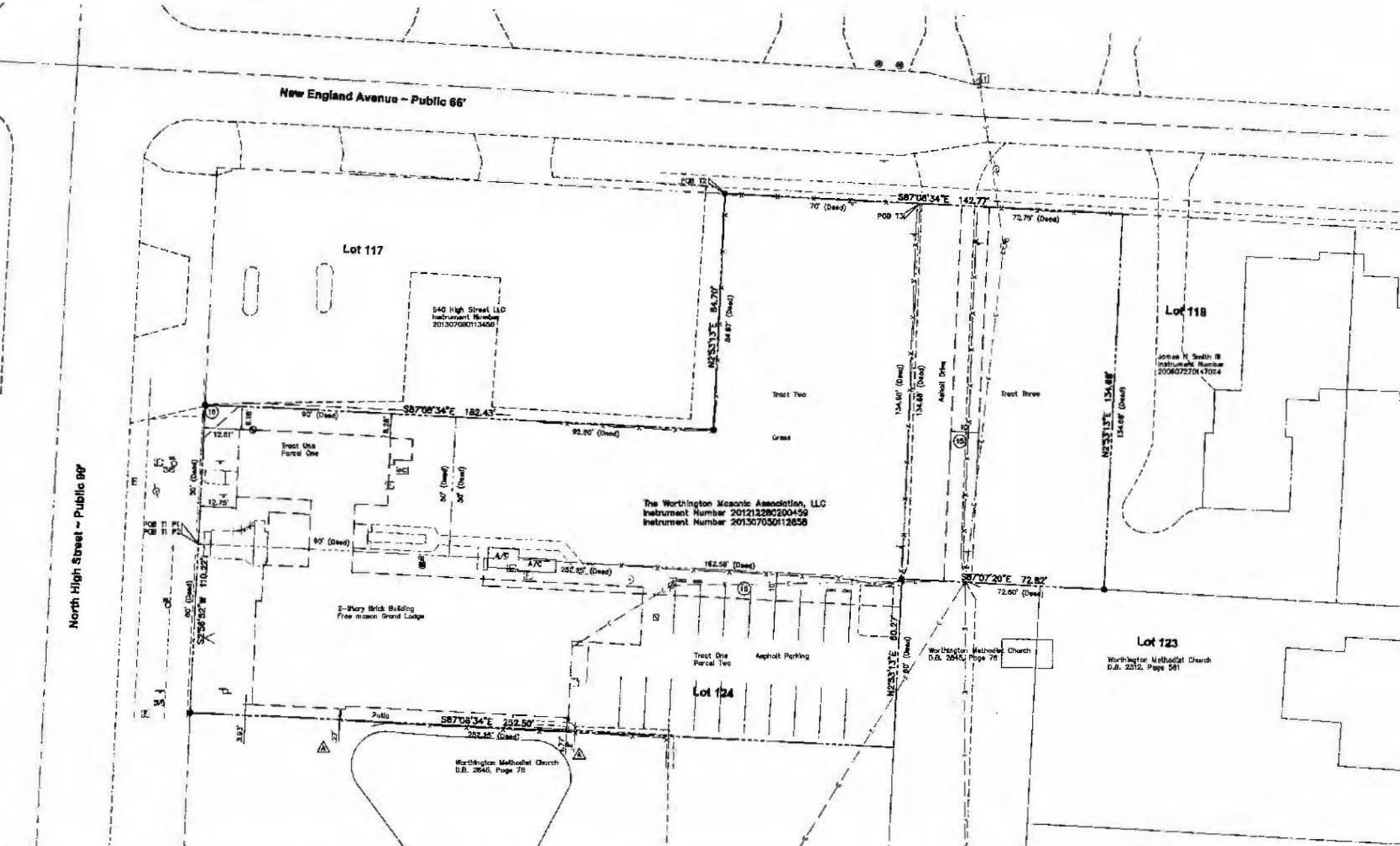
Thence, along the South line of said Lot 118 and the North line of said Lot 123, S 89° 58' 16" W, 72.80 feet, to an iron pin set at the Southeast corner of said Lot 118, also being the Northwest corner of said Lot 123, also being the Northeast corner of Lot 124, and also being the Southeast corner of said Lot 117;

Thence, along the West line of said Lot 118 and the East line of said Lot 117, N 07° 00' 00" W, 134.00 Feet to the True Place of Beginning, containing 0.2245 acres, more or less, subject however to all legal easements, restrictions and right-of-way of record and record in their respective utility offices.

The mode of bearings is an assumed meridian of North on Hartford Street, iron pin set on 1" O.D. with yellow plastic caps marked "PLUMMER PS 7566".

**LEGEND**

- Iron Pin Found
- ⊗ Iron Pin Set W / Cap
- ✕ PK Nail Found
- ⊗ PK Nail Set
- ▲ RR Spike Found
- ⊗ RR Spike Set
- ⊠ Monument Box
- ⊗ Monument
- ⊙ Concrete Post
- ⊗ Electric Meter
- ⊠ Tacked Hub / Tray Pl
- ⊗ Electric Transformer
- ⊙ Post Sign / Lamp
- ⊗ Comm. Manhole
- ⊙ Sign
- ⊗ Tel Pedestal
- ⊙ Billboard / CH Sign
- ⊗ Pole Elec
- ⊙ Deciduous Tree
- ⊗ Pole Elec Tel
- ⊙ Pine Tree
- ⊗ Pole Elec Tel Light
- ⊙ Shrub
- ⊗ Pole Tel
- ⊙ Secondary Manhole
- ⊗ Pole Tel Light
- ⊙ Sanitary Manhole
- ⊗ Pole Light
- ⊙ Storm Manhole
- ⊗ Pole Signal
- ⊙ Catch Basin
- ⊗ Traffic Box
- ⊙ Durb Inlet W / Grate
- ⊗ Guy Pole
- ⊙ Gas Valve
- ⊗ Guy Wire
- ⊙ Gas Meter
- ⊗ Fire Hydrant
- ⊙ Underground Line Marker
- ⊗ Water Valve
- ⊙ Sprinkler Valve Box
- ⊗ Mailbox
- ⊙ Monitoring etc



CITY OF WORTHINGTON  
AR 616-16  
DRAWING NO.  
DATE 4-29-16

City of Worthington, Franklin County, Ohio  
Being Parts of Lots 117, 118 and 124 of  
the plat of the Village of Worthington

**ALTA/ACSM Land Title Survey**

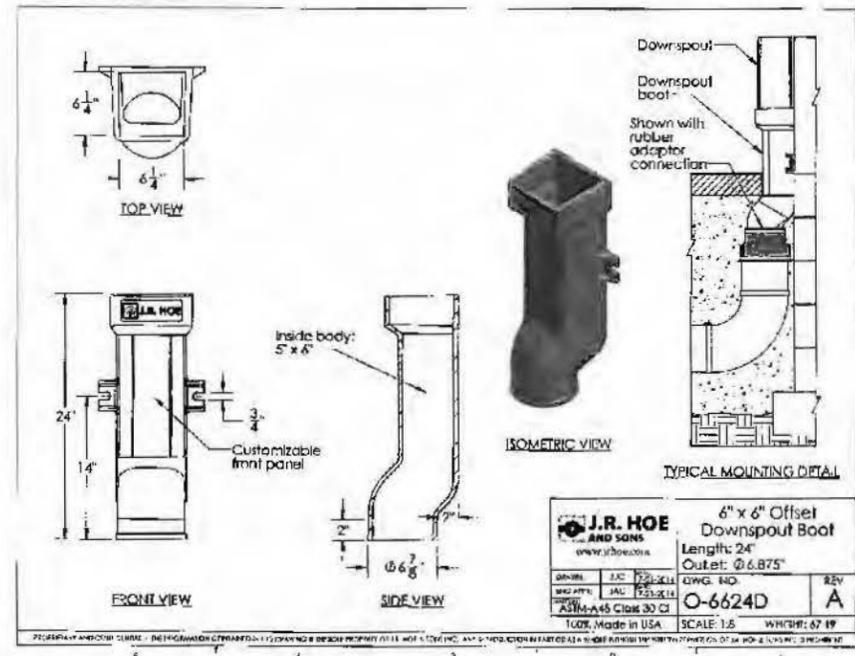
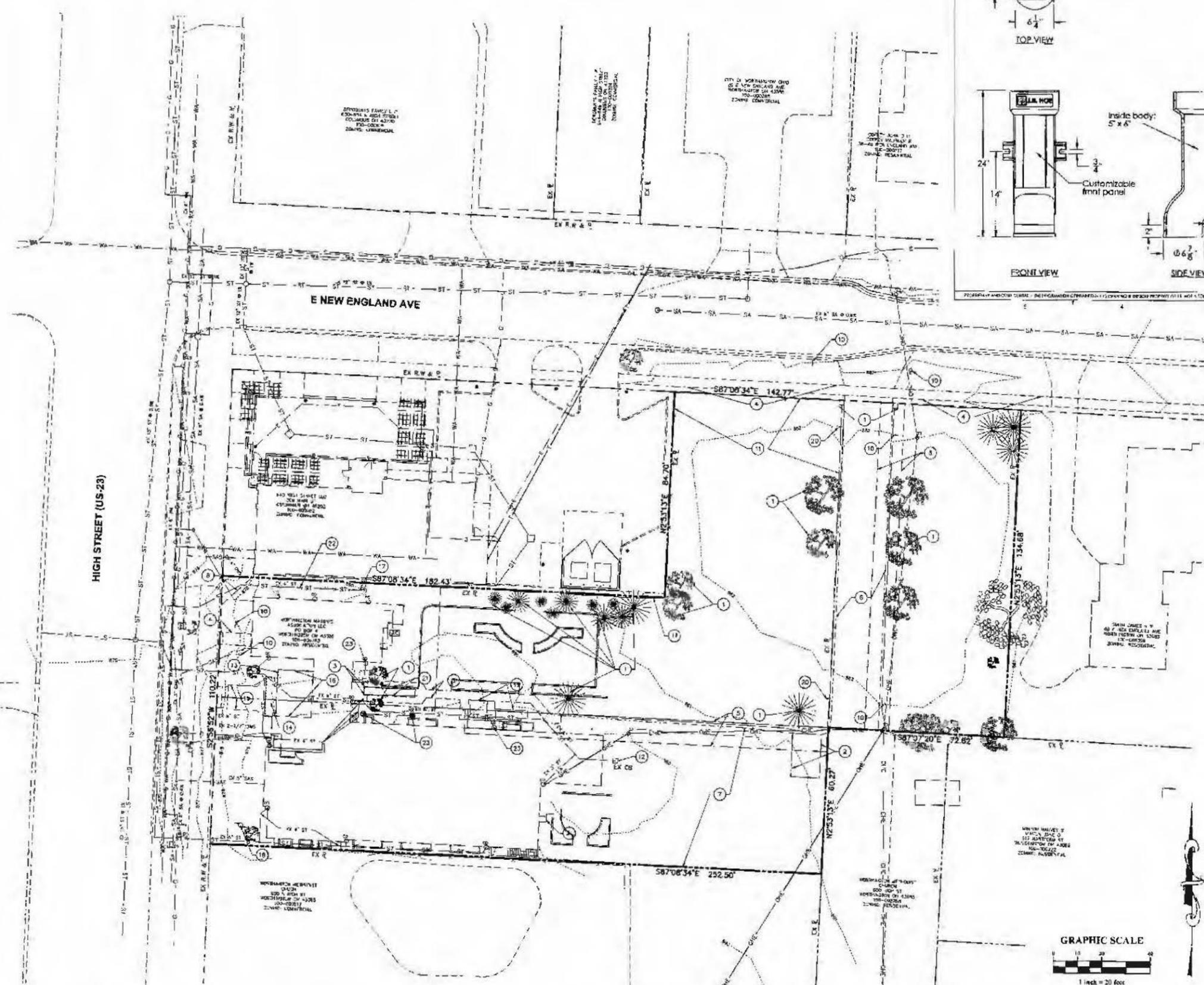
PLAN PREPARED BY: DRH  
CHECKED BY: BOK

**ADVANCED CIVIL DESIGN**  
422 Resner Road  
Columbus, Ohio 43230  
PH 614.428.7739  
FX 614.428.7739

SCALE: 1" = 20'  
DATE: June 5, 2016

SHEET 1 / 1  
JOB NO.: 14-001-468

2/14/2016 4:45 PM PRODUCTION DRAWINGS SITE CONSTRUCTION 148 548 - Existing Conditions.dwg EXISTING CONDITIONS APR 15, 2016 - 3:04:30 PM MLL/MLN



|   |                            |                               |  |
|---|----------------------------|-------------------------------|--|
| <b>J.R. HOE AND SONS</b><br>www.jrhoe.com |                            | 6" x 6" Offset Downspout Boot |  |
| Length: 24"                               |                            | Outlet: @ 6.875"              |  |
| UNITS: IAC                                | DESIGNER: DWG. NO. O-6624D | REV: A                        |  |
| DATE: 12/22/14                            | SCALE: 1:5                 | WHICH: 67 19                  |  |
| 100% Made in USA                          |                            |                               |  |

**LEGEND**

- 1 EXISTING TREE(S) AND/OR LANDSCAPING TO BE REMOVED. REFERENCE LANDSCAPE PLAN FOR DETAILS
- 2 EXISTING DUMPSTER PAD TO BE REMOVED
- 3 EXISTING CURB CUT, CURB, STAIRS AND/OR WALK TO BE REMOVED
- 4 EXISTING WALK TO BE REMAIN
- 5 EXISTING 12" ELECTRIC EASEMENT, PER DB 1984, PG. 485. (DB STANDS FOR DEED BOOK, RECORDS AVAILABLE THRU FRANKLIN COUNTY RECORDERS OFFICE)
- 6 EXISTING DRIVE TO REMAIN
- 7 EXISTING PARKING LOT TO BE REMOVED. SEE DEMO PLAN FOR LAYOUTS.
- 8 EXISTING INGRESS/EGRESS EASEMENT, PER DB 2655, FILE #97 199 STANDS FOR DEED BOOK, RECORDS AVAILABLE THRU FRANKLIN COUNTY RECORDERS OFFICE)
- 9 EXISTING SIGN TO BE REMOVED
- 10 EXISTING SIGN TO REMAIN
- 11 EXISTING FENCE TO BE REMOVED. SEE LANDSCAPE PLAN FOR DETAILS
- 12 EXISTING DITCH BARRI TO BE REMOVED & DISPOSED OF PER C.O.D. CIVAS ITEM 202
- 13 EXISTING BRICK WALL TO BE REPAIRED AS NEEDED
- 14 EXISTING STONE STAIRS TO REMAIN
- 15 CONCRETE STAIRS, HAND RAIL AND SIDEWALK TO BE REMOVED, AND REPLACED, REFERENCE LANDSCAPE PLAN FOR DETAILS.
- 16 EXISTING PATIO TO BE OVERLAD WITH ERICK PAVERS, SEE LANDSCAPE PLAN FOR DETAIL.
- 17 EXISTING STORM SEWER TO BE BELIFIED AND REPAIRED IF NEEDED. YARD DRAIN TO BE INSTALLED ON EAST END OF STORM SEWER, AND AREA GRADED TO ENSURE POSITIVE DRAINAGE.
- 18 EXISTING SPOT LIGHT FOR FLAG POLE TO BE REWIRED, SEE ELECTRICAL DRAWINGS.
- 19 EXISTING MECHANICAL EQUIPMENT AND PANS TO BE REMOVED
- 20 EXISTING SIGN TO BE RELOCATED, COORDINATE LOCATION WITH DEVELOPER'S FIELD.
- 21 EXISTING PORCH, STAIRS AND HAND RAIL TO BE REMOVED
- 22 CONTRACTOR TO PROVIDE AN ALT. BID ITEM TO REPLACE RUN OF EX 4" ST AND DOWN SPOUT THE INS EX DOWN SPOUT NOT TIED IN TO BE TIED IN EVEN IF ALT. IS NOT PERFORMED.
- 23 CONTRACTOR TO REMOVE EX AREA DRAINS, AND REPLACE LEADERS FROM DOWN SPOUTS TO 6" MAINLINE. EX DOWN SPOUT CONNECTIONS TO BE ADJUSTED TO GRADE. DOWNSPOUT BOOT TO BE ADDED. SEE DETAIL THIS SHEET, OR USE EQUAL.

- 9" — EXISTING STORM
- 18" — EXISTING STORM
- SA — EXISTING SANITARY
- SAS — EXISTING SANITARY SERVICE
- WA — EXISTING WATER MAIN
- T — EXISTING UT TELEPHONE
- OHL — EXISTING OVER HEAD ELECTRIC
- E — EXISTING LD ELECTRIC
- — — ALT BID ITEM (SEE NOTE)



WORTHINGTON LODGE, LLC  
45 N. FOURTH STREET  
SUITE 200  
COLUMBUS, OH 43215

CITY OF WORTHINGTON / FRANKLIN COUNTY, OH  
WORTHINGTON LODGE  
EXISTING CONDITIONS  
WORTHINGTON LODGE, LLC  
SITE CONSTRUCTION PLAN

CITY OF WORTHINGTON  
*AR, 4-16-16*  
DRAWING NO.

DATE *4-29-16*

Date: 4/15/2016  
Scale: 1" = 20'  
Drawn By: PG  
Checked By: JWH  
Project Number: 14-0001-648  
Drawing Number: 3 / 8







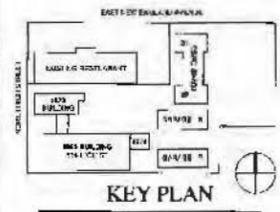


**Consultants:**

- Civil: Advanced Civil Design, 2000 North 1st Street, Columbus, OH 43201
- Landscaping: Rosenblatt Landscape, 1000 North 1st Street, Columbus, OH 43201
- Structural: Kahl Associates, 2000 North 1st Street, Columbus, OH 43201
- Mechanical: Custom Air, 2000 North 1st Street, Columbus, OH 43201
- Electrical: Accurate Electric, 2000 North 1st Street, Columbus, OH 43201
- Roofing: Gray Mechanical, 2000 North 1st Street, Columbus, OH 43201
- Altering/Engineering: Altering Engineering, 2000 North 1st Street, Columbus, OH 43201

**Drawing Issue Dates**

PERMIT  
 April 15th, 2016



Worthington Lodge Renovation

634 High Street  
 Worthington, Ohio 43085

CITY OF WORTHINGTON  
 AR 16-16  
 DRAWING NO.

DATE 4-29-16

1820 & 1956 - EXTERIOR ELEVATIONS - DEMOLITION

Architectural

**AD1.21**

April 15th, 2016

15079.20

**GENERAL NOTES - DEMOLITION**

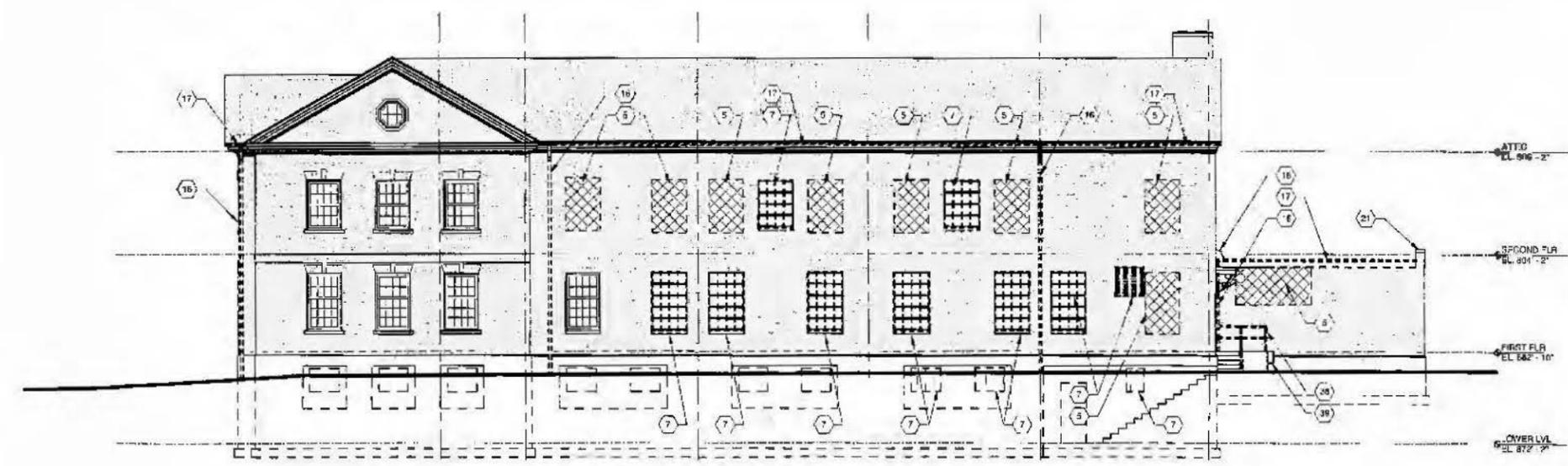
1. DO NOT SCALE DRAWINGS. DIMENSIONS IN LARGER SCALE PLANS, ELEVATIONS AND DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
2. DIMENSIONS SHOWN ON THE FLOOR PLANS FOR ARE TO CENTERLINE OF COLUMNS TO FINISH FACE OF INTERIOR PARTITION AND TO EXTERIOR FACE OF EXTERIOR WALLS.
3. FOLLOW THE PROCEDURES FOUND IN THE SAFETY PROGRAM BY THE CONSTRUCTION MANAGER.
4. CONTRACTOR IS RESPONSIBLE FOR CAREFUL REMOVAL OF STRUCTURAL ELEMENTS COORDINATE WITH STRUCTURAL DOCUMENTS.
5. PROVIDE SELECTIVE DEMOLITION OF WINDOWS, ROOFING OR OTHER ELEMENTS OF THE BUILDING ENVELOPE ONLY IN CLOSE COORDINATION WITH THE REQUIREMENTS OF THE TRADES REPLACING THOSE ELEMENTS.
6. EXECUTE DEMOLITION TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. REVIEW ALL SECTIONS OF THE DRAWINGS FOR DETAILED DESCRIPTIONS OF THE NEW CONSTRUCTION TO BE ACCOMMODATED.
7. SEE MECHANICAL, ELECTRICAL, TECHNOLOGY, PLUMBING, AND FIRE PROTECTION DOCUMENTS FOR SPECIFIC DEMOLITION REQUIREMENTS. AS A MINIMUM, ALL INFRASTRUCTURE WHICH IS NOT COMPLETELY REMOVED IS TO BE CAPPED NEATLY AT THE FACE OF SUBSTRATES TO REMAIN EXPOSED OR LEAVE THE NEW FINISH AT SUBSTRATES TO BE COVERED.
8. WHERE EXISTING MATERIALS OR SYSTEMS ARE TO BE REUSED IN NEW CONSTRUCTION OR ARE TO REMAIN IN PLACE PROTECT SUCH MATERIALS AND SYSTEMS SO THAT THEY MAY BE CONTINUED OR RETURNED TO NORMAL SERVICE. RESTORE ANY EXISTING WORK TO REMAIN WHICH IS DAMAGED BY THE OPERATIONS OF THE CONTRACTOR TO THE LEVEL OF SERVICEABILITY AND APPEARANCE WHICH EXISTED BEFORE THE DAMAGE OCCURRED.
9. WHERE EXISTING CONSTRUCTION TO REMAIN IS DAMAGED BY THE REMOVAL OF EXISTING CONSTRUCTION OR ANY OTHER WORK, REPAIR OR REPLACE THE DAMAGED CONSTRUCTION SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR AND PREPARE EXISTING SURFACE TO RECEIVE NEW SCHEDULED FINISHES.
10. WHERE EXISTING GUTTERS, PIPES AND ELECTRICAL CONDUITS ARE LEFT EXPOSED FROM DEMOLITION WORK IN FINISHED SPACES, THE CONTRACTOR SHALL ENCLOSE THEM WITH A GYPSUM WALLBOARD PARTITION.
11. WHERE LEVEL CHANGES, HOLES, DEPRESSIONS, OR FORMED TRENCHES ARE INCURRED IN EXISTING CONCRETE SLAB BY THE REMOVAL OF EXISTING WALLS, FLOORING OR ANY OTHER DEMOLITION ACTION, THE CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONCRETE SURFACES WITH A LATEX DII CONCRETE LEVELING COMPOUND UNLESS SPECIFIED OTHERWISE TO PRODUCE A SMOOTH LEVEL SURFACE TO RECEIVE NEW FINISHES.
12. WHERE PIPES, CONDUITS, DUCTWORK, ETC. ARE TO BE REMOVED FROM EXISTING WALL PARTITIONS TO REMAIN, THE CONTRACTOR SHALL LEVEL THE OPENING WITH MATERIALS THAT MATCH THE EXISTING CONSTRUCTION, OR AN UL APPROVED MATERIAL TO MAINTAIN THE EXISTING FIRE RATED ASSEMBLY.
13. WHERE PIPES, CONDUITS, DUCTWORK, ETC. ARE TO BE REMOVED FROM ANY FLOOR OR ROOF ASSEMBLY TO REMAIN, THE CONTRACTOR SHALL LEVEL THE OPENING WITH MATERIALS TO MAINTAIN DESIGNATED FIRE OR SMOKE RATING, AS INDICATED BELOW:
  - A. AREAS GREATER THAN 2' THE OPENING MUST BE FILLED WITH A CONCRETE SYSTEM SIMILAR TO EXISTING.
  - B. AREAS NOT EXPOSED TO VIEW, OR GREATER THAN 6", THE OPENING MUST BE FILLED WITH A CONCRETE SYSTEM SIMILAR TO EXISTING.
  - C. AREAS NOT EXPOSED TO VIEW, OR CEASED BY CONSTRUCTION OR WHERE THE OPENING IS LESS THAN 6" THE OPENING MUST BE FILLED WITH AN UL DESIGN SYSTEM AS SPECIFIED IN DIVISION 7 THROUGH PENETRATION RESISTIVE MATERIALS.
14. ALL EXISTING WAINSCOT AND ASSOCIATED MILLWORK TO BE CAREFULLY REMOVED, CLEANED, AND GIVEN TO OWNER.

**LEGEND - SYMBOL**

- (B) INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES.
- [Solid Line] EXISTING AREA TO REMAIN
- [Dashed Line] EXISTING WALL TO REMAIN
- [Thin Solid Line] NEW WALL
- [Thick Dashed Line] RELOCATED EXISTING DEMOUNTABLE PARTITION
- [Dotted Line] EXISTING WALL, DOOR OR WINDOW TO BE REMOVED
- [Thin Solid Line with Arrow] EXISTING DOOR TO REMAIN
- [Thin Solid Line with X] EXISTING FLOOR SYSTEM TO BE REMOVED
- [Thin Solid Line with Dotted] EXISTING FLOOR FINISH SYSTEM OR ROOFING SYSTEM TO BE REMOVED

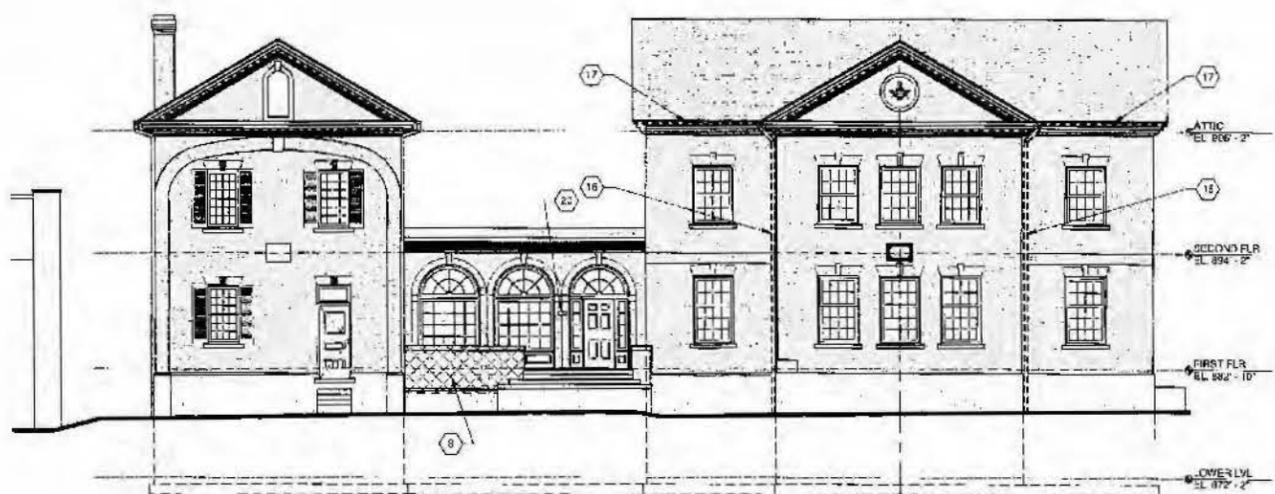
**CODED NOTES - DEMO - ELEVATIONS**

4. EXISTING DOOR AND DOOR FRAME TO BE REMOVED.
5. CUT OPENING IN EXISTING EXTERIOR WALL SYSTEM. COORDINATE DIMENSIONS AND LOCATION WITH NEW WORK. EXISTING FACE BRICK TO BE CAREFULLY REMOVED, CLEANED AND PROTECTED FOR REINSTALLATION IN REQUEST.
6. EXISTING WINDOW CASING SYSTEM TO BE REMOVED.
7. EXISTING MASONRY LOW WALL TO BE REMOVED. EXISTING STONE CAP AND FACE BRICK TO BE CAREFULLY REMOVED AND GIVEN TO OWNER FOR REINSTALLATION.
16. EXISTING MECHANICAL EQUIPMENT TO BE REMOVED. COORDINATE WITH MECHANICAL DRAWINGS.
17. EXISTING STAIRS TO BE REMOVED.
18. EXISTING CONDENSPOUT TO BE REMOVED. COORDINATE WITH NEW WORK DOCUMENTS.
19. EXISTING GUTTER TO BE REMOVED. COORDINATE WITH NEW WORK DOCUMENTS.
20. EXISTING ROOFING SYSTEM TO BE REMOVED. COORDINATE WITH NEW WORK DOCUMENTS.
21. EXISTING ROOFING INSULATION TO BE REMOVED AND RELOCATED. COORDINATE WITH NEW WORK DOCUMENTS.
22. EXISTING MAILBOX TO BE REMOVED.
23. EXISTING CAST STONE TO BE REMOVED. EXISTING MASONRY TO REMAIN. COORDINATE WITH NEW WORK DOCUMENTS.
24. EXISTING METAL COPING TO BE REMOVED. COORDINATE WITH NEW WORK DOCUMENTS.
25. EXISTING CONCRETE STAIRS AND METAL RAILING TO BE REMOVED. EXISTING CONCRETE PAD TO REMAIN. REPAIR ANY HOLES DUE TO REMOVAL OF RAILING SYSTEM.
26. EXISTING WOOD JOIST AND CONNECTION TO BE REMOVED. EXISTING CONCRETE PAD TO REMAIN. REPAIR ANY HOLES DUE TO REMOVAL OF BUMPER SYSTEM.



2 1956 - EXTERIOR ELEVATION - SOUTH - DEMOLITION

1/8" = 1'-0"



1 1820 & 1956 - EXTERIOR ELEVATION - WEST - DEMOLITION

1/8" = 1'-0"

Consultants:

CAV  
 Advanced Civil Design  
 2250 East 10th  
 Columbus, OH 43202

Landscaping  
 Riepenhoff Landscape  
 2815 East 10th Ave  
 Columbus, OH 43202

Structural  
 Kabil Associates  
 280 South High Street  
 Columbus, OH 43202

Mechanical  
 Custom Air  
 890 Columbus Road  
 Columbus, OH 43202

Electrical  
 Accurate Electric  
 2100 North High Street  
 Columbus, OH 43202

Plumbing  
 Gray Mechanical  
 2210 East 10th  
 Columbus, OH 43202

Architectural  
 A.C. Evans Engineering  
 11400 Columbus Road  
 Columbus, OH 43240

Drawing Issue Dates

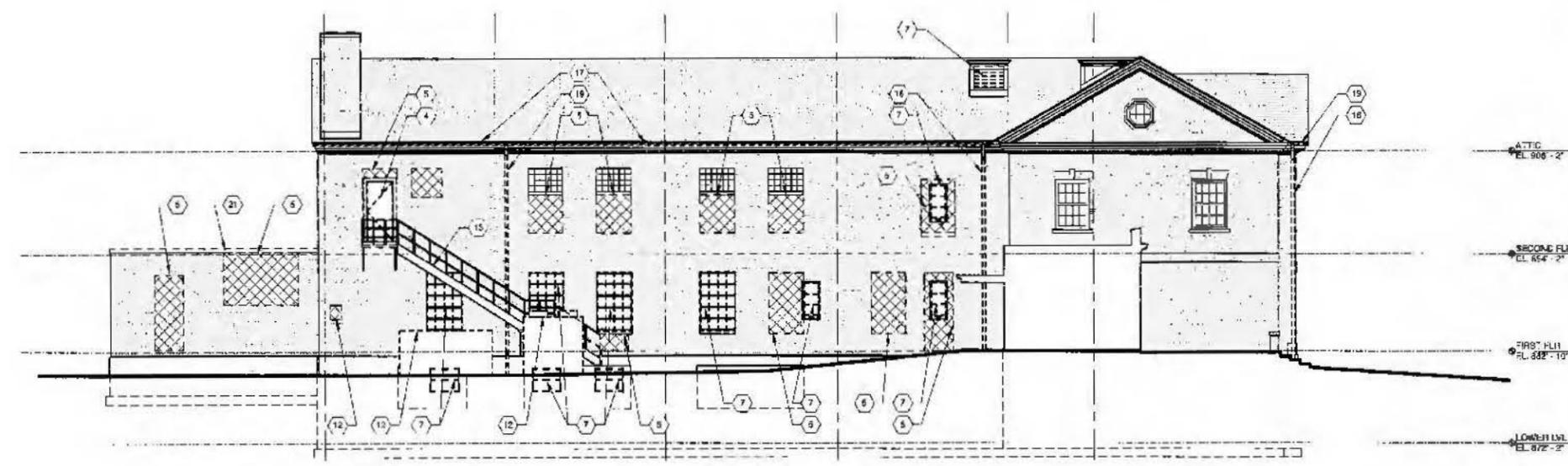
PERMIT  
 April 15th, 2016

**CODED NOTES - DEMO - ELEVATIONS**

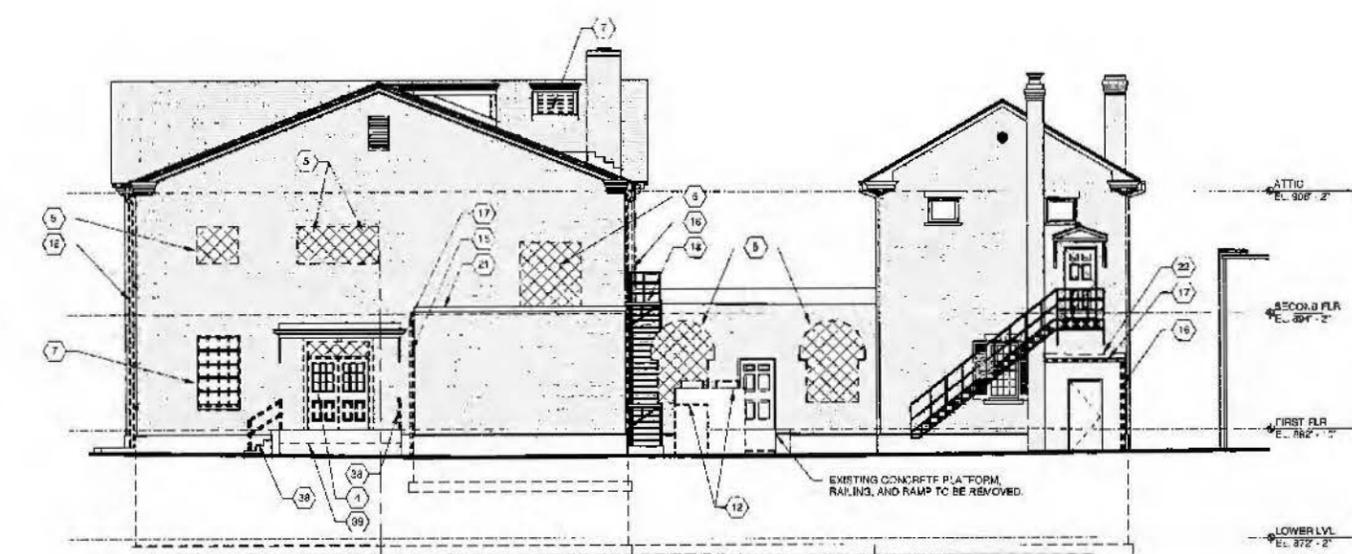
- 4 EXISTING DOOR AND DOOR FRAME TO BE REMOVED.
- 5 CUT OPENING IN EXISTING EXTERIOR WALL SYSTEM. COORDINATE DIMENSIONS AND LOCATION WITH NEW WORK. EXISTING FACE BRICK TO BE CAREFULLY REMOVED, CLEANED, AND PROTECTED FOR REINSTALLATION IN PROGRESS.
- 7 EXISTING WINDOW LULLER SYSTEM TO BE REMOVED.
- 8 EXISTING MASONRY LOW WALL TO BE REMOVED. EXISTING STONE CAP AND FACE BRICK TO BE CAREFULLY REMOVED AND GIVEN TO OWNER FOR REINSTALLATION.
- 12 EXISTING MECHANICAL EQUIPMENT TO BE REMOVED. COORDINATE WITH MECHANICAL DRAWINGS.
- 13 EXISTING STAIRS TO BE REMOVED.
- 14 EXISTING DOWNSPOUT TO BE REMOVED. COORDINATE WITH NEW WORK DOCUMENTS.
- 17 EXISTING BUTTER TO BE REMOVED. COORDINATE WITH NEW WORK DOCUMENTS.
- 18 EXISTING ROOFING SYSTEM TO BE REMOVED. COORDINATE WITH NEW WORK DOCUMENTS.
- 19 EXISTING DOWNSPOUT TO BE REMOVED AND RELOCATED. COORDINATE WITH NEW WORK DOCUMENTS.
- 20 EXISTING MAILBOX TO BE REMOVED.
- 21 EXISTING GAB STONE TO BE REMOVED. EXISTING MASONRY TO REMAIN. COORDINATE WITH NEW WORK DOCUMENTS.
- 22 EXISTING METAL COPING TO BE REMOVED. COORDINATE WITH NEW WORK DOCUMENTS.
- 38 EXISTING CONCRETE STAIRS AND METAL RAILING TO BE REMOVED. EXISTING CONCRETE PAD TO REMAIN. REPAIR ANY HOLES DUE TO REMOVAL OF RAILING SYSTEM.
- 39 EXISTING WOOD BUMPER AND CONNECTION TO BE REMOVED. EXISTING CONCRETE PAD TO REMAIN. REPAIR ANY HOLES DUE TO REMOVAL OF BUMPER SYSTEM.

**LEGEND - SYMBOL**

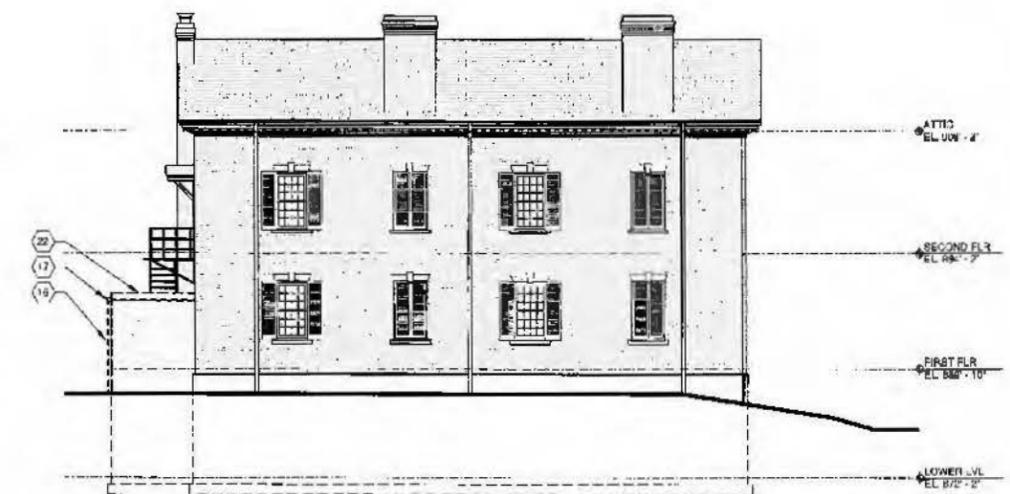
- (4) INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES.
- [Hatched Box] EXISTING AREA TO REMAIN
- [Solid Box] EXISTING WALL TO REMAIN
- [Dashed Box] NEW WALL
- [Dotted Box] RELOCATED EXISTING DEMOUNTABLE PARTITION
- [Dashed Line] EXISTING WALL, DOOR OR WINDOW TO BE REMOVED
- [Arrow] EXISTING DOOR TO REMAIN
- [Cross-hatched Box] EXISTING FLOOR SYSTEMS TO BE REMOVED
- [Dotted Line] EXISTING FLOOR FINISH SYSTEMS OR ROOFING SYSTEM TO BE REMOVED



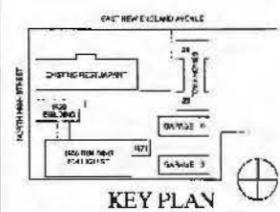
3 1956 - EXTERIOR ELEVATION - NORTH - DEMOLITION  
 1/8" = 1'-0"



2 1820 & 1956 - EXTERIOR ELEVATION - EAST - DEMOLITION  
 1/8" = 1'-0"



1 1820 - EXTERIOR ELEVATION - NORTH - DEMOLITION  
 1/8" = 1'-0"



Worthington Taxidermy Renovation

634 High Street  
 Worthington, Ohio 43085

CITY OF WORTHINGTON  
 AR 161-16  
 DRAWING NO.  
 DATE 4-29-16

1820 & 1956 - EXTERIOR ELEVATIONS - DEMOLITION

Architectural  
**AD1.22**

April 15th, 2016

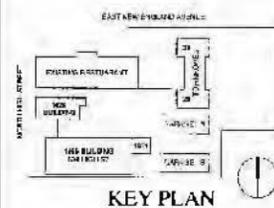
15070.20

Consultants:

- Civil  
Advanced Civil Design  
4330 Northway Road  
Columbus, OH 43230
- Landscape  
Riepenhoff Landscape  
3975 State Route 604  
Columbus, OH 43232
- Struct./Steel  
Kahl Associates  
2800 North Avenue West  
Columbus, OH 43234
- Mechanical  
Custom Air  
301 S. Main St.  
Columbus, OH 43215
- Electrical  
Accurate Electric  
651 Avenue E. Columbus  
Columbus, OH 43206
- Plumbing  
Grey Mechanical  
3975 State Rd.  
Columbus, OH 43232
- Alleman Engineering  
6821 Old Town Lane  
Columbus, OH 43231

Drawing Issue Dates

PERMIT  
April 15th, 2016



Worthington Lodge Renovation

634 High Street  
Worthington, Ohio 43085

CITY OF WORTHINGTON  
AP 10e-1p  
DRAWING NO.

DATE 4-29-16

1820 & 1956 - FLOOR PLAN  
LOWER LEVEL

Architectural

**A1.10**

April 15th, 2016

1507C.20

GENERAL NOTES - FLOOR PLANS

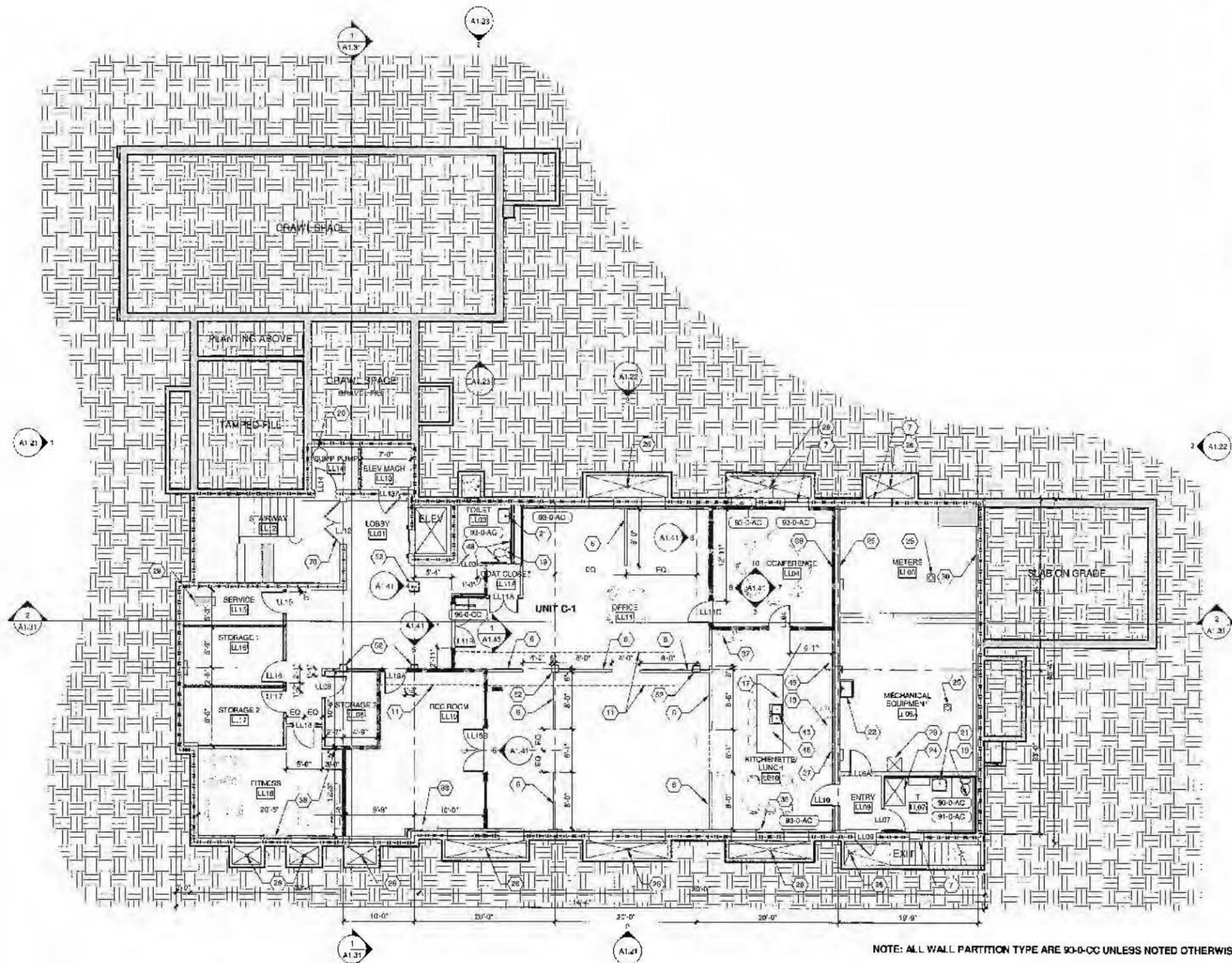
- DO NOT SCALE DRAWINGS. DIMENSIONS IN DETAILS SHALL GOVERN OVER SMALL SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- DIMENSIONS SHOWN ON THE FLOOR PLAN FOR CONSTRUCTION ARE TO THE CENTERLINE OF COLUMNS TO THE FINISH FACE OF INTERIOR PARTITION OR TO THE EXTERIOR FACE OF EXTERIOR WALLS.
- PROVIDE BLOCKING FOR SUPPORT OF ALL WALL ATTACHMENTS INCLUDING BUT NOT LIMITED TO WALL ACCESSORIES (HANDRAIL, BUMPERS, QUAILS, ETC), TOILET ACCESSORIES (GRAB BARS, SHOWER CHANGING STATIONS, ETC) BASE AND WALL CABINETS. CONTRACTOR SHALL COORDINATE AND VERIFY ALL REQUIREMENTS FOR ATTACHMENTS.
- DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CABINETS. REFER TO GENERAL WOODWORK NOTES FOR ADDITIONAL INFORMATION.
- ALL WATER C-OSETS SHALL BE MOUNTED SO THAT THERE IS 1" BETWEEN FACE OF THE C-OSET AND RUSKY BUILT-WALL OR TOILET PARTITION AND THE CENTERLINE OF THE WATER C-OSET. THE FLUSH VALVE FOR ALL WATER C-OSETS SHALL BE MOUNTED ON THE "OPEN-CLOSE" SIDE OF THE WATER C-OSET AT 44" MAXIMUM L.A.F.S. TO THE "TOP".
- CONTRACTOR SHALL BUILD OUT PARTITIONS TO ACCOMMODATE DEPTH REQUIREMENTS BY FINE EXTENDING CABINETS AND HOUSED POWER PANELS. COORDINATE WITH ENGINEERING DRAWINGS FINAL LOCATIONS OF ALL CABINETS AND PANELS TO BE APPROVED BY THE ARCHITECT.
- RUBBER WALL BASE SHALL NOT BE INSTALLED ON BASE CABINET TOE KICK UNLESS SPECIFICALLY AUTHORIZED BY ARCHITECT.
- PROVIDE BLOCKING IN WALLS AT ALL TOILET LOCATIONS FOR THE FUTURE INSTALLATION OF ADA COMPLIANT GRAB BARS.
- ALL CABINETS BY OTHERS. COORDINATE LOCATION WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK AND REQUIREMENTS WITH FINAL CABINETS PLACEMENT.
- ALL APPLIANCES BY OTHERS. COORDINATE LOCATION WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK AND REQUIREMENTS WITH FINAL APPLIANCE PLACEMENT.

LEGEND - SYMBOL

- # INDICATES KEY NOTE FOR THIS DRAWING ONLY. SEE LEGEND - KEY NOTES.
- ⊕ INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES.
- ▭ EXISTING AREA TO REMAIN.
- ▭ EXISTING TO REMAIN.
- ▭ NEW WALL.
- ▭ RELOCATED EXISTING DEMOUNTABLE PARTITION.
- ▭ DEMISING WALL - TO CONTINUE TO BOTTOM OF CEILING FOR SEPARATION OF DWELLING UNIT.
- ▭ EXISTING DOOR TO REMAIN.
- ▭ NEW DOOR.

CODED NOTES - FLOOR PLANS

- CROWN MOLDING TO MATCH EXISTING. VERIFY PROFILE, DIMENSIONS WITH EXISTING CROWN MOLDING. ALIGN NEW CROWN WITH EXISTING.
- OPENING IN EXISTING INTERIOR WALL SYSTEM. COORDINATE WITH STRUCTURAL DOCUMENTS.
- DOOR PROVIDED BY OWNER.
- WAINSCOTS. VERIFY PROFILE, DIMENSIONS WITH EXISTING WAINSCOT 'A'. ALIGN NEW WAINSCOT WITH EXISTING.
- WAINSCOTS. VERIFY PROFILE, DIMENSIONS WITH EXISTING WAINSCOT 'B'. ALIGN NEW WAINSCOT WITH EXISTING.
- WALL. 4" AFF TO TOP FINISH.
- NEW WINDOW SYSTEM.
- SLIDING DOORS. COORDINATE OPENING, SUPPORT FLOOR AND CEILING TRACKS, AND POCKET REQUIREMENTS WITH MANUFACTURER.
- UPGRADE WITH DECORATIVE, PAINTED WOOD SURROUND, AND GLASS FRONT. COORDINATE WITH ELECTRICAL STARTER. COORDINATE DIMENSIONS OF NON-COMBUSTIBLE WITH ELECTRICAL AND HEARTH. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- EXISTING ARCHITECTURAL WOOD CASEWORK TO REMAIN AND PAINTED.
- EDGE OF SOFFIT ABOVE. COORDINATE CEILING PLANS.
- EDGE OF BULK HEAD. COORDINATE CEILING PLANS.
- MECHANICAL UNIT. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- GAS RANGE, 6 BURNER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- GAS RANGE, 6 BURNER WITH DOUBLE WIDE OVENS BELOW. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- SINK OVER. COORDINATE WITH ELECTRICAL DOCUMENTS.
- TUB AND SHOWER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- 1" O' FILLER. COORDINATE WITH PLUMBING DOCUMENTS.
- MECHANICAL UNIT. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS.
- TOILET. COORDINATE WITH PLUMBING DOCUMENTS.
- GUMP PUMP. COORDINATE WITH PLUMBING DOCUMENTS.
- SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- SERVICE SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- MOP SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- SHOWER. COORDINATE WITH PLUMBING DOCUMENTS.
- EXISTING FLOOR DRAIN TO REMAIN. COORDINATE WITH PLUMBING DOCUMENTS.
- EXISTING AREA DRAIN TO REMAIN. COORDINATE WITH PLUMBING DOCUMENTS.
- REFRIGERATOR. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- ICE MAKER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- WATER METERS. COORDINATE WITH PLUMBING DOCUMENTS.
- ELECTRICAL METERS. COORDINATE WITH ELECTRICAL DOCUMENTS.
- LIGHT FIXTURE ON WALL. COORDINATE WITH ELECTRICAL DOCUMENTS.
- POWER OPERATOR FOR DOOR. COORDINATE WITH ELECTRICAL DOCUMENTS.
- COPIER/PRINTER. COORDINATE WITH ELECTRICAL DOCUMENTS.
- DIGITAL DISPLAY, WALL MOUNTED. COORDINATE WITH ELECTRICAL DOCUMENTS. PROVIDE REQUIRED BLOCKING IN WALL AND COORDINATE HEIGHT WITH OWNER.
- CUSTOM FURNITURE FOR MEDIA CENTER TO BE INSTALLED OVER EXISTING STAIRS. COORDINATE WITH ELECTRICAL DOCUMENTS.
- CURBLESS SHOWER. COORDINATE WITH PLUMBING DOCUMENTS.
- REFRIGERATOR, WINE, FULL HEIGHT. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- WATER HEATER. COORDINATE WITH PLUMBING DOCUMENTS.
- SINK WITH WATER DISPENSER. COORDINATE WITH PLUMBING DOCUMENTS.
- STEAM SHOWER. COORDINATE WITH PLUMBING DOCUMENTS.
- MICROWAVE. COORDINATE WITH ELECTRICAL DOCUMENTS.
- DISHWASHER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- DECORATIVE WOOD BENCH TO COVER MECHANICAL WORK. COORDINATE WITH MECHANICAL DOCUMENTS.
- PROVIDE ADA COMPLIANT GRAB BARS.
- EXISTING MASONRY WALL TO REMAIN AND BE CLEANED.
- PROVIDE MASONRY LOW WALL SYSTEM. PROFILE HEIGHT, AND LENGTH TO MATCH THE EXISTING. REINSTALL SALVAGED CAST STONE CAP AND FACE BRICK. PROVIDE GREY PAINTED OVER EXISTING CONCRETE. MATERIAL, FINISH PATTERN, AND "EX-TYPE" TO BE SELECTED AND APPROVED BY THE OWNER. PROVIDE SAMPLE FOR APPROVAL.
- EXISTING STRUCTURAL STEEL COLUMN TO BE ENCLOSED WITH GYP/SUN BOARD.
- PLASTER TO PATCH AREA OF REMOVED REGISTER. PLASTER TO MATCH IN TEXTURE AND TEXTURE OF EXISTING.
- WHITE ROBER ROOFING SYSTEM.
- EXISTING DOOR AND DOOR HARDWARE TO REMAIN.



NOTE: ALL WALL PARTITION TYPE ARE 90-0-CC UNLESS NOTED OTHERWISE

1820 & 1956 - FLOOR PLAN - LOWER LEVEL

1/8" = 1'-0"

Consultants:

CMV  
 Advanced Civil Design  
 2000 N. High Street  
 Columbus, OH 43201

Landscape  
 Rippenhoff Landscape  
 3475 Grandview Circle  
 Columbus, OH 43231

Structural  
 Kuhl Associates  
 8800 Grandview Road, Suite 200  
 Columbus, OH 43231

Mechanical  
 Custom Air  
 2000 N. High Street  
 Columbus, OH 43201

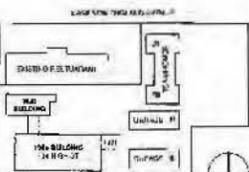
Electric  
 Accurate Electric  
 1800 Riverside Parkway  
 Columbus, OH 43204

Plumbing  
 Gray Mechanical  
 2525 State Road  
 Columbus, OH 43201

Altimere Engineering  
 3600 Old Columbus Road  
 Columbus, OH 43232

Drawing Issue Dates

PERMIT  
 April 15th, 2016



KEY PLAN

Worthington Lodge Renovation

634 High Street  
 Worthington, Ohio 43085

CITY OF WORTHINGTON  
 AR 166-16  
 DRAWING NO.

DATE 4-29-16

1820 & 1956 - FLOOR PLAN - FIRST

Architectural

**A1.11**

April 15th, 2016

15070.2G

GENERAL NOTES - FLOOR PLANS

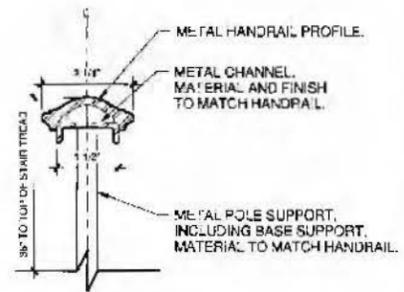
- DO NOT SCALE DRAWINGS. DIMENSIONS IN DETAILS SHALL GOVERN OVER SMALL SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- DIMENSIONS SHOWN ON THE FLOOR PLAN FOR CONSTRUCTION ARE TO THE CENTERLINE OF COLUMNS TO THE FINISH FACE OF INTERIOR PARTITION OR TO THE EXTERIOR FACE OF EXTERIOR WALLS.
- PROVIDE BLOCKING FOR SUPPORT OF ALL WALL ATTACHMENTS INCLUDING BUT NOT LIMITED TO WALL ACCESSORIES (HANDRAILS, ELMERS, GUARDS, ETC), TOILET ACCESSORIES (GRAB BARS, DIAPHRAGM STATIONS, FTO), BASE AND WALL CABINETS. CONTRACTOR SHALL COORDINATE AND VERIFY ALL BLOCKING HEIGHTS FOR ATTACHMENTS.
- DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CABINETRY. REFER TO GENERAL WOODWORK NOTES FOR ADDITIONAL INFORMATION.
- ALL WATER CLOSETS SHALL BE MOUNTED SO THAT THERE IS 1'-6" BETWEEN FACE OF THE CLOSET ADJACENT BIE WALL OR TOILET PARTITION AND THE CENTERLINE OF THE WATER CLOSURE. THE FLUSH VALVE FOR ALL WATER CLOSURES SHALL BE MOUNTED ON THE "OPEN" SIDE OF THE WATER CLOSURE AT 44" MAXIMUM A.F.F. TO THE TOP.
- CONTRACTOR SHALL BUILD OUT PARTITIONS TO ACCOMMODATE DEPTH REQUIRED BY FIRE EXTINGUISHER CABINETS AND RECESSED POWER PANELS. COORDINATE WITH ENGINEERING DRAWINGS FINAL JUDICIONS OF ALL CABINETS AND PANELS TO BE APPROVED BY THE ARCHITECT.
- RUBBER WALL SAFE SHALL NOT BE INSTALLED ON BASE CABINET FOR KICK DIMENSION SPECIFICALLY AUTHORIZED BY ARCHITECT.
- PROVIDE BLOCKING IN WALLS AT ALL TOILET LOCATIONS FOR THE FUTURE INSTALLATION OF ADA COMPLIANT GRAB BARS.
- ALL CABINETRY BY OTHERS. COORDINATE LOCATION WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK AND REQUIREMENTS WITH FINAL CABINETRY PLACEMENT.
- ALL APPLIANCES BY OTHERS. COORDINATE LOCATION WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK AND REQUIREMENTS WITH FINAL APPLIANCE PLACEMENT.

LEGEND - SYMBOL

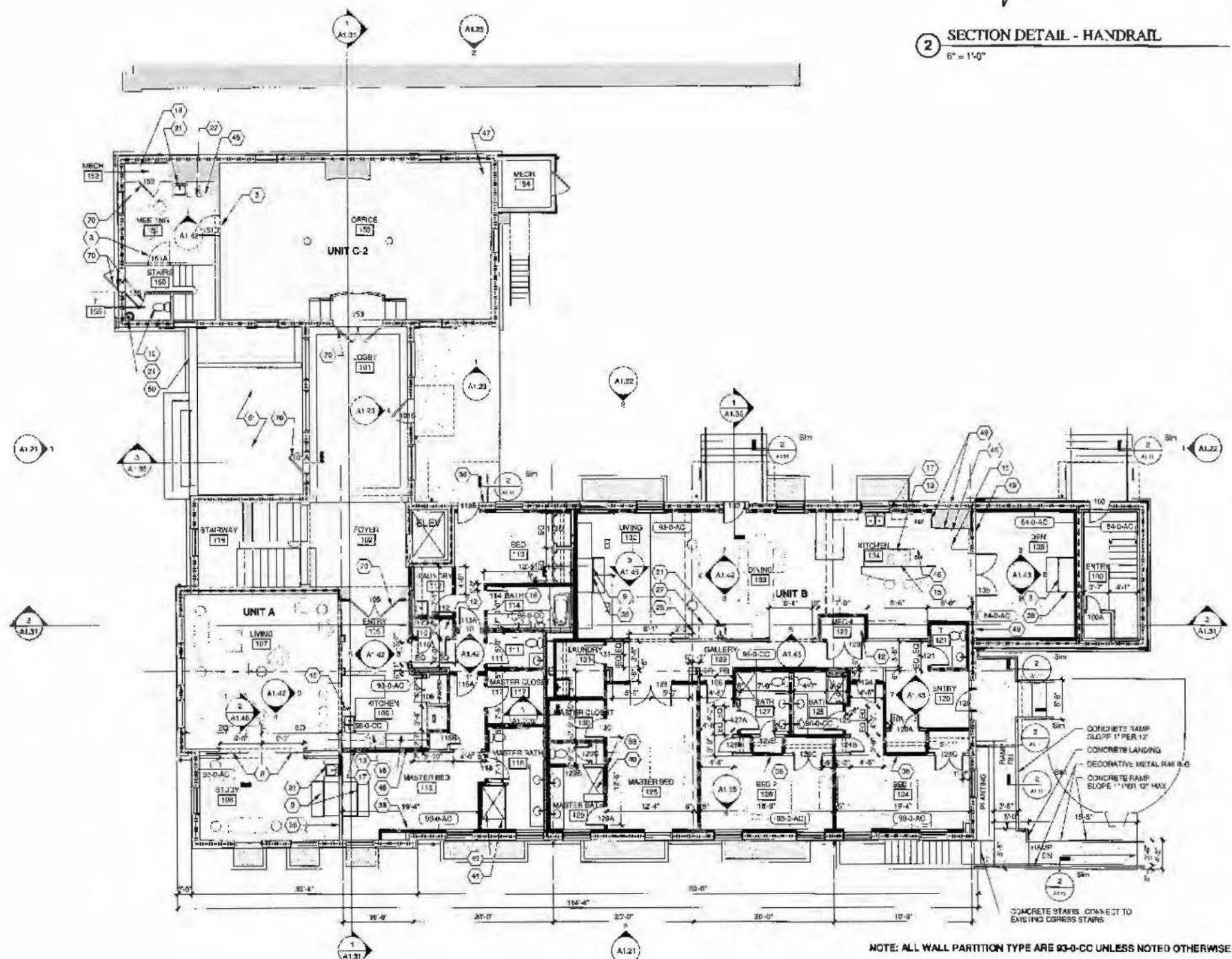
- INDICATES KEY NOTE FOR THIS DRAWING ONLY. SEE LEGEND - KEY NOTES.
- INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES.
- EXISTING AREA TO REMAIN
- EXISTING TO REMAIN
- NEW WALL
- RELOCATED EXISTING DEMOUNTABLE PARTITION
- DEMISING WALL TO CONTINUE TO BUILD OUT OF CEILING FOR SEPARATION OF DWELLING UNIT.
- EXISTING DOOR TO REMAIN
- NEW DOOR

CODED NOTES - FLOOR PLANS

- CROWN MOLDING TO MATCH EXISTING. VERIFY PROFILE, DIMENSIONS WITH EXISTING CROWN MOLDING. ALIGN NEW CROWN WITH EXISTING OPENING IN EXISTING INTERIOR WALL SYSTEM. COORDINATE WITH STRUCTURAL DOCUMENTS.
- DOOR PROVIDED BY OWNER.
- HANDSCOTS. VERIFY PROFILE, DIMENSIONS WITH EXISTING HANDSCOT. ALIGN NEW HANDSCOT WITH EXISTING.
- HANDSCOTS. VERIFY PROFILE, DIMENSIONS WITH EXISTING HANDSCOT. ALIGN NEW HANDSCOT WITH EXISTING.
- NEW WINDOW SYSTEMS.
- BLINDS DOORS. COORDINATE OPENING, SUPPORT, FLOOR AND CEILING TRACKS, AND LOCKER REQUIREMENTS WITH MANUFACTURER.
- REPLACE WITH DECORATIVE, PAINTED WOOD BLINDS, AND GLASS FRONT GAS BURNING WITH ELECTRIC STARTER. COORDINATE DIMENSIONS OF NEW CABINETS WITH EXISTING WALLS WITH SINK, RANGE AND HEARTH. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- EXISTING ARCHITECTURAL WOOD CASWORK TO REMAIN AND PAINTED. EDGE OF SOFFIT ABOVE. COORDINATE CEILING PLANS.
- EDGE OF BULKHEAD. COORDINATE CEILING PLANS.
- MECHANICAL UNIT. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- GAS RANGE, 4 BURNER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- GAS RANGE, 4 BURNER WITH DOUBLE WIDE OVENS BELOW. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- SINK/COFFIN. COORDINATE WITH ELECTRICAL DOCUMENTS.
- TUB AND SHOWER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- POT FILLER. COORDINATE WITH PLUMBING DOCUMENTS.
- MECHANICAL UNIT. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS.
- TOILET. COORDINATE WITH PLUMBING DOCUMENTS.
- SUMP PUMP. COORDINATE WITH PLUMBING DOCUMENTS.
- SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- MOP SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- SHOWER. COORDINATE WITH PLUMBING DOCUMENTS.
- EXISTING FLOOR DRAIN TO REMAIN. COORDINATE WITH PLUMBING DOCUMENTS.
- EXISTING AREA DRAIN TO REMAIN. COORDINATE WITH PLUMBING DOCUMENTS.
- REFRIGERATOR. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- ICE MAKER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- WATER METERS. COORDINATE WITH PLUMBING DOCUMENTS.
- ELECTRICAL METERS. COORDINATE WITH ELECTRICAL DOCUMENTS.
- LIGHT FIXTURE DOWNWALL. COORDINATE WITH ELECTRICAL DOCUMENTS.
- POWER OVER COORDINATE WITH ELECTRICAL DOCUMENTS.
- COPY/PRINT/ER. COORDINATE WITH ELECTRICAL DOCUMENTS.
- DIGITAL DISPLAY, WALL MOUNTED. COORDINATE WITH ELECTRICAL DOCUMENTS. PROVIDE REQUIRED BLOCKING IN WALL AND COORDINATE HEIGHT WITH OWNER.
- JUSTIFY FURNITURE FOR MEDIA CENTER TO BE INSTALLED OVER EXISTING STAIRS. COORDINATE WITH ELECTRICAL DOCUMENTS.
- CONDENSER SHOWER. COORDINATE WITH PLUMBING DOCUMENTS.
- REFRIGERATOR, WINE. FULL HEIGHT. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- WATER HEATER. COORDINATE WITH PLUMBING DOCUMENTS.
- SINK WITH WATER DISPENSER. COORDINATE WITH PLUMBING DOCUMENTS.
- STEAM SHOWER. COORDINATE WITH PLUMBING DOCUMENTS.
- MICROWAVE. COORDINATE WITH ELECTRICAL DOCUMENTS.
- DISHWASHER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- DECORATIVE WOOD BENCH TO COVER MECHANICAL WORK. COORDINATE WITH MECHANICAL DOCUMENTS.
- PROVIDE ADA COMPLIANT GRAB BARS.
- EXISTING MASONRY WALL TO REMAIN AND BE CLEANED.
- PROVIDE MASONRY LOW WALL SYSTEM. PROFILE, HEIGHT, AND LENGTH TO MATCH THE EXISTING. REINSTALL SLAVAGED GAS STONE CAP AND FACE BRICK.
- PROVIDE BRICK SKIVING OVER EXISTING CONCRETE PATIO. MATERIAL, FINISH, PATTERN, AND TEXTURE TO BE SELECTED AND APPROVED BY THE OWNER. PROVIDE SAMPLE FOR APPROVAL.
- EXISTING STRUCTURAL STEEL COLUMN TO BE ENCLOSED WITH GYPSUM BOARD.
- PLASTER TO PATCH AREA OF REMOVED REGISTER. PLASTER TO MATCH IN TEXTURE AND FINISH OF EXISTING.
- WHITE RUBBER FLOORING SYSTEM.
- EXISTING DOOR AND DOOR HARDWARE TO REMAIN.



SECTION DETAIL - HANDRAIL  
 6" = 1'-0"



1820 & 1956 - FLOOR PLAN - FIRST  
 1/8" = 1'-0"

NOTE: ALL WALL PARTITION TYPE ARE 93-0-CC UNLESS NOTED OTHERWISE

Consultants:

Civil  
 Advanced Civil Design  
 222 West Broad Street  
 Columbus, Ohio 43215

Landscapes

Rappenhoff Landscape  
 222 West Broad Street  
 Columbus, Ohio 43215

Structural

Kahl Associates  
 390 State Street  
 Columbus, Ohio 43215

Mechanical

Custom Air  
 1000 West Broad Street  
 Columbus, Ohio 43215

Electrical

Accurate Electric  
 1000 West Broad Street  
 Columbus, Ohio 43215

Plumbing

Gray Mechanical  
 1000 West Broad Street  
 Columbus, Ohio 43215

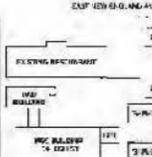
Allowing Engineering

1000 West Broad Street  
 Columbus, Ohio 43215

Drawing Issue Dates

PERMIT  
 April 15th, 2016

KEY PLAN



Worthington Lodge Renovation

634 High Street  
 Worthington, Ohio 43085

CITY OF WORTHINGTON

AR 162-16

DRAWING NO.

DATE 4-29-16

1820 & 1956 - FLOOR PLAN - SECOND

Architectural

April 15th, 2016

15070 20

GENERAL NOTES - FLOOR PLANS

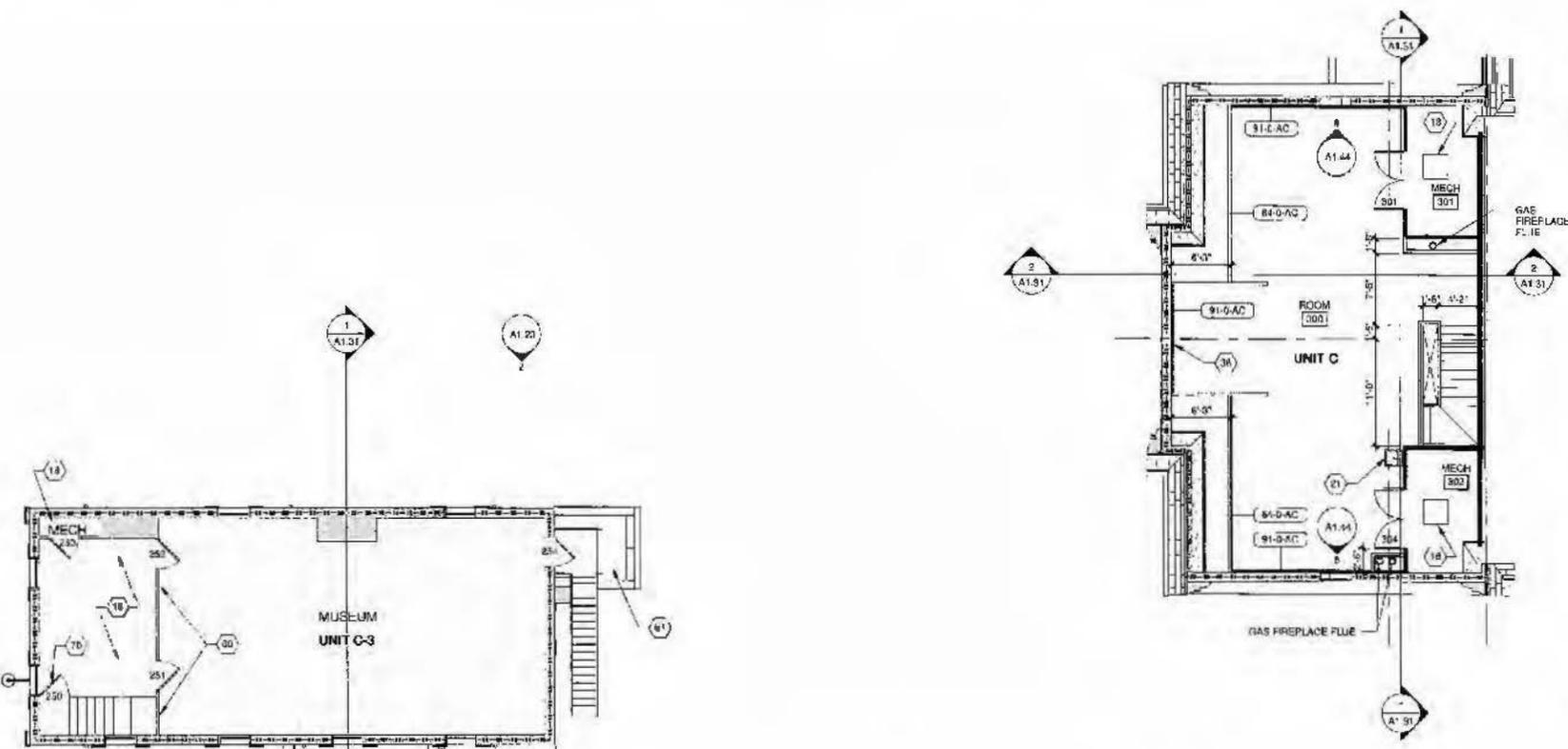
- DO NOT SCALE DRAWINGS. DIMENSIONS IN DETAILS SHALL GOVERN OVER SMALL SCALE DRAWINGS. IF DIMENSIONS ARE IN CONFLICT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- DIMENSIONS SHOWN ON THE FLOOR PLAN FOR CONSTRUCTION ARE TO THE CENTERLINE OF COLLEAS TO THE FINISH FACE OF INTERIOR PARTITION OR TO THE EXTERIOR FACE OF EXTERIOR WALLS.
- PROVIDE BLOCKING FOR SUPPORT OF ALL WALL ATTACHMENTS INCLUDING BUT NOT LIMITED TO WALL ACCESSORIES (HANDRAILS, BLUMPS, CLIMBERS, ETC), TOILET ACCESSORIES (TOILET BARS, DIAPHRAGMATIC STAIRS, ETC), BASE AND WALL CABINETS. CONTRACTOR SHALL COORDINATE AND VERIFY ALL REQUIREMENTS FOR ATTACHMENTS.
- DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CABINETS. REFER TO GENERAL WOODWORK NOTES FOR ADDITIONAL INFORMATION.
- ALL WATER CLOSETS SHALL BE MOUNTED SO THAT THERE IS 1" BETWEEN FACE OF THE CLOSET ADJACENT SIDE WALL OR TOILET PARTITION AND THE CENTERLINE OF THE WATER CLOSET. THE FLUSH VALVE FOR ALL WATER CLOSETS SHALL BE MOUNTED ON THE "DOWN-MOST" SIDE OF THE WATER CLOSET AT 44" MAXIMUM AFF TO THE TOP.
- CONTRACTOR SHALL BUILD OUT PARTITIONS TO ACCOMMODATE DEPTH REQUIRED BY THE EXISTING CABINETS AND RECESSED POWER PANELS. COORDINATE WITH ENGINEERING UNITS FINAL LOCATIONS OF ALL CABINETS AND PANELS TO BE APPROVED BY THE ARCHITECT.
- RUBBER WALL BASE SHALL NOT BE INSTALLED ON BASE CABINET TOE KICK UNLESS SPECIFICALLY AUTHORIZED BY ARCHITECT.
- PROVIDE BLOCKING IN WALLS AT TOILET LOCATIONS FOR THE FUTURE INSTALLATION OF ADA COMPLIANT GRAB BARS.
- ALL CABINETRY OTHERS. COORDINATE LOCATION WITH MECHANICAL, PLUMBING AND ELECTRICAL WORK AND REQUIREMENTS WITH FINAL APPLIANCE PLACEMENT.
- ALL APPLIANCES BY OTHERS. COORDINATE LOCATION WITH MECHANICAL, PLUMBING AND ELECTRICAL WORK AND REQUIREMENTS WITH FINAL APPLIANCE PLACEMENT.

LEGEND - SYMBOL

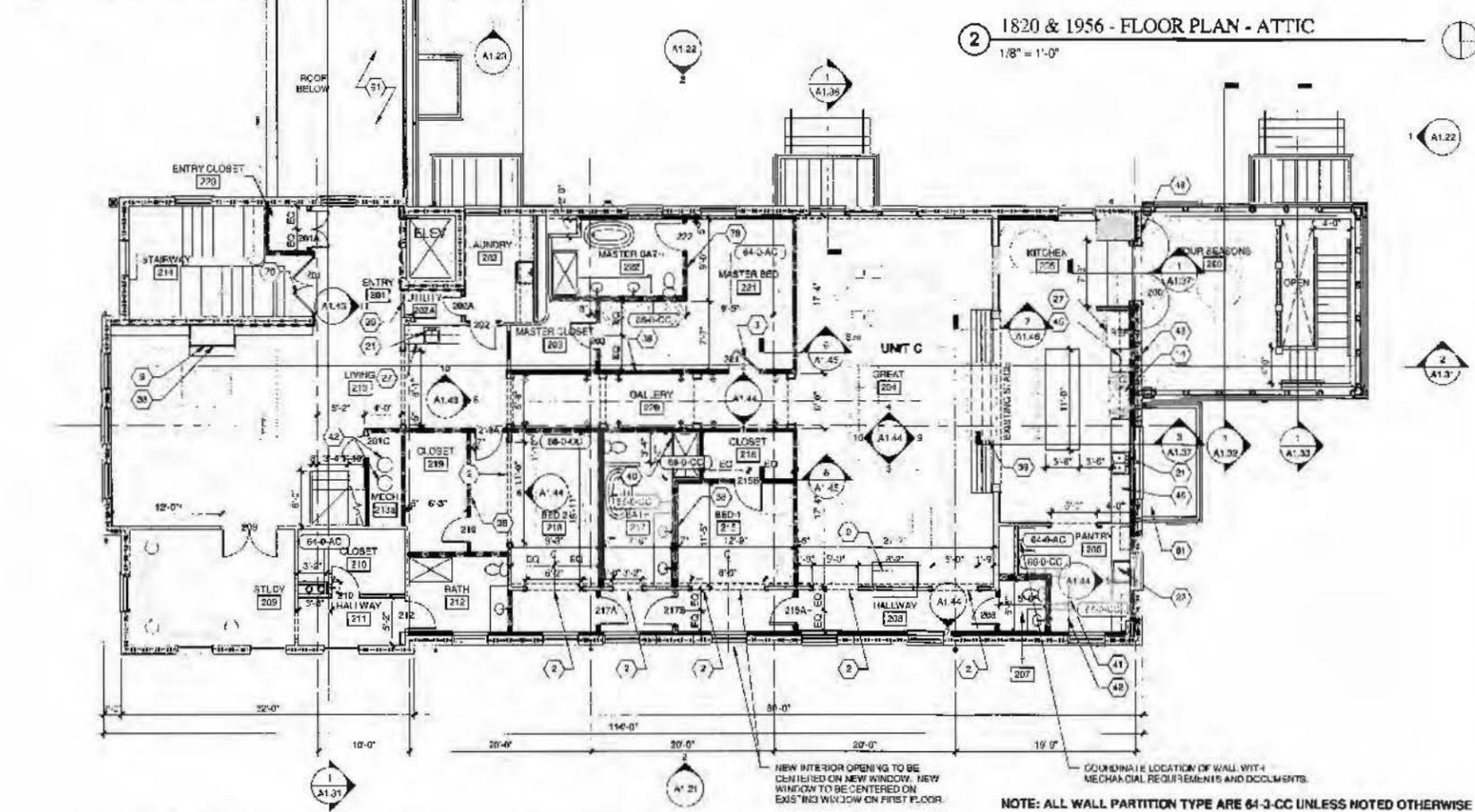
- INDICATES KEY NOTE FOR THIS DRAWING ONLY. SEE LEGEND KEY NOTES.
- INDICATES CODED NOTES ON THE DRAWING ONLY. SEE LEGEND CODED NOTES.
- EXISTING AREA TO REMAIN
- EXISTING TO REMAIN
- NEW WALL
- RELOCATED EXISTING DEMOUNTABLE PARTITION
- DEMISING WALL - TO CENTERLINE TO BOTTOM OF CEILING FOR SEPARATION OF DWELLING UNIT.
- EXISTING DOOR TO REMAIN
- NEW DOOR

CODED NOTES - FLOOR PLANS

- SHOW MOLDING TO MATCH EXISTING. VERIFY PROFILE, DIMENSIONS WITH EXISTING CROWN MOLDING. ALIGN NEW CROWN WITH EXISTING.
- OPENING IN EXISTING INTERIOR WALL SYSTEM. COORDINATE WITH STRUCTURAL DOCUMENTS.
- DOOR PROVIDED BY OWNER.
- WAINSLOTS. VERIFY PROFILE, DIMENSIONS WITH EXISTING WAINSLOTS. ALIGN NEW WAINSLOTS WITH EXISTING.
- WAINSLOTS. VERIFY PROFILE, DIMENSIONS WITH EXISTING WAINSLOTS. ALIGN NEW WAINSLOTS WITH EXISTING.
- WALL. 48" AFF TO TOP OF FINISH.
- NEW WINDOW SYSTEM.
- BUILDING DOORS. COORDINATE OPENING, SUPPORT, FLOOR AND CEILING TRACKS, AND POCKET REQUIREMENTS WITH MANUFACTURER.
- FIREPLACE WITH DECORATIVE, PAINTED WOOD SURROUND, AND GLASS FRONT GAS BURNING WITH ELECTRIC STARTER. COORDINATE DIMENSIONS OF NON-COMBUSTIBLE MATERIAL WITH BURNING AND HEARTH. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- EXISTING ARCHITECTURAL WOOD CASEWORK TO REMAIN AND PAINTED.
- EDGE OF ROCKET ABOVE. COORDINATE CEILING PLANS.
- EDGE OF BULHEAD. COORDINATE CEILING PLANS.
- MECHANICAL UNIT. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- GAS RANGE, 6 BURNER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- GAS RANGE, 6 BURNER WITH DOUBLE WIDE OVEN. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- SINK OVER. COORDINATE WITH ELECTRICAL DOCUMENTS.
- TUB AND SHOWER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- PO" FILLER. COORDINATE WITH PLUMBING DOCUMENTS.
- MECHANICAL UNIT. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS.
- TOILET. COORDINATE WITH PLUMBING DOCUMENTS.
- SUMP PUMP. COORDINATE WITH PLUMBING DOCUMENTS.
- SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- SERVICE SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- VOP SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- SHOWER. COORDINATE WITH PLUMBING DOCUMENTS.
- EXISTING FLOOR DRAIN TO REMAIN. COORDINATE WITH PLUMBING DOCUMENTS.
- EXISTING AREA DRAIN TO REMAIN. COORDINATE WITH PLUMBING DOCUMENTS.
- REFRIGERATOR. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- ICE MAKER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- WATER METERS. COORDINATE WITH PLUMBING DOCUMENTS.
- RELATIONAL METERS. COORDINATE WITH PLUMBING DOCUMENTS.
- LIGHT FIXTURE ON WALL. COORDINATE WITH ELECTRICAL DOCUMENTS.
- POWER OPERATOR FOR DOOR. COORDINATE WITH ELECTRICAL DOCUMENTS.
- COPIER/PRINTER. COORDINATE WITH ELECTRICAL DOCUMENTS.
- DIGITAL DISPLAY, WALL MOUNTED. COORDINATE WITH ELECTRICAL DOCUMENTS. PROVIDE REQUIRED BLOCKING IN WALL AND COORDINATE LIGHTS WITH OWNER.
- CUSTOM FRITZ FOR MEDIA CENTER TO BE INSTALLED OVER EXISTING STAIRS. COORDINATE WITH ELECTRICAL DOCUMENTS.
- CURBLESS SHOWER. COORDINATE WITH PLUMBING DOCUMENTS.
- REFRIGERATOR WINE, FULL HEIGHT. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- WATER HEATER. COORDINATE WITH PLUMBING DOCUMENTS.
- SINK WITH WATER DISPENSER. COORDINATE WITH PLUMBING DOCUMENTS.
- STEAM SHOWER. COORDINATE WITH PLUMBING DOCUMENTS.
- WASHER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- DIS-WASHER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- RECREATIVE WOOD BENCH TO COVER MECHANICAL WORK. COORDINATE WITH MECHANICAL DOCUMENTS.
- PROVIDE ADA COMPLIANT GRAB BARS.
- EXISTING MASONRY WALL TO REMAIN AND BE CEILING.
- PROVIDE MASONRY LOW WALL SYSTEM. PROFILE, HEIGHT, AND LENGTH TO MATCH THE EXISTING. HEIGHTS SHALL BE MAXIMUM CAST STONE CAP AND FACE BRICK.
- PROVIDE BRICK PAVING OVER EXISTING CONCRETE PATIO. MATERIAL, FINISH, PATTERN, AND EXTERIOR TO BE SELECTED AND APPROVED BY THE OWNER. PROVIDE SAMPLE FOR APPROVAL.
- EXISTING STRUCTURAL STEEL COLUMN TO BE ENCLOSED WITH GYPSUM BOARD.
- PLASTER TO MATCH AREA OF REMOVED REPAIRS. MATCH TO MATCH IN TEXTURE AND TEXTURE OF EXISTING.
- WHITE RUBBER ROCCING SYSTEM.
- EXISTING DOOR AND DOOR HARDWARE TO REMAIN.



1820 & 1956 - FLOOR PLAN - ATTIC  
 1/8" = 1'-0"



1820 & 1956 - FLOOR PLAN - SECOND - ARCHITECTURAL  
 1/8" = 1'-0"

NOTE: ALL WALL PARTITION TYPE ARE 64-3-CC UNLESS NOTED OTHERWISE

Consultants:

**Civil**  
 Advanced Civil Design  
 4400 Northway  
 Columbus, OH 43240

**Landscape**  
 Klepperhoff Landscape  
 4935 Woodloch Drive  
 Columbus, OH 43240

**Structural**  
 Kabili Associates  
 2700 Southwood Drive, Suite  
 Columbus, OH 43240

**Mechanical**  
 Custom Air  
 225 S. Main St., 2nd Floor  
 Columbus, OH 43215

**Electrical**  
 Accurate Electric  
 855 S. Main Street  
 Worthington, OH 43085

**Plumbing**  
 Gray Mechanical  
 2214 Westwood  
 Columbus, OH 43221

**Aluminum Engineering**  
 1100 Westwood  
 Columbus, OH 43221

Drawing Issue Dates

PERMITS:  
 April 15th, 2016



Worthington Lodge Renovation

634 High Street  
 Worthington, Ohio 43085

CITY OF WORTHINGTON  
 AR 1616-16  
 DRAWING NO.

DATE 4-29-16

1820 & 1956 - EXTERIOR ELEVATIONS

Architectural

**A1.21**

April 15th, 2016

15070 20

LEGEND - SYMBOL

- # INDICATES KEY NOTE FOR THIS DRAWING ONLY. SEE LEGEND - KEY NOTES.
- ⬢ INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES.
- ▭ EXISTING AREA TO REMAIN
- - - MASONRY CONTR. JOINT
- 02 A0 00 - GLAZING
- 0421 B1 - CLAY UNIT MASONRY - TYPE 1 - RUNNING BOND
- 0421 B2 - CLAY UNIT MASONRY - TYPE 1 - SOLDIER COURSING
- 0172 C - CAST STONE MASONRY
- 0651 V - PVC CELULOH
- #49 - ROOF TILES
- 0741 M - MANUFACTURER ROOF PANELS
- 0746 C - FIBER-CEMENT SIDING
- VENT - COORDINATE ALL LOCATIONS WITH MECHANICAL DOCUMENTS

LEGEND - KEYNOTES

|        |                           |
|--------|---------------------------|
| 0654 D | METAL DOWNSPOUT           |
| 0654 G | METAL GUTTER              |
| 0651 V | CELULOH PVC               |
| 0741 M | MANUFACTURER ROOF PANELS  |
| 0746 C | FIBER-CEMENT SIDING "LAP" |
| 0652 A | ALUMINUM CLAD WOOD WINDOW |

CODED NOTES - ELEVATIONS

- 4 DOOR AND DOOR FRAME. COORDINATE WITH DOOR AND DOOR FRAME SCHEDULE.
- 5 MASONRY INFILL IN EXISTING EXTERIOR WALL SYSTEM. NEW FACE BRICK TO MATCH EXISTING. PROVIDE ARCHITECT AND OWNER SAMPLES OF FACE BRICK FOR REVIEW AND APPROVAL BEFORE INSTALLATION.
- 6 EXISTING WINDOW FRAME, MULLIONS, AND MUNTINS TO BE SCRAPED, CLEANED AND PAINTED. COLOR TO MATCH EXISTING.
- 6a EXISTING CANOPY AND BRACKETS TO BE SCRAPED, CLEANED AND PAINTED. COLOR TO MATCH EXISTING.
- 7 NEW WINDOW SYSTEM.
- 8 EXISTING WINDOW FRAME, MULLIONS, AND MUNTINS TO BE SCRAPED, CLEANED AND PAINTED. PROVIDE EXTERIOR GLASS, OPERABLE STORM WINDOW SYSTEM. COLOR OF PAINT AND STORM WINDOW TO BE SELECTED AND APPROVED BY THE OWNER.
- 9 EXISTING WINDOW FRAME, MULLIONS, AND MUNTINS TO BE SCRAPED, CLEANED AND PAINTED. PROVIDE EXTERIOR GLASS, FIXED STORM WINDOW SYSTEM. COLOR OF PAINT AND STORM WINDOW TO BE SELECTED AND APPROVED BY THE OWNER.
- 10 REPLACE F.L.E.
- 11 EXISTING MASONRY CHIMNEY TO BE CAPPED IF NOT PRESENT AND FACE BRICK TO BE SEALED.
- 15 RIDGE VENT FOR METAL ROOF. COLOR AND FINISH TO BE SELECTED AND APPROVED BY THE ARCHITECT AND OWNER.
- 16 METAL DOWNSPOUT. COLOR AND FINISH TO BE SELECTED AND APPROVED BY THE ARCHITECT AND OWNER.
- 17 METAL GUTTER. PROFILE, COLOR, AND FINISH TO BE SELECTED AND APPROVED BY THE ARCHITECT AND OWNER.
- 18 VENT. CENTER ABOVE WINDOW. COORDINATE WITH MECHANICAL DOCUMENTS.
- 19 EXISTING STAIRS, RAILING, FRAME, AND LANDING TO RECEIVE NEW PAINT. COLOR TO BE SELECTED AND APPROVED BY THE ARCHITECT AND OWNER.
- 32 EXTERIOR GAS FIXTURE. COORDINATE WITH PLUMBING AND ELECTRICAL DOCUMENTS.
- 33 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DOCUMENTS.
- 34 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DOCUMENTS.
- 35 EXISTING EXTERIOR LIGHT FIXTURE TO BE WIRED TO ELECTRICAL HOUSE PANEL. COORDINATE WITH ELECTRICAL DOCUMENTS.

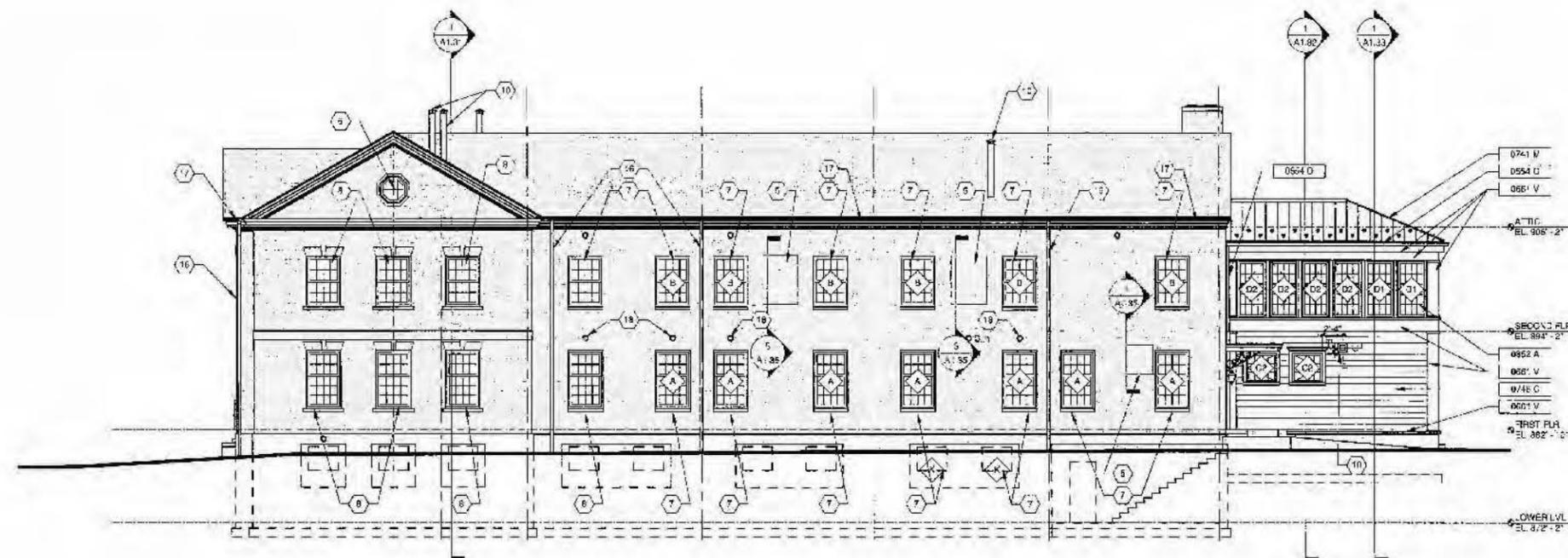
EXTERIOR ELEVATION NOTES:

1. PROVIDE AN ASSESSMENT OF THE EXISTING CONDITIONS OF THE EXTERIOR BUILDING ENVELOPE. PROVIDE RECOMMENDATION FOR REPAIRS AND/ OR REPLACEMENT. ALL ASSESSMENT INFORMATION AND TECHNIQUES TO BE PROVIDED TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO APPROVAL AND START OF WORK.

INCLUDING:

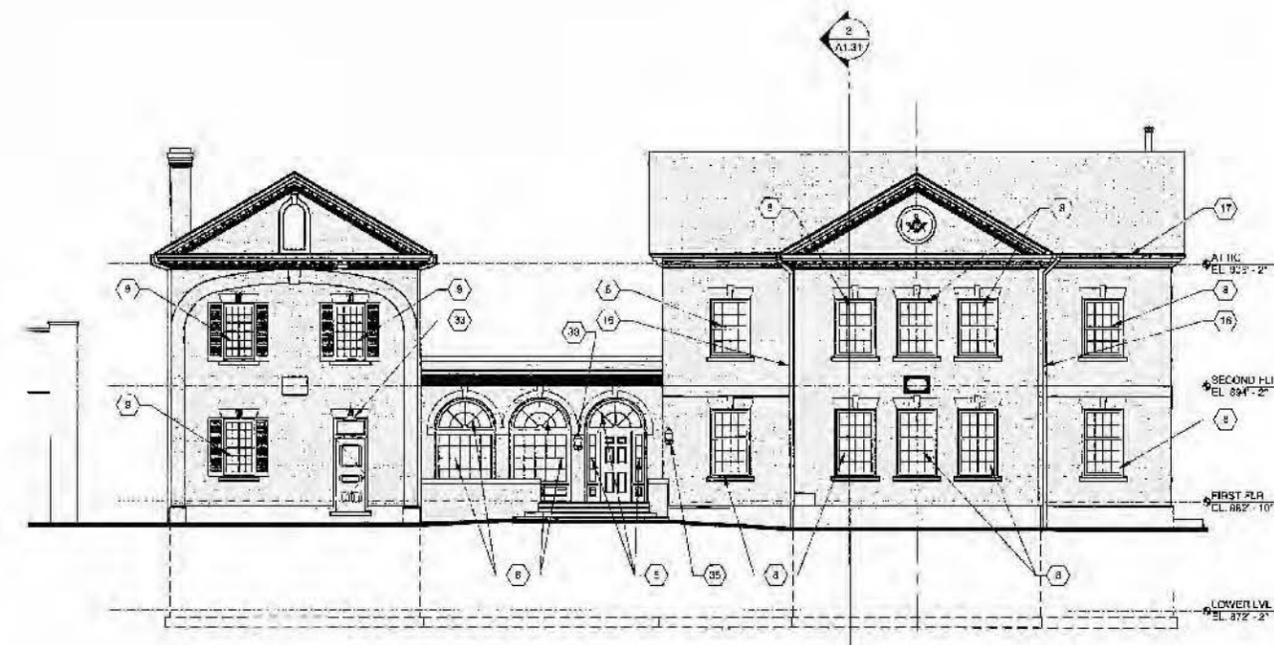
- 1.1. WOOD WINDOWS TO REMAIN
- 1.2. WOOD TRIM, MOLDING, DETAILS, SHUTTERS
- 1.3. SLATE ROOF SYSTEM
- 1.4. GUTTER AND DOWNSPOUTS TO REMAIN
- 1.5. WOOD WINDOWS TO REMAIN
- 1.6. MASONRY AND STONE
- 1.7. SKY FACING JOINTS

OWNER AND ARCHITECT TO DETERMINE SCOPE OF WORK BASED ON THE ASSESSMENT.



2 1956 - EXTERIOR ELEVATION - SOUTH

1/8" = 1'-0"



1 1820 & 1956 - EXTERIOR ELEVATION - WEST

1/8" = 1'-0"

Consultants:

Civil  
Advanced Civil Design  
10000 W. 12th Ave.  
Columbus, OH 43240

Landscape  
Rienhoff Landscape  
2000 W. 12th Ave.  
Columbus, OH 43240

Structural  
Kahl Associates  
3800 S. W. 12th Ave.  
Columbus, OH 43240

Mechanical  
Custom Air  
1000 W. 12th Ave.  
Columbus, OH 43240

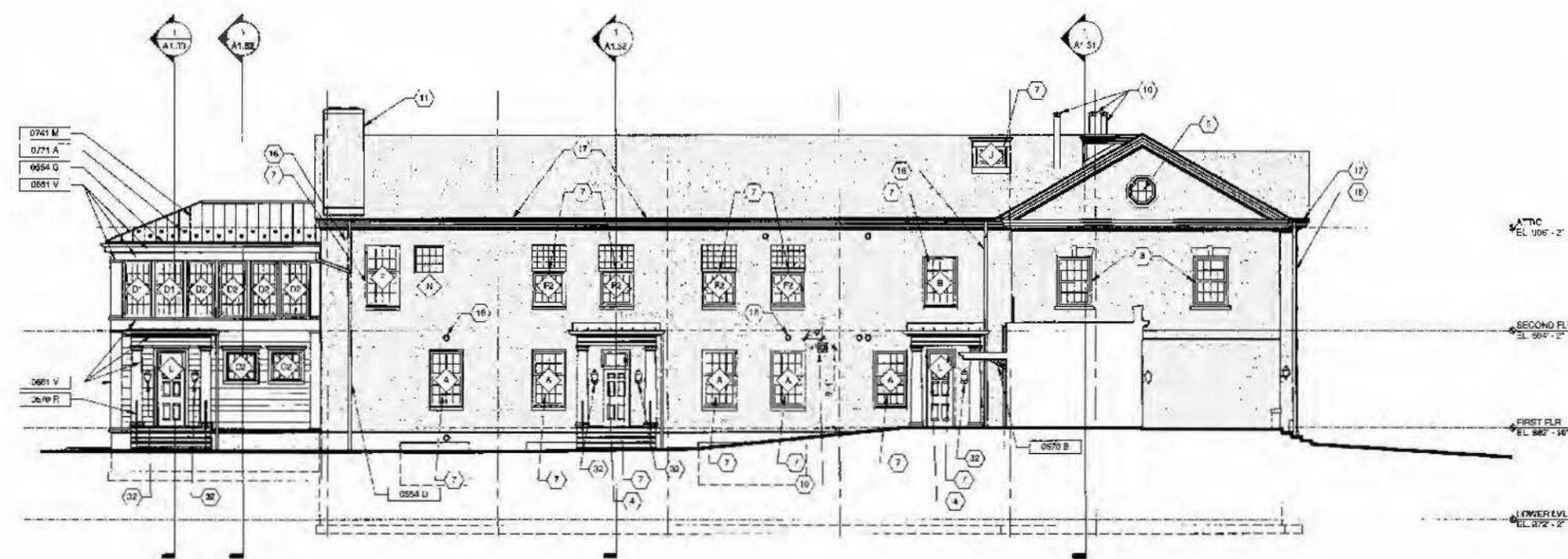
Electrical  
Acoustic Electric  
1000 W. 12th Ave.  
Columbus, OH 43240

Plumbing  
Gray Mechanical  
2000 W. 12th Ave.  
Columbus, OH 43240

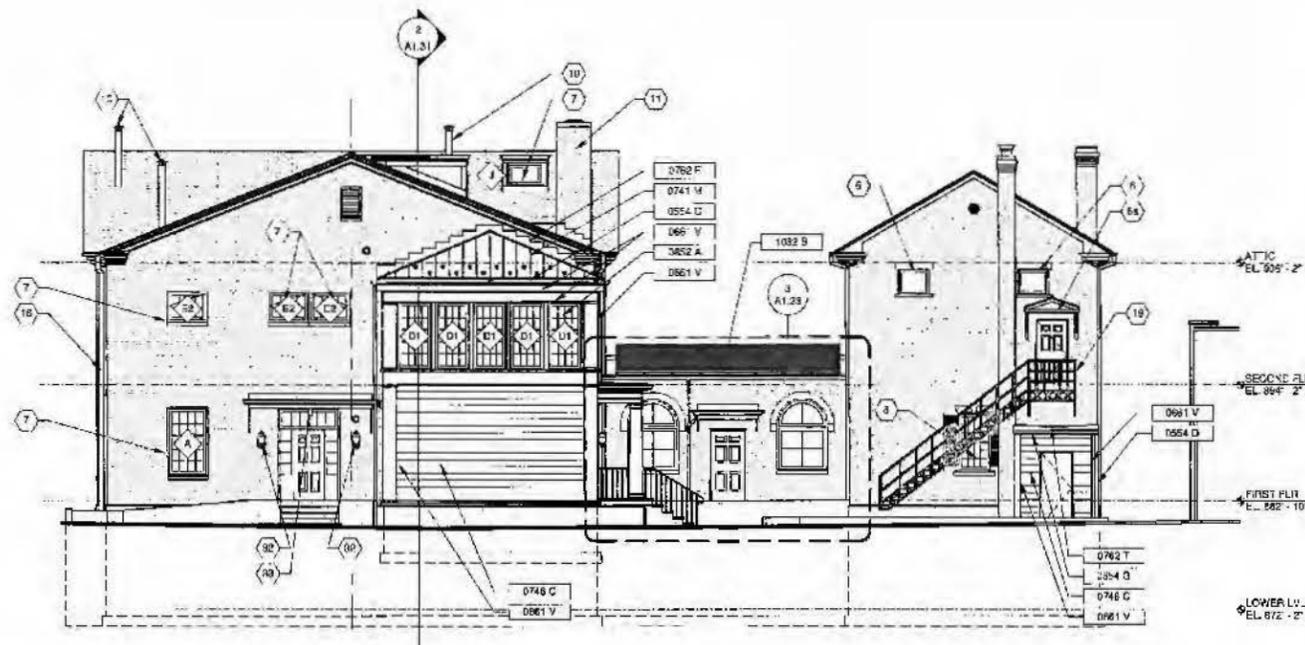
Allen Engineering  
1400 Ohio Ave.  
Columbus, OH 43240

Drawing Issue Dates

PERMIT  
April 15th, 2016



2 1956 - EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"



1 1820 & 1956 - EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"

**LEGEND - SYMBOL**

|     |  |
|-----|--|
| #   | INDICATES KEY NOTE FOR THIS DRAWING ONLY. SEE LEGEND - KEY NOTES.      |
| Ⓜ   | INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES. |
| □   | EXISTING AREA TO REMAIN  |
| --- | MASONRY CENTRAL JOINT  |
| □   | 0853 00 - GLAZING  |
| □   | 0421 B1 - CLAY UNIT MASONRY - TYPE 1 - RUNNING BOND                    |
| □   | 0421 B2 - CLAY UNIT MASONRY - TYPE 1 - SOLDIER COURSE                  |
| □   | 0472 C - CAST STONE MASONRY  |
| □   | 0661 V - PVC CELLULAR  |
| □   | #68 - ROOF TILER   |
| □   | 0741 V - MANUFACTURED ROOF PANELS                                      |
| □   | 0745 C - FIBER-CEMENT SIDING   |
| ○   | VENT - COORDINATE ALL LOCATIONS WITH MECHANICAL DOCUMENTS.             |

**LEGEND - KEYNOTES**

|        |                           |
|--------|---------------------------|
| 0564 D | METAL DOWNSPOUT           |
| 0564 G | METAL GUTTER              |
| 0570 B | DECORATIVE METAL BRACKET  |
| 0570 R | DECORATIVE METAL RAILING  |
| 0661 V | CELLULAR PVC              |
| 0741 M | MANUFACTURED ROOF PANELS  |
| 0745 C | FIBER-CEMENT SIDING CLAP  |
| 0762 F | SHEET METAL FLASHING      |
| 0762 T | SHEET METAL TRIM          |
| 0771 A | SNOW STOP                 |
| 1082 A | ALUMINUM CLAD WOOD WINDOW |
| 1082 B | SHUTTER                   |

**CODED NOTES - ELEVATIONS**

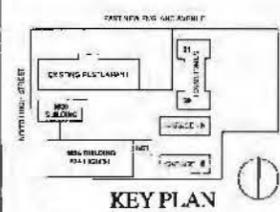
|    |   |
|----|---|
| 4  | DOOR AND DOOR FRAME. COORDINATE WITH DOOR AND DOOR FRAME SCHEDULE.  |
| 5  | MASONRY INFILL IN EXISTING EXTERIOR WALL SYSTEM. NEW FACE BRICK TO MATCH EXISTING. PROVIDE ARCHITECT AND OWNER SAMPLES OF FACE BRICK FOR REVIEW AND APPROVAL BEFORE INSTALLATION.                             |
| 6  | EXISTING WINDOW FRAME, MULLIONS, AND MUNTINS TO BE SCRAPED, CLEANED AND PAINTED. COLOR TO MATCH EXISTING.   |
| 8  | EXISTING WINDOW CANOPY AND BRACKETS TO BE SCRAPED, CLEANED AND PAINTED. COLOR TO MATCH EXISTING.  |
| 7  | NEW WINDOW SYSTEM.  |
| 8  | EXISTING WINDOW FRAME, MULLIONS, AND MUNTINS TO BE SCRAPED, CLEANED AND PAINTED. PROVIDE EXTERIOR GLASS, FIXED STORM WINDOW SYSTEM. COLOR OF PAINT AND STORM WINDOW TO BE SELECTED AND APPROVED BY THE OWNER. |
| 9  | EXISTING WINDOW FRAME, MULLIONS, AND MUNTINS TO BE SCRAPED, CLEANED AND PAINTED. PROVIDE EXTERIOR GLASS, FIXED STORM WINDOW SYSTEM. COLOR OF PAINT AND STORM WINDOW TO BE SELECTED AND APPROVED BY THE OWNER. |
| 10 | FIREPLACE FLUE.   |
| 11 | EXISTING MASONRY CHIMNEY TO BE GAPPED IF NOT PRESENT AND FACE BRICK TO BE SEALED.   |
| 15 | RIDGE VENT FOR METAL ROOF. COLOR AND FINISH TO BE SELECTED AND APPROVED BY THE ARCHITECT AND OWNER.   |
| 16 | METAL DOWNSPOUT. COLOR AND FINISH TO BE SELECTED AND APPROVED BY THE ARCHITECT AND OWNER.   |
| 17 | METAL GUTTER. PROFILE, COLOR, AND FINISH TO BE SELECTED AND APPROVED BY THE ARCHITECT AND OWNER.  |
| 18 | VENT CENTER ABOVE WINDOW. COORDINATE WITH MECHANICAL DOCUMENTS.   |
| 19 | EXISTING STAIRS, RAILING, FRAME AND LANDING TO RECEIVE NEW PAINT. COLOR TO BE SELECTED AND APPROVED BY THE ARCHITECT AND OWNER.   |
| 32 | EXTERIOR GAS FIXTURE. COORDINATE WITH PLUMBING AND ELECTRICAL DOCUMENTS.  |
| 33 | EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DOCUMENTS.   |
| 34 | EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DOCUMENTS.   |
| 35 | EXISTING EXTERIOR LIGHT FIXTURE TO BE WIRED TO ELECTRICAL HOUR PANEL. COORDINATE WITH ELECTRICAL DOCUMENTS.   |

EXTERIOR ELEVATION NOTES:

1. PROVIDE AN ASSESSMENT OF THE EXISTING CONDITIONS OF THE EXTERIOR BUILDING ENVELOPE. PROVIDE RECOMMENDATION FOR REPAIRS AND/OR REPLACEMENT. ALL ASSESSMENT INFORMATION AND TECHNIQUES TO BE PROVIDED TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO APPROVAL AND START OF WORK.

- INCLUDING:
- 1.1. WOOD WINDOWS TO REMAIN
  - 1.2. WOOD TRIM, MOLDING, DETAILS, SHUTTERS
  - 1.3. SLATE ROOF SYSTEM
  - 1.4. GUTTER AND DOWNSPOUTS TO REMAIN
  - 1.5. WOOD WINDOWS TO REMAIN
  - 1.6. MASONRY AND STONE
  - 1.7. SKY FACING JOINTS

OWNER AND ARCHITECT TO DETERMINE SCOPE OF WORK BASED ON THE ASSESSMENT.



Worthington Lodge Renovation  
634 High Street  
Worthington, Ohio 43085

CITY OF WORTHINGTON  
AR 16-16  
DRAWING NO.  
DATE 4-29-16

1820 & 1956 - EXTERIOR ELEVATIONS  
Architectural  
A1.22  
April 15th, 2016  
15070.20

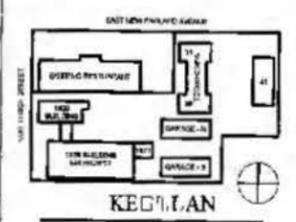




399 Marconi Boulevard Columbus, OH 43215  
614-625-0300  
schooley@scw.com

- CONSULTANTS**
- Civil: **Advanced Civil Designs**
  - Landscaping: **R. J. ...**
  - Structural: **Kabil Associates**
  - Mechanical: **Custom Air**
  - Electrical: **ACQUISITION**
  - Plumbing: **...**

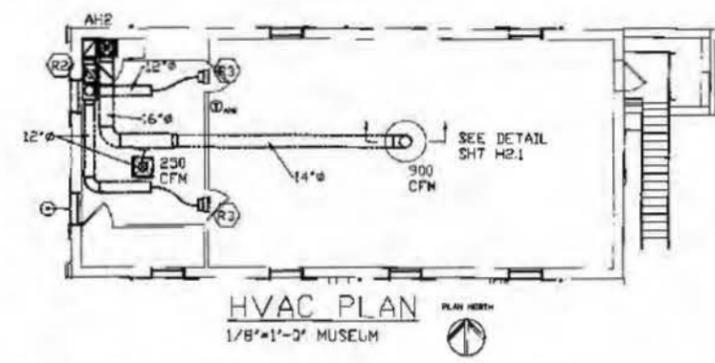
DRMEL  
ACRUM



634 High Street  
Worthington, Ohio 43085

CITY OF WORTHINGTON  
*AR 16-16*  
DRAWING NO.  
DATE *4-29-16*

1820 & 1958 - FLOOR PLAN -  
2ND FLOOR  
HVAC  
**H1.12**  
04/15/2016  
15070.20

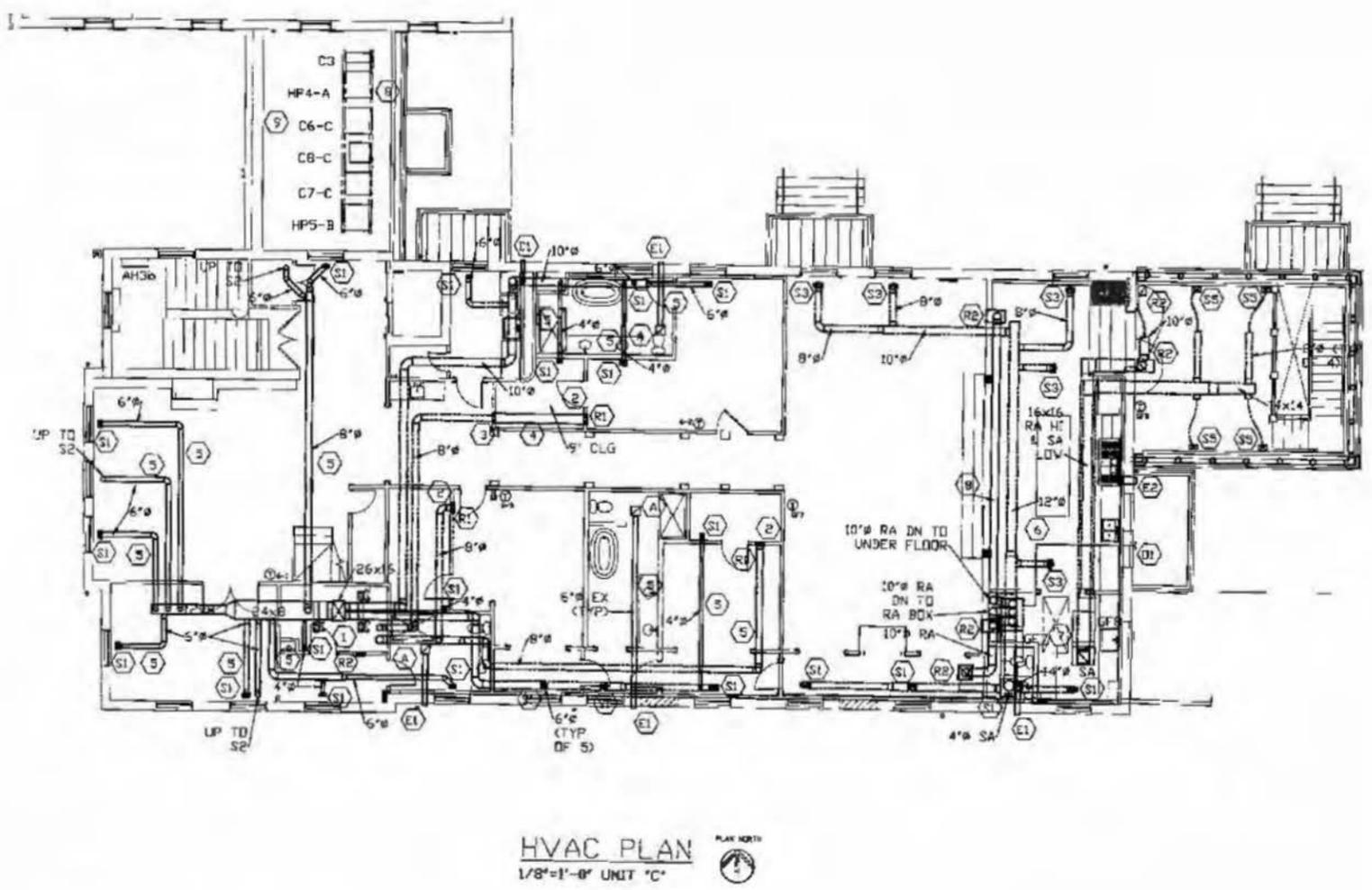
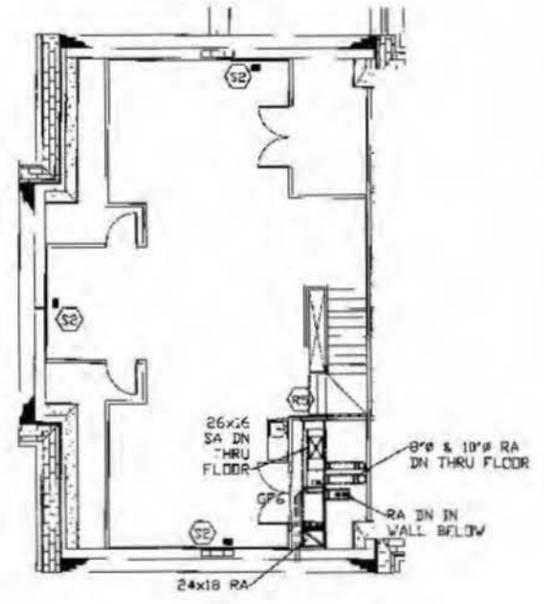


**NATURAL VENTILATION NOTES (1820 2ND FLOOR)**

PER OBC 402.2, NATURAL VENTILATION IS PROVIDED FOR THE OFFICE & BREAK ROOM.

MUSEUM - TOTAL FLOOR AREA IS 888 SQUARE FEET. THE OPENABLE AIR TO THE OUTDOOR AIR VIA WINDOWS IS 75 SQUARE FEET (8% OF FLOOR AREA).

BREAK ROOM - TOTAL FLOOR AREA IS 194 SQUARE FEET. THE OPENABLE AIR TO THE OUTDOOR AIR VIA WINDOWS IS 30 SQUARE FEET (16% OF FLOOR AREA).



**CODED NOTES:**

- 1- PANEL ACCESS IN CLOSET FOR ZONE CONTROL DAMPERS BY GC
- 2- RETURN AIR WALL STACK DOWN TO LSVR R1
- 3- 3-1/4"x12 WALL STACK DOWN TO BELOW 9'5" AFF
- 4- 3-1/4"x12 WALL STACK ACROSS CLOSET (9'0" CLG HEIGHT)
- 5- RUN BRANCH IN JOIST SPACE
- 6- MAKE-UP AIR SIZE PER MANUFACTURER OF HOOD; COORDINATE ROUTING & EXTERIOR PENETRATION IN FIELD
- 7- PANEL ACCESS (-39x73) FOR SF7 & GF8 BY GC

**PLAN NOTES:**

1. INSTALLATION FOR HVAC SHALL MEET OBC 2011
2. RECTANGULAR DUCT TO BE INSULATED TO AN R-8 VALUE.
3. MAIN TRUNK DUCT SHOWN METAL SIZE; INCLUDES 2" LINER, UNLESS NOTED OTHERWISE.
4. BRANCHES WITH IN CONDITION SPACE NO WRAP REQUIRED.
5. BRANCHES IN ATTIC TO BE INSULATED TO AN R-8 VALUE INSULATION WRAPPED PIPE &/OR FLEX
6. COORDINATE FANS, DEVICES, WALL STACKS LOCATIONS WITH OTHER TRADES
7. SEE SHEET H2.0 FOR EQUIPMENT SCHEDULES
8. LEGEND
  - RA - RETURN AIR
  - SA - SUPPLY AIR
  - EX - EXHAUST AIR
  - OS - OVAL STACK
  - ⊙ - PROGRAMMABLE STAT
  - ⊙ - SEE SCHEDULES ON SHEET H2.0
  - - DUCT IN UNCONDITIONED (ATTIC) SPACE (INSULATED TO AN R-8 VALUE)
  - - DUCT IN CONDITIONED SPACE (NO WRAP OR LINER REQUIRED)
9. INSTALLATION FOR THE 1820 2ND FLOOR MUSEUM SHALL MEET OBC 2011

Consultants:

- Civil  
Advanced Civil Design  
3330 W. 12th Ave.  
Columbus, OH 43224
- Landscaping  
Kierstead Landscape  
4025 W. 12th Ave.  
Columbus, OH 43224
- Structural  
Kahl Associates  
3300 W. 12th Ave., Suite 101  
Columbus, OH 43224
- Mechanical  
Custom Air  
225 E. Broad Street  
Columbus, OH 43215
- Electrical  
Accurate Electric  
1811 W. 12th Ave.  
Columbus, OH 43224
- Plumbing  
City Mechanical  
228 W. 12th Ave.  
Columbus, OH 43215
- Architectural  
Allerman Engineering  
500 E. Broad Street  
Columbus, OH 43215

- Drawing Issue Dates
- PERMIT  
April 15th, 2016

CODE DATA - OHIO BUILDING CODE  
APPLICABLE CODES: 2013 - Residential Code of Ohio

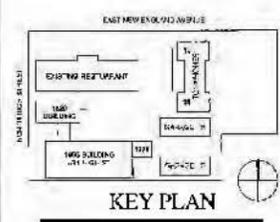
- GENERAL NOTES - GARAGES**
1. 30 NOT SCALE DRAWINGS. DIMENSIONS IN DETAILS SHALL GOVERN OVER SMALL SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
  2. DIMENSIONS SHOWN ON THE FLOOR PLAN FOR CONSTRUCTION ARE TO THE CENTERLINE OF COLUMNS TO THE FINISH FACE OF INTERIOR PARTITION OR TO THE EXTERIOR FACE OF EXTERIOR WALLS.
  3. PROVIDE BLOCKING FOR SUPPORT OF ALL WALL ATTACHMENTS INCLUDING BUT NOT LIMITED TO WALL ACCESSORIES (HAND RAILS, BUMPERS, GUARDS, ETC), TOILET ACCESSORIES (GRAB BARS, DIAPER CHANGING STATIONS, ETC), BARS AND WALL CABINETS. CONTRACTOR SHALL COORDINATE AND VERIFY ALL REQUIREMENTS FOR ATTACHMENTS.
  4. DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CARPENTRY. REFER TO GENERAL WOODWORK NOTES FOR ADDITIONAL INFORMATION.
  5. SECURITY SYSTEM TO BE PROVIDED BY OWNER. COORDINATE ELECTRICAL REQUIREMENTS WITH ELECTRICAL CONTRACTOR.
  6. INTERIOR WALLS AND CEILING TO BE 5/8" GYPSUM BOARD, TYPE 'X' AND PAINTED. COLOR TO BE SELECTED AND APPROVED BY THE OWNER.
  7. ICE GUARD TO BE PROVIDED OVER ENTIRE ROOF BELOW FINISH ROOF.

- LEGEND - SYMBOL**
- # INDICATES KEY NOTE FOR THIS DRAWING ONLY. SEE LEGEND - KEYNOTES.
  - INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES.
  - NEW WALL
  - DASHING WALL TO CONTINUE TO BOTTOM OF COLUMN FOR SEPARATION OF DWELLING UNIT.
  - NEW DOOR

**LEGEND - KEYNOTES**

|         |   |
|---------|---|
| 0421 B1 | CLAY UNIT MASONRY - TYPE 1 - RUNNING BOND   |
| 0421 B2 | CLAY UNIT MASONRY - TYPE 1 - SOLDIER COURSE |
| 0472 C  | CAST STONE MASONRY                          |
| 0554 G  | METAL BUTTER                                |
| 0711 S  | SHINGLES                                    |

- CODED NOTES - GARAGES**
1. GYPSUM BOARD BULHEAD ABOVE.
  2. ACCESS GATE. COORDINATE LOCATION, OPENING, STRUCTURAL, AND ELECTRICAL REQUIREMENTS WITH GATE MANUFACTURER.
  3. LIGHT FIXTURE ABOVE. COORDINATE WITH ELECTRICAL DOCUMENTS.
  4. GARAGE DOOR OPENER WITH CHAIN ABOVE. COORDINATE WITH ELECTRICAL DOCUMENTS.
  5. DOWNSPOUT TO CONNECT TO STORM WATER LINE. COORDINATE WITH CIVIL DOCUMENTS.
  6. 84" THRESHOLD.
  7. ROOF SHINGLES OVER ICE GUARD MEMBRANE OVER 5/8" PLYWOOD. SLOPE OF ROOF TO BE 6/12.
  8. ELECTRICAL PANEL. COORDINATE WITH ELECTRICAL DOCUMENTS.
  9. CONCRETE APRON. SLOPE AWAY FROM GARAGE FLOORS.



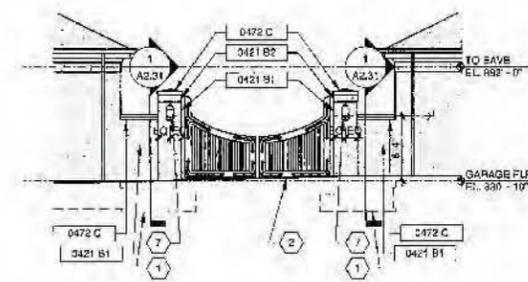
Worthington Lodge  
Garages

634 High Street  
Worthington, Ohio 43085

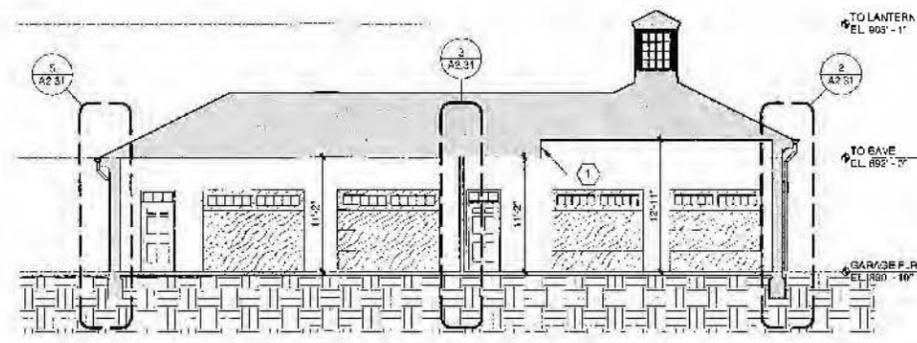
CITY OF WORTHINGTON  
*AR 166-16*  
DRAWING NO.  
DATE *4-29-16*

GARAGES - FLOOR AND ROOF PLANS

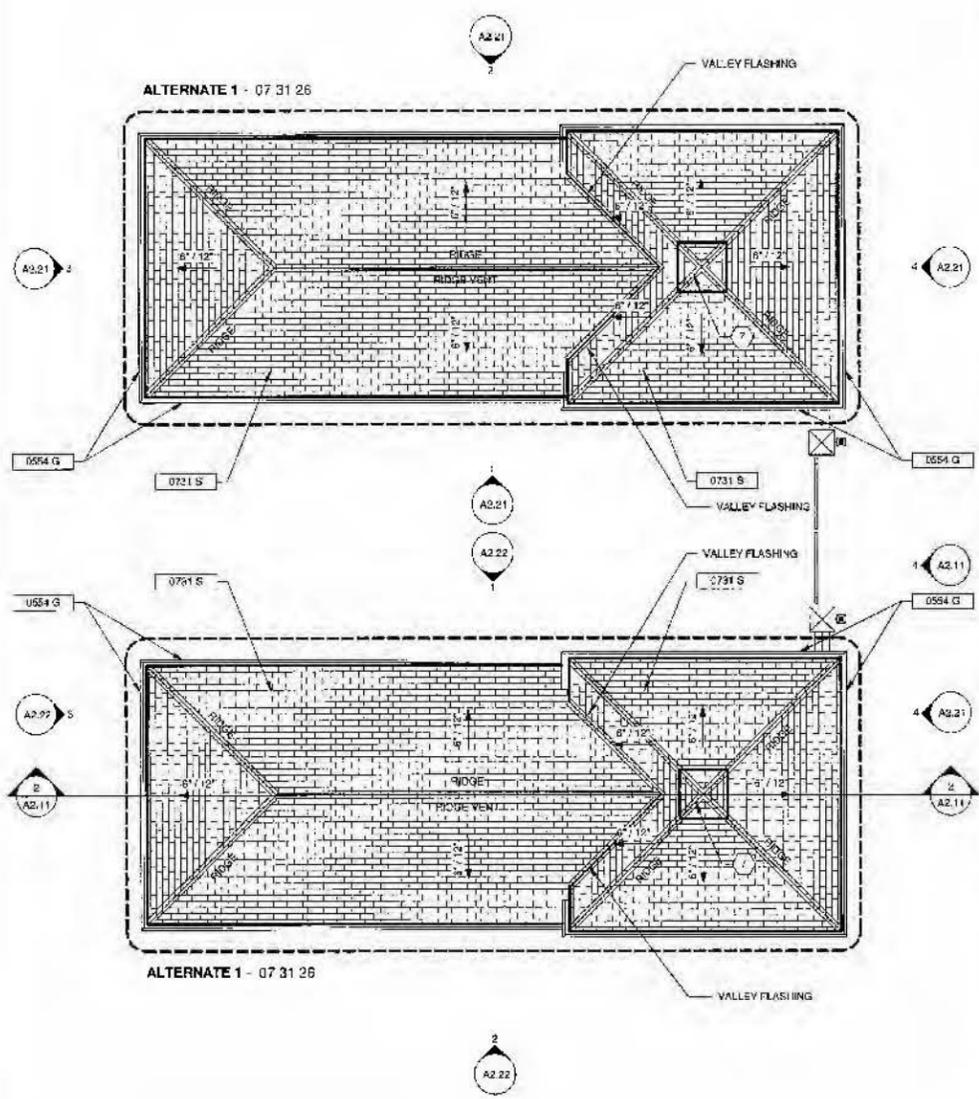
Architectural  
**A2.11**  
April 15th, 2016  
15070.20



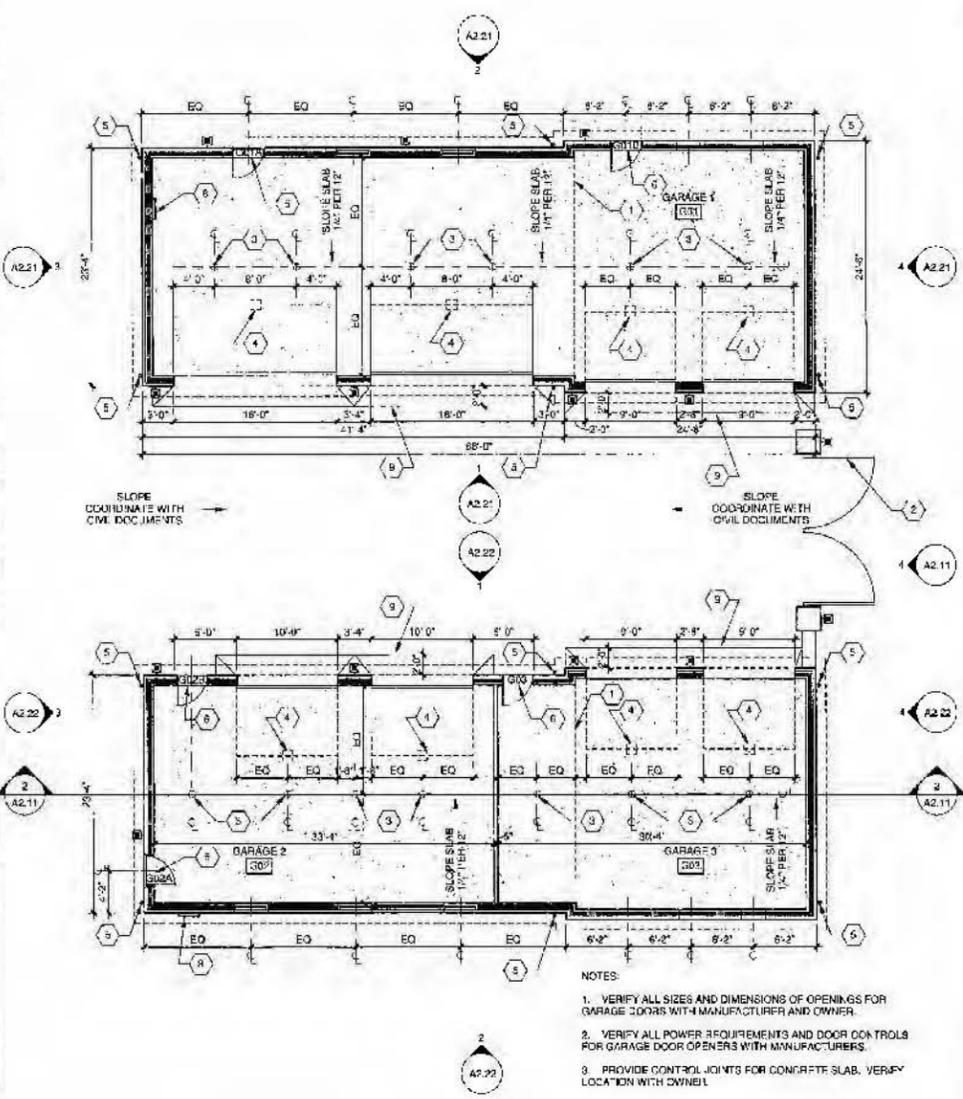
4 GARAGE - EXTERIOR ELEVATION - GATE  
1/8" = 1'-0"



2 GARAGE - BUILDING SECTION - LONGITUDINAL  
1/8" = 1'-0"



3 GARAGES - ROOF PLANS  
1/8" = 1'-0"



1 GARAGES - FLOOR PLANS  
1/8" = 1'-0"

- NOTES:
1. VERIFY ALL SIZES AND DIMENSIONS OF OPENINGS FOR GARAGE DOORS WITH MANUFACTURER AND OWNER.
  2. VERIFY ALL POWER REQUIREMENTS AND DOOR CONTROLS FOR GARAGE DOOR OPENERS WITH MANUFACTURERS.
  3. PROVIDE CONTROL JOINTS FOR CONCRETE SLAB. VERIFY LOCATION WITH OWNER.

Consultants:

- City
- Advanced Civil Design  
4425 South Road  
Columbus, Ohio 43232
- Landscape  
Riepenhoff Landscape  
1075 South 29th Ave  
West Des Moines, IA 50325
- Structural  
Kabil Associates  
2000 Stone Road East, Suite 100  
Columbus, OH 43215
- Mechanical  
Custom Air  
104 DeWitt Road  
Columbus, Ohio 43228
- Electrical  
Accurate Electric  
1014 North 1st St  
Columbus, Ohio 43215
- Painting  
Cray Mechanical  
2220 South Road  
Columbus, Ohio 43228
- Alleyway Engineering  
1000 N. Columbus Ave  
Columbus, Ohio 43215

Drawing Issue Dates

PERMIT  
April 15th, 2016

LEGEND - SYMBOL

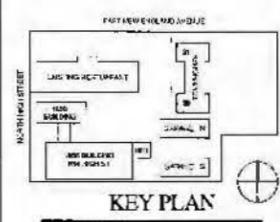
- INDICATES KEY NOTE FOR THIS DRAWING ONLY. SEE LEGEND - KEY NOTES
- INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES
- MASONRY CONTROL JOINT
- DR 41 00 - GLAZING
- 0421 B1 - CLAY UNIT MASONRY - TYPE 1 - RUNNING BOND
- 0421 B2 - CLAY UNIT MASONRY - TYPE 1 - SOLDIER COURSE
- 0661 V - CELLULAR PVC
- 0731 S - SHINGLES

LEGEND - KEYNOTES

|         |   |
|---------|---|
| 0421 B1 | CLAY UNIT MASONRY - TYPE 1 - RUNNING BOND   |
| 0421 B2 | CLAY UNIT MASONRY - TYPE 1 - SOLDIER COURSE |
| 0354 D  | METAL DOWNSPOUT                             |
| 0354 G  | METAL GUTTER                                |
| 0661 V  | CELLULAR PVC                                |
| 0731 S  | SHINGLES                                    |

CODED NOTES - GARAGES - ELEVATIONS

- FOUNDATIONS: COORDINATE WITH STRUCTURAL DOCUMENTS
- MASONRY CONTROL JOINT
- GARAGE DOOR: VERIFY TYPE, FINISH, AND HARDWARE WITH OWNER
- ROOF SHINGLES OVER ICE GUARD MEMBRANE OVER 5/8" PLYWOOD. SLOPE OF ROOF TO BE 5/12
- PREMANUFACTURED LANTERN WITH WINDOW ON ALL FOUR (4) ELEVATIONS (ONE (1) ELEVATION TO PROVIDE OPENING TO ACCESS INTERIOR BY LOCK AND KEY. INTERIOR TO HAVE LIGHT FIXTURE LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DOCUMENTS. EXTERIOR AND INTERIOR FINISH TO BE PAINTED TO MATCH EXTERIOR TRIM COLOR
- EXTERIOR LIGHT FIXTURES: COORDINATE WITH ELECTRICAL DOCUMENTS



Worthington Lodge  
Garages

634 High Street  
Worthington, Ohio 43085

CITY OF WORTHINGTON  
AR 166-16  
DRAWING NO.

DATE 4-29-16

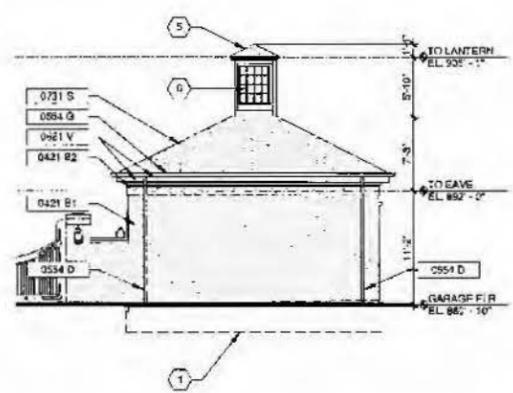
NORTH GARAGE - EXTERIOR ELEVATIONS

Architectural

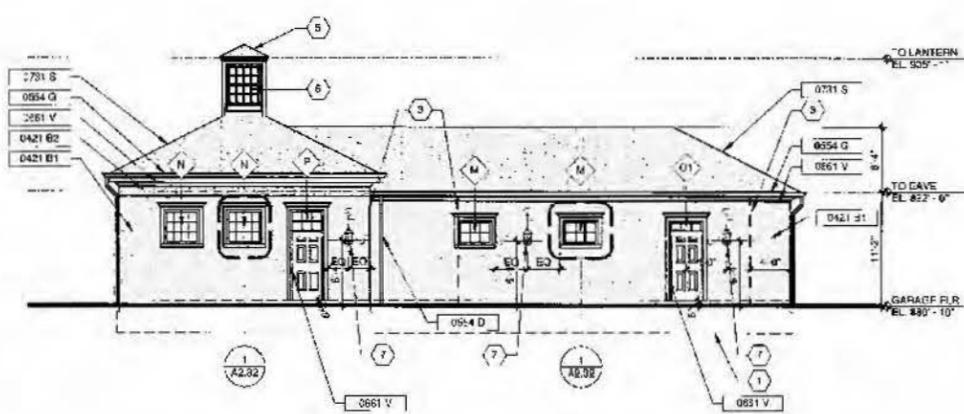
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April 15th, 2016

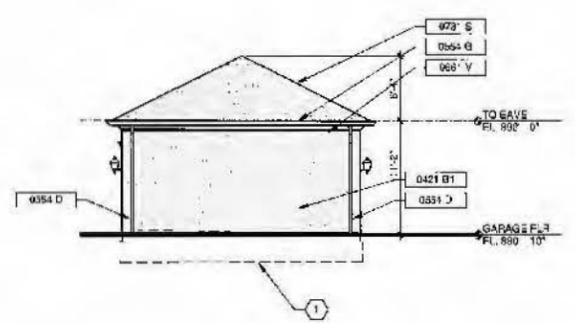
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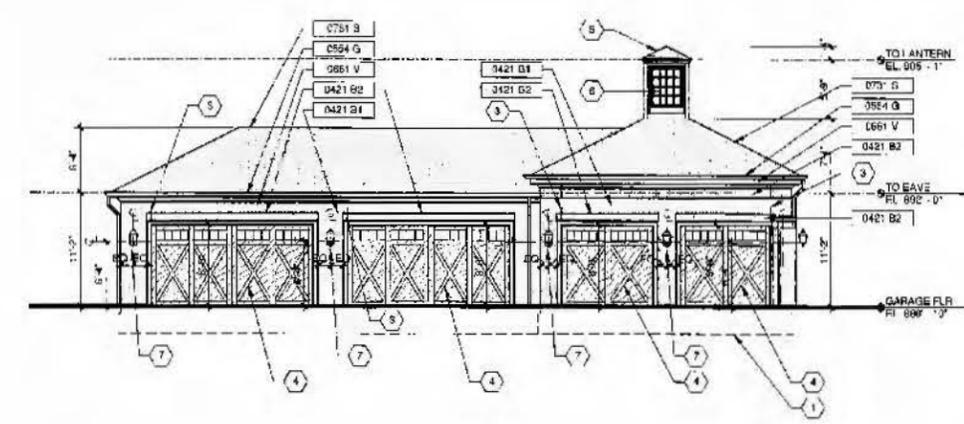
4 N GARAGE - EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"



2 NORTH GARAGE - EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"



3 N GARAGE - EXTERIOR ELEVATION - WEST  
1/8" = 1'-0"



1 NORTH GARAGE - EXTERIOR ELEVATION - SOUTH  
1/8" = 1'-0"

Consultants:

**Civil**  
Advanced Civil Design  
4400 River Road  
Columbus, OH 43230

**Landscape**  
Riepenhoff Landscape  
2000 East Main Street  
Columbus, OH 43206

**Structural**  
Kubli Associates  
1000 South Main Street, Suite 204  
Columbus, OH 43207

**Mechanical**  
Custom Air  
1000 South Main Street  
Columbus, OH 43207

**Electrical**  
Accurate Electric  
1000 South Main Street  
Columbus, OH 43207

**Plumbing**  
Gray Mechanical  
1000 South Main Street  
Columbus, OH 43207

**Alumens Engineering**  
1000 South Main Street  
Columbus, OH 43207

Drawing Issue Dates

PERMIT  
April 15th, 2016

LEGEND - SYMBOL

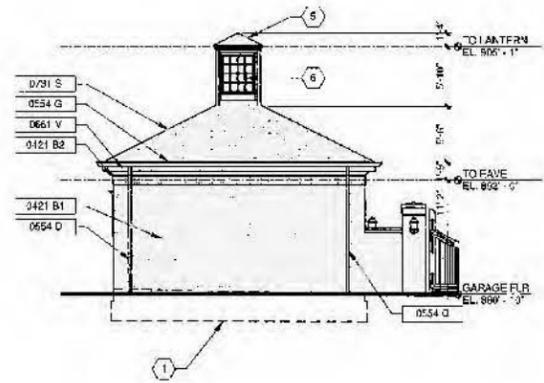
- # INDICATES KEY NOTE FOR THIS DRAWING ONLY. SEE LEGEND - KEY NOTES.
- ⓐ INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES.
- - - MASONRY CONTROL JOINT
- 06 82 00 - GLAZING
- 0421 B1 - CLAY UNIT MASONRY - TYPE 1 - RUNNING BOND
- 0421 B2 - CLAY UNIT MASONRY - TYPE 1 - SOLDIER COURSING
- 0661 V - CELLULAR PVC
- 0731 S - SHINGLES

LEGEND - KEYNOTES

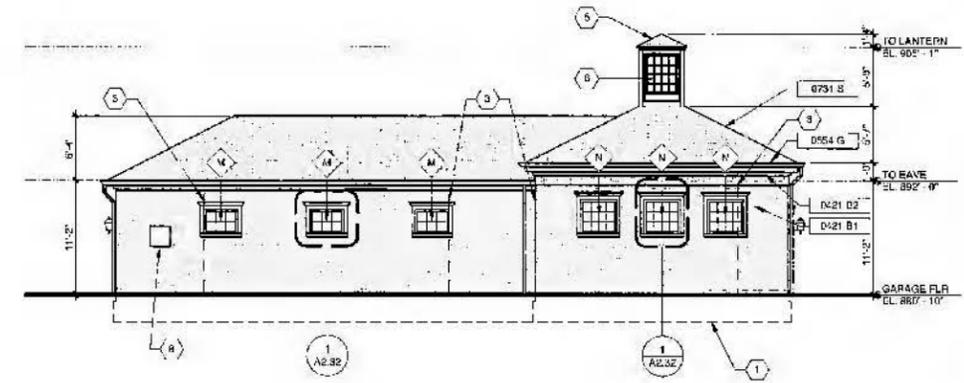
|         |   |
|---------|---|
| 0421 B1 | CLAY UNIT MASONRY - TYPE 1 - RUNNING BOND     |
| 0421 B2 | CLAY UNIT MASONRY - TYPE 1 - SOLDIER COURSING |
| 0554 D  | METAL DOWNEPOUT                               |
| 0554 G  | METAL GLITTER                                 |
| 0661 V  | CELLULAR PVC                                  |
| 0731 S  | SHINGLES                                      |

CODED NOTES - GARAGES - ELEVATIONS

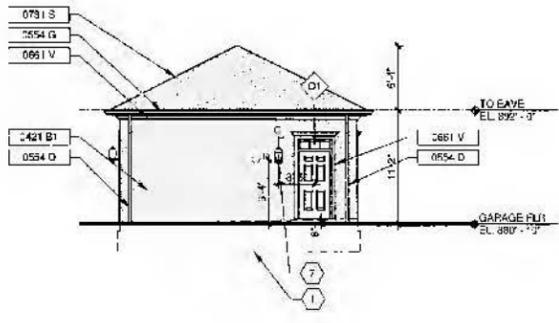
- 1 FOUNDATIONS. COORDINATE WITH STRUCTURAL DOCUMENTS.
- 2 MASONRY CONTROL JOINT.
- 3 GARAGE DOOR. VERIFY TYPE, FINISH, AND HARDWARE WITH OWNER.
- 4 ROOF SHINGLES OVER ICE GUARD MEMBRANE OVER 5/8" PLYWOOD. SLOPE OF ROOF TO BE 6/12.
- 5 PREFABRICATED LANTERN WITH WINDOW ON ALL FOUR (4) ELEVATIONS. ONE (1) ELEVATION TO PROVIDE OPENING TO ACCESS INTERIOR BY LOCK AND KEY. INTERIOR TO HAVE LIGHT FIXTURE LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DOCUMENTS. EXTERIOR AND INTERIOR FINISH TO BE PAINTED TO MATCH EXTERIOR TRIM COLOR.
- 6 EXTERIOR LIGHT FIXTURES. COORDINATE WITH ELECTRICAL DOCUMENTS.



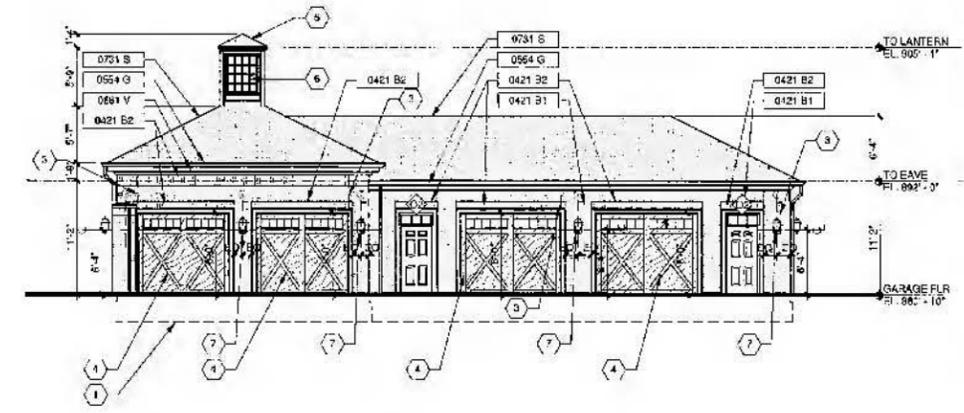
④ S GARAGE - EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"



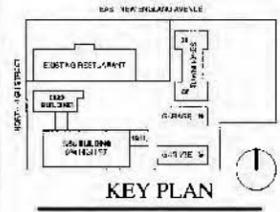
② SOUTH GARAGE - EXTERIOR ELEVATION - SOUTH  
1/8" = 1'-0"



③ S GARAGE - EXTERIOR ELEVATION - WEST  
1/8" = 1'-0"



① SOUTH GARAGE - EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"



KEY PLAN

Worthington Lodge  
Garages

634 High Street  
Worthington, Ohio 43065

CITY OF WORTHINGTON  
AR 166-116  
DRAWING NO.  
DATE 4-29-16

SOUTH GARAGE - EXTERIOR  
ELEVATIONS

Architectural

**A2.22**

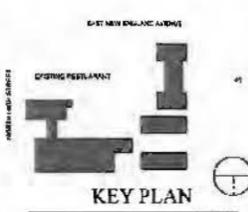
April 15th, 2016

15070.20

- Consultants:
- Civil  
Advanced Civil Designs  
2000 North Ave.  
Columbus, OH 43204
  - Landscape  
POD Design  
2000 North Ave., Suite 200  
Columbus, OH 43204
  - Structural  
Kabil Associates  
3000 Lakeside Blvd. Suite 100  
Columbus, OH 43224
  - Mechanical  
Custom Air  
25 South Ave.  
Columbus, OH 43204
  - Electrical  
Acoustic's Electric  
2000 North Ave.  
Columbus, OH 43204
  - Plumbing  
Grey Mechanical  
1000 North Ave.  
Columbus, OH 43204
  - Allemani Engineering  
500 North Ave.  
Columbus, OH 43204

Drawing Issue Dates

PERMIT  
April 15th, 2016



Worthington Lodge  
Garages

634 High Street  
Worthington, Ohio 43085

CITY OF WORTHINGTON  
AR 166-116  
DRAWING NO.

DATE 4-29-16

GARAGES - ELECTRIC PLANS

**E2.11**

April 10, 2016

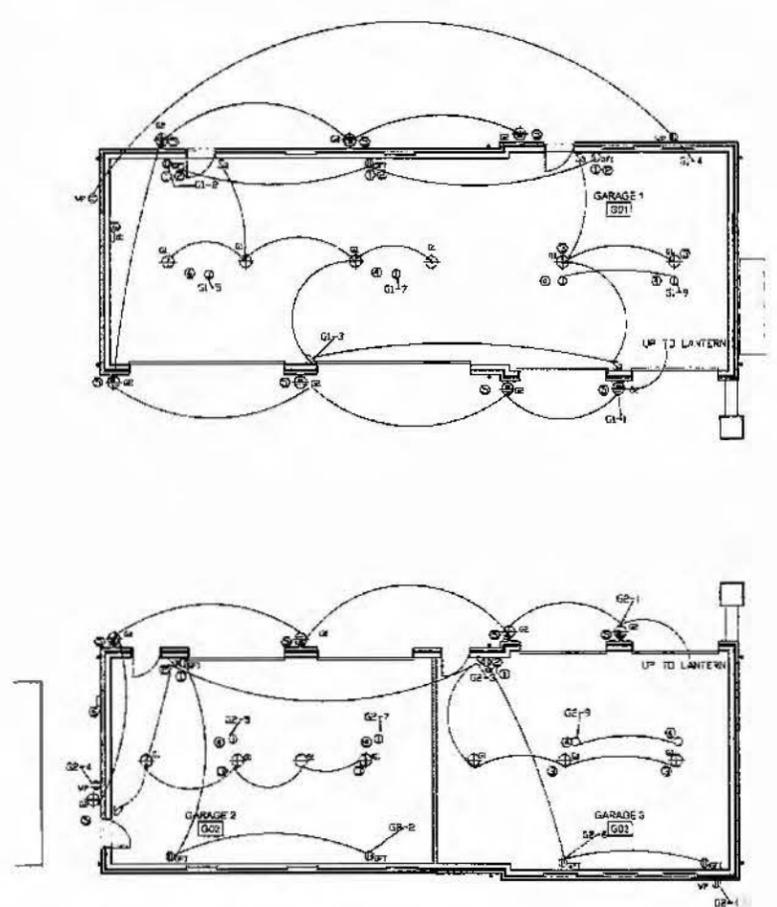
15070.20

**GENERAL NOTES:**  
-ALL WIRING PER N.E.C. AND LOCAL CODES  
-ALL WIRING TO BE CONCEALED  
-VERIFY ALL OUTLET AND FIXTURE LOCATIONS WITH ARCHITECTURAL DRAWINGS

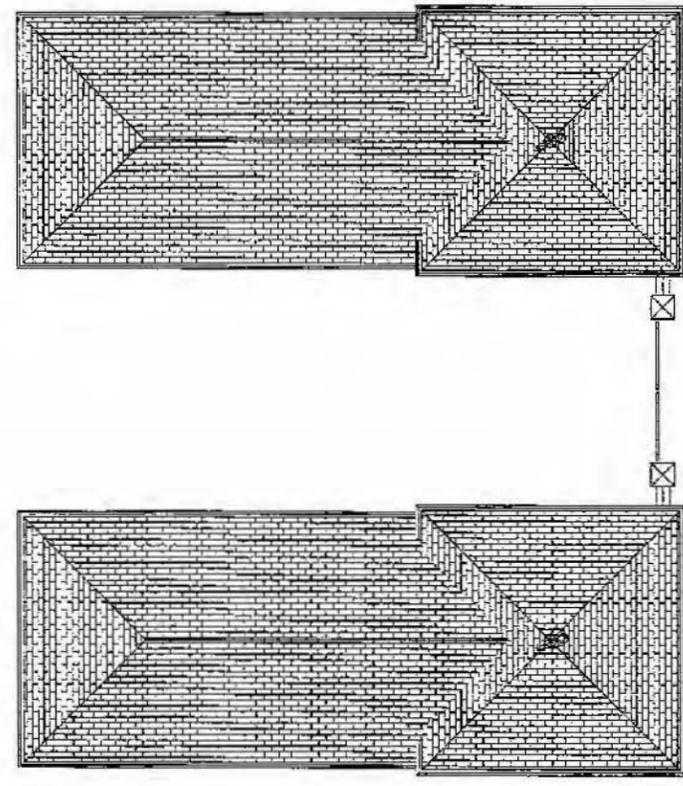
**CODED NOTES:**  
 1) GAGE SWITCH AND OUTLET, 4" AT 48" AFF.  
 2) GARAGE DOOR BUTTON ABOVE RUN 1/2" CABLE FROM BUTTON TO MOTOR OPENER.  
 3) CENTER LIGHT WITH GARAGE DOOR.  
 4) CENTER OUTLET WITH GARAGE DOOR.  
 5) SEE ARCH. E-1 VENTILATORS FOR MOUNTING HEIGHT. RETURN PER JACK VAPOR ABOVE ELECTRIC PANEL.  
 6) GARAGE ELECTRIC PANEL, SEE SHEET E4.10 FOR PANEL SCHEDULES AND MISC.  
 7) LIGHT FIXTURE FOR LANTERN ILLUMINATION.

**LEGEND:**  
 1) DUPLEX RECEPTACLE  
 2) 1/2" RECEPTACLE WITH 40" COVER HT. 18" AFF.  
 3) 1/2" RECEPTACLE HT. AT 48" AFF. UNIL.  
 4) SINGLE RECEPTACLE  
 5) SINGLE POLE TOGGLE SWITCH  
 6) 3 WAY TOGGLE SWITCH  
 7) 4 WAY TOGGLE SWITCH

**FIXTURE SCHEDULE:**  
 1) PROGRESS P2202-090089, 17 WATT LED  
 2) PROGRESS P5684-SL, 7 WATT LED  
 3) NUVO 85239, 105 WATT LED MOUNT ON CENTER OF FLOOR FOR UP LIGHT.



SERVICE LOCATION  
SEE ONE - ONE  
ON SHEET E4.10

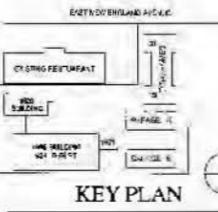


1 GARAGES - FLOOR PLANS  
1/8" = 1'-0"

- Consultants:
- OMV  
Advanced Civil Design  
2500 N. High Street  
Columbus, OH 43219
  - Landscape  
Riesenhoff Landscape  
2700 Grandview Circle  
Columbus, OH 43234
  - Structural  
Kahl Associates  
2700 Grandview Circle, Suite 200  
Columbus, OH 43234
  - Mechanical  
Custom Air  
4615 Columbus Road  
Columbus, OH 43230
  - Electrical  
Accurate Electric  
2813 Cleveland Road  
Columbus, OH 43234
  - Plumbing  
Gray Mechanical  
2813 Cleveland Road  
Columbus, OH 43234
  - Allgemein Engineering  
4800 E. 12th Ave.  
Columbus, OH 43232

Drawing Issue Dates

PERMIT  
April 15th, 2016



North Townhome  
31 E New England Avenue  
Worthington, Ohio 43085

South Townhome  
29 E New England Avenue  
Worthington, Ohio 43085

**CITY OF WORTHINGTON**  
AR 16-16  
DRAWING NO.

DATE 4-29-16

TOWNHOMES - FLOOR AND CEILING PLANS - FIRST

Architectural

**A3.11**

April 15th, 2016

15070.20

**CODE DATA - OHIO BUILDING CODE**

APPLICABLE CODES: 2013 - Residential Code of Ohio

**GENERAL NOTES - FLOOR PLANS**

- DO NOT SCALE DRAWINGS. DIMENSIONS IN DETAILS SHALL GOVERN OVER SMALL SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- DIMENSIONS SHOWN ON THE FLOOR PLAN FOR CONSTRUCTION ARE TO THE CENTERLINE OF COLUMNS TO THE FINISH FACE OF INTERIOR PARTITION OR TO THE EXTERIOR FACE OF EXTERIOR WALLS.
- PROVIDE BLOCKING FOR SUPPORT OF ALL WALL ATTACHMENTS INCLUDING BUT NOT LIMITED TO WALL ACCESSORIES (HANDRAIL, BLUMPER, GUARDS, ETC.) TOILET ACCESSORIES (GRAB BARS, DIAPER CHANGING STATIONS, ETC.) BASE AND WALL CABINETS. CONTRACTOR SHALL COORDINATE AND VERIFY ALL REQUIREMENTS FOR ATTACHMENTS.
- DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CABINETRY. REFER TO GENERAL WOODWORK NOTES FOR ADDITIONAL INFORMATION.
- ALL WATER CLOSETS SHALL BE MOUNTED SO THAT THERE IS 1" BETWEEN FINISH FACE OF THE CLOSET, ADJACENT SIDE WALL OR TOILET PARTITION AND THE CENTERLINE OF THE WATER CLOSET. THE FLUSH VALVE FOR ALL WATER CLOSETS SHALL BE MOUNTED ON THE "OPEN-MOUNT" SIDE OF THE WATER CLOSET AT 4" MAXIMUM A.F.F. TO THE TOP.
- CONTRACTOR SHALL BUILD SUBTILES TO ACCOMMODATE DEPTH REQUIRED BY FIRE EXTINGUISHER CABINETS AND RECESSED POWER PANELS. COORDINATE WITH ENGINEERING DRAWINGS FINAL LOCATIONS OF ALL CABINETS AND PANELS TO BE APPROVED BY THE ARCHITECT.
- RUBBER WALL BASE SHALL NOT BE INSTALLED ON BASE CABINET TOP UNLESS SPECIFICALLY AUTHORIZED BY ARCHITECT.
- PROVIDE BLOCKING IN WALLS AT ALL TOILET LOCATIONS FOR THE FUTURE INSTALLATION OF ADA COMPLIANT GRAB BARS.
- ALL CABINETRY BY OTHERS. COORDINATE LOCATION WITH MECHANICAL, PLUMBING AND ELECTRICAL WORK AND REQUIREMENTS WITH FINAL CABINETRY PLACEMENT.
- ALL APPLIANCES BY OTHERS. COORDINATE LOCATION WITH MECHANICAL, PLUMBING AND ELECTRICAL WORK AND REQUIREMENTS WITH FINAL APPLIANCE PLACEMENT.

**LEGEND - SYMBOL**

- # INDICATES KEY NOTES FOR THIS DRAWING ONLY. SEE LEGEND - KEY NOTES.
- ⊕ INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES.
- NEW WALL
- DIMENSION WALL TO CONTINUE TO BOTTOM OF FLOOR SYSTEM FOR SEPARATION OF DWELLING UNIT
- ⌞ NEW DOOR
- 0613 R - SPALFD CONCRETE
- 0630 T1 - PORCELAIN TILE
- 0664 W - HARDWOOD
- 0680 C1 - CARPET 1

**LEGEND - KEYNOTES**

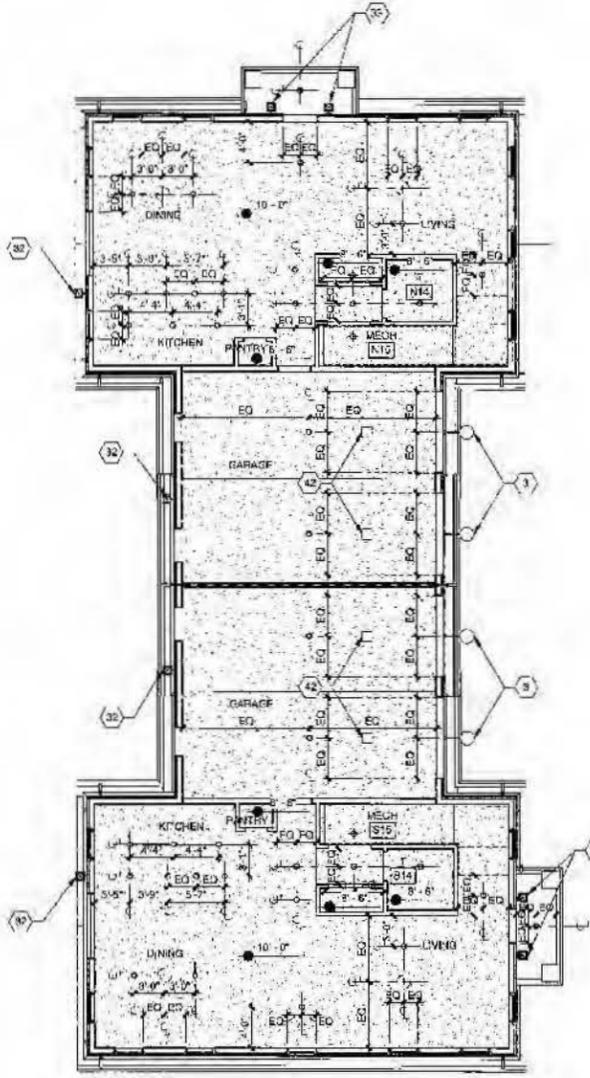
- 0613 R - WOOD RAILINGS
- 0613 B - WOOD STAIRS

**CODED NOTES - TOWNHOMES**

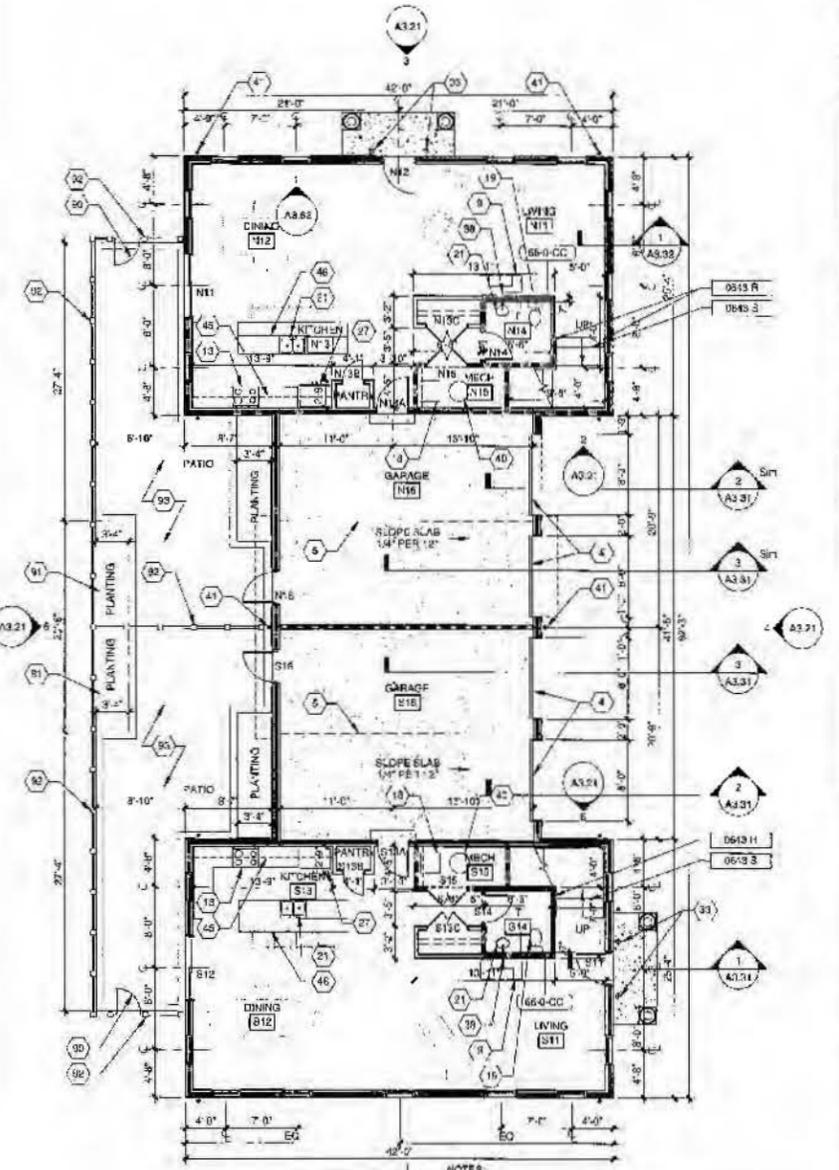
- FOUNDATIONS. COORDINATE WITH STRUCTURAL DOCUMENTS.
- DECORATIVE COVER OF PVC CELLULAR. PROVIDE SAMPLE FOR FINAL SELECTION BY OWNER AND ARCHITECT.
- LIGHT FIXTURE ON WALL. COORDINATE WITH ELECTRICAL DOCUMENTS.
- GARAGE DOOR. VERIFY TYPE, FINISH AND HARDWARE WITH OWNER.
- 1.5" TYPE X GYPSUM BOARD SOFFIT ABOVE.
- FRONT PORCH WITH COGNITIVE FINISHED WOOD SURROUND. GAE B. JOINING WITH ELECTRIC STARTER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- METAL FLUE FOR GAS FIREPLACE.
- GAS RANGE, 4 BURNER. COORDINATE WITH MECHANICAL AND PLUMBING DOCUMENTS.
- BATHS. PROVIDE BATHS ACCESS PANEL AND TIE SURROUND. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS. COORDINATE WITH PLUMBING DOCUMENTS.
- MECHANICAL UNIT. COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS.
- TOILET. COORDINATE WITH PLUMBING DOCUMENTS.
- SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- SHOWER. SHOWER ENCLOSURE TO BE THERMO GLASS WITH SINK DOOR OR OPTION. SLIDING DOOR. OWNER TO REVIEW AND APPROVE. COORDINATE WITH PLUMBING DOCUMENTS.
- REFRIGERATOR. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- LIGHT FIXTURE TO BE CENTERED IN ROOM. COORDINATE ELECTRICAL DOCUMENTS.
- EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DOCUMENTS.
- 3AS LIGHT FIXTURE. COORDINATE WITH PLUMBING AND ELECTRICAL DOCUMENTS.
- WASHER AND DRYER. COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS.
- DIGITAL DISPLAY, WALL MOUNTED. PROVIDE BLOCKING IN WALL AS REQUIRED. COORDINATE WITH ELECTRICAL DOCUMENTS.
- WATER HEATER. COORDINATE WITH PLUMBING DOCUMENTS.
- DOWNSPOUT TO CONNECT TO STORM WATER LINE. COORDINATE WITH CIVIL DOCUMENTS.
- GARAGE DOOR OPENER WITH CHAIN ABOVE. COORDINATE WITH ELECTRICAL DOCUMENTS.
- MICROWAVE. COORDINATE WITH ELECTRICAL DOCUMENTS.
- DISHWASHER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- DATE. COORDINATE WITH LANDSCAPE DOCUMENTS.
- PLANTING. COORDINATE WITH LANDSCAPE DOCUMENTS.
- FENCE. COORDINATE WITH LANDSCAPE DOCUMENTS.
- BRICK PATIO. COORDINATE WITH LANDSCAPE DOCUMENTS.

**GENERAL NOTES - CEILING PLANS**

- THE CONTRACTOR MUST SUBMIT TO ARCHITECT A COORDINATED REFINISHED CEILING PLAN FOR REVIEW AND APPROVAL INCLUDING LIGHT FIXTURES, SPRINKLER HEADS AND MECHANICAL LAYOUTS.
- REFER TO HVAC DRAWINGS FOR LOCATION OF SUPPLY DIFFUSERS AND RETURN GRILLS.
- REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF LIGHT FIXTURES AND CEILING MOUNTED SMOKE DETECTORS, SPRINKERS, FIRE ALARM DEVICES, ETC.
- THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF APPROPRIATE SIZE AND TYPE TO ACCESS AND SERVICE SHOULD BE INSTALLED IN GYPSUM BOARD CEILINGS OR SOFFITS AND OTHER NON ACCESSIBLE TYPE CEILINGS OR SOFFITS WHERE ACCESS, SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING OR ELECTRICAL ITEMS MAY BE NEEDED. ACCESS PANELS SHALL BE OF THE RATED TYPE EQUAL TO THE RATING OF THE CEILING OR SOFFIT IN WHICH THEY OCCUR.
- THE CONTRACTOR SHALL PROVIDE ACCESS PANELS IN GYPSUM BOARD CEILINGS AND IN HARD SURFACE SOFFITS SO THAT THE ARCHITECT, THE STATE AND LOCAL OFFICIALS CAN INSPECT RAISED WALLS. THESE ACCESS PANELS SHALL BE LOCATED AS NECESSARY TO VIEW ALL SURFACES OF THE RAISED WALLS.
- ADJUSTED NEW DIMENSIONAL WOOD FRAMING TO ACCOMMODATE LAYOUT OF LIGHTING FIXTURES.



**2 TOWNHOMES - CEILING PLAN - FIRST**  
1/8" = 1'-0"

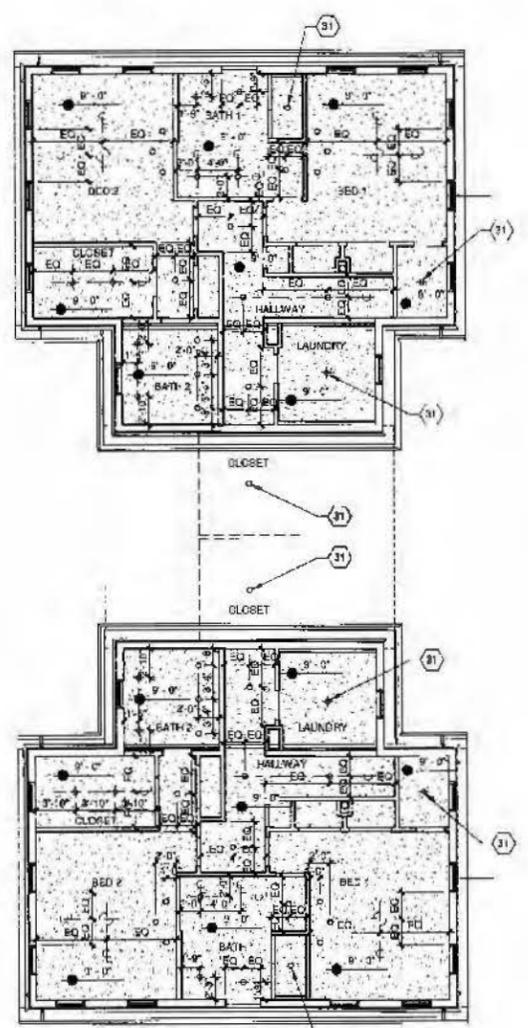


**1 TOWNHOMES - FLOOR PLAN - FIRST**  
1/8" = 1'-0"

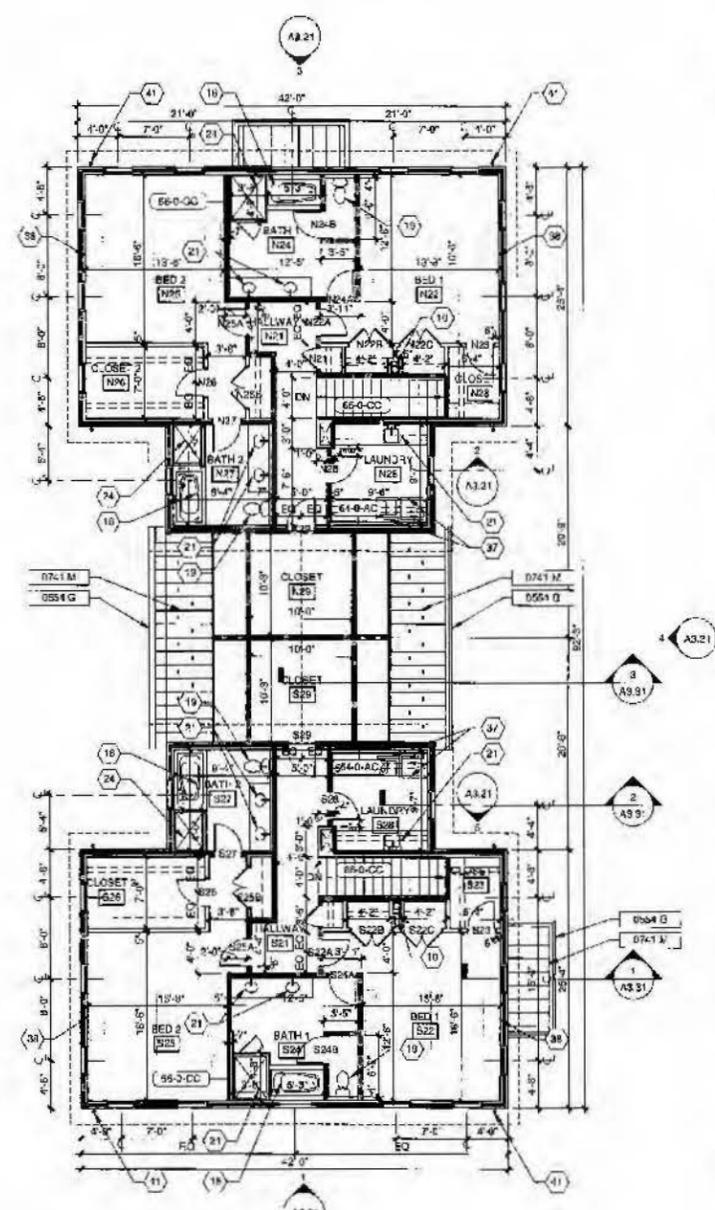
- NOTES:
- VERIFY ALL SIZES AND DIMENSIONS FOR OPENING FOR GARAGE DOORS WITH MANUFACTURER AND OWNER.
  - VERIFY ALL POWER REQUIREMENTS FOR GARAGE DOOR OPENERS WITH MANUFACTURER.

- ### CODED NOTES - CEILING PLANS
- 1 PROVIDE 5/8" BEAD BOARD OVER EXTERIOR FINISH. COLOR TO BE SELECTED AND APPROVED BY THE ARCHITECT AND OWNER.
  - 2 NEW PLASTER CEILING. PAINTED COLOR TO BE SELECTED AND APPROVED BY THE OWNER.
  - 3 ACCESS PANEL. COORDINATE WITH MECHANICAL DOCUMENTS.
  - 4 GYPSUM BOARD SOFFIT. COORDINATE WITH MECHANICAL DOCUMENTS.
  - 5 GYPSUM BOARD SOFFIT. COORDINATE WITH STRUCTURAL DOCUMENTS.
  - 6 GYPSUM BOARD SOFFIT. COORDINATE WITH STRUCTURAL DOCUMENTS. ALIEN EDGE OF FINISH WITH EDGE OF FINISHES FOR COLUMN ENCLOSURE.
  - 7 EXPOSED CEILING. NO FINISH CEILING SYSTEM.
  - 8 PLACE BATT INSULATION CONTIGUOUS ON TOP OF EXISTING VAULTED CEILING.
  - 9 EXPOSED MECHANICAL DUCTWORK. COORDINATE WITH MECHANICAL DOCUMENTS.
  - 10 STRUCTURAL PLATFOM ABOVE CEILING TO SUPPORT MECHANICAL EQUIPMENT. COORDINATE WITH STRUCTURAL AND MECHANICAL DOCUMENTS.
  - 28 CEILING FAN. PLACE IN CENTER OF ROOM/CANOPY. COORDINATE WITH ELECTRICAL DOCUMENTS.
  - 29 LIGHT FIXTURE. PLACE IN CENTER OF ROOM. COORDINATE WITH ELECTRICAL DOCUMENTS.
  - 31 LIGHT FIXTURE, PENDANT. COORDINATE WITH ELECTRICAL DOCUMENTS.
  - 32 LIGHT FIXTURE, CIRCULAR. COORDINATE WITH ELECTRICAL DOCUMENTS.
  - 33 LIGHT FIXTURE, SINKWORK. COORDINATE WITH ELECTRICAL DOCUMENTS.

- ### GENERAL NOTES - CEILING PLANS
- 1 THE CONTRACTOR MUST SUBMIT TO ARCHITECT A COORDINATED REFLECTED CEILING PLAN FOR REVIEW AND APPROVAL, INCORPORATING LIGHT FIXTURES, SPRINKLER HEADS AND MECHANICAL LAYOUTS.
  - 2 REFER TO HVAC DRAWINGS FOR LOCATION OF SUPPLY DIFFUSERS AND RETURN GRILLES.
  - 3 REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF LIGHT FIXTURES AND CEILING MOUNTED SMOKE DETECTOR SPEAKERS, FIRE ALARM SERVICES, ETC.
  - 4 THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF APPROPRIATE SIZE AND TYPE TO ACCESS AND SERVICE SHALL BE INSTALLED IN GYPSUM BOARD CEILINGS OR SOFFITS AND OTHER NON ACCESSIBLE TYPE CEILINGS OR SOFFITS WHERE ACCESS, SERVICES OR ADJUSTMENT TO MECHANICAL, PLUMBING OR ELECTRICAL ITEMS MAY BE NEEDED. ACCESS PANELS SHALL BE OF FIRE RATED TYPE EQUIVAL TO THE RATING OF THE CEILING OR SOFFIT IN WHICH THEY OCCUR.
  - 5 THE CONTRACTOR SHALL PROVIDE ACCESS PANELS IN GYPSUM BOARD CEILINGS AND IN HARD SURFACE SOFFITS SO THAT THE ARCHITECT, THE STATE AND LOCAL OFFICIALS CAN VIEW THE RATED WALLS. THESE ACCESS PANELS SHALL BE LOCATED AS NECESSARY TO VIEW ALL SURFACES OF THE RATED WALLS.
  - 6 ADJUSTED NEW DIMENSIONAL WOOD FRAMING TO ACCOMMODATE LAYOUT OF LIGHTING FIXTURES.



2 TOWNHOMES - CEILING PLAN - SECOND  
1/8" = 1'-0"



1 TOWNHOMES - FLOOR PLANS - SECOND  
1/8" = 1'-0"

- ### GENERAL NOTES - FLOOR PLANS
- 1 DO NOT SCALE DRAWINGS. DIMENSIONS IN DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
  - 2 DIMENSIONS SHOWN ON THE FLOOR PLAN FOR CONSTRUCTION ARE TO THE CENTERLINE OF COLUMNS TO THE FINISH FACE OF INTERIOR PARTITION OR TO THE EXTERIOR FACE OF EXTERIOR WALLS.
  - 3 PROVIDE BLOCKING FOR SUPPORT OF ALL WALL ATTACHMENTS INCLUDING BUT NOT LIMITED TO WALL ACCESSORIES (HANDRAIL BUMPERS, GUARDS, ETC) TOILET ACCESSORIES (TOILET BATHS, CHAPER CHANGING STATIONS, ETC), RAMP HAND WALL CABINETS. CONTRACTOR SHALL COORDINATE AND VERIFY ALL REQUIREMENTS FOR ATTACHMENTS.
  - 4 DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CABINETS. REFER TO GENERAL WOODWORK NOTES FOR ADDITIONAL INFORMATION.
  - 5 ALL WATER CLOSETS SHALL BE MOUNTED SO THAT THERE IS 1'-6" BETWEEN FACE OF THE CLOSET ADJACENT SIDE WALL, ON EUBLEY PARTITION AND THE CENTERLINE OF THE WATER CLOSET. THE FLUSH VALVE FOR ALL WATER CLOSETS SHALL BE MOUNTED ON THE "OPEN-MOST" SIDE OF THE WATER CLOSET AT 44" MAXIMUM A.F.F. TO THE TOP.
  - 6 CONTRACTOR SHALL BUILD OUT PARTITIONS TO ACCOMMODATE DEPTH REQUIRED BY FIRE EXTINGUISHER CABINETS AND REDUCED POWER PANELS. COORDINATE WITH ENGINEERING DRAWINGS FINAL LOCATIONS OF ALL CABINETS AND PANELS TO BE APPROVED BY THE ARCHITECT.
  - 7 RUBBER WALL BASE SHALL NOT BE INSTALLED ON BASE CABINET FOR KICK LAYERS SPECIFICALLY AUTHORIZED BY ARCHITECT.
  - 8 PROVIDE BLOCKING IN WALLS AT ALL LIGHT LOCATIONS FOR THE FUTURE INSTALLATION OF ADA COMPLIANT GRAB BARS.
  - 9 ALL CABINETS BY OTHERS. COORDINATE LOCATION WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK AND REQUIREMENTS WITH FINAL CABINETS PLACEMENT.
  - 10 ALL APPLIANCES BY OTHERS. COORDINATE LOCATION WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK AND REQUIREMENTS WITH FINAL APPLIANCE PLACEMENT.

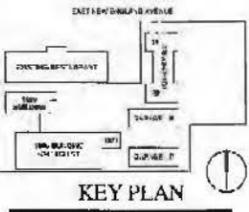
- ### LEGEND - SYMBOL
- # INDICATES KEY NOTE FOR THIS DRAWING ONLY. SEE LEGEND - KEY NOTES.
  - ⊕ INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES.
  - NEW WALL.
  - DIMENSION WALL TO CONTINUE TO BOTTOM OF FLOOR SYSTEM FOR SEPARATION OF CEILING UNIT.
  - NEW DOOR.
  - 0355 S - SEALED CONCRETE.
  - 0900 T1 - POLYCELAN TILE.
  - 0861 W - HARDWOOD.
  - 0980 C1 - CARPET 1.

- ### LEGEND - KEYNOTES
- 0564 G - METAL GUTTER.
  - 0741 M - MANUFACTURED ROOF PANELS.

- ### CODED NOTES - TOWNHOMES
- 1 FOUNDATION. COORDINATE WITH STRUCTURAL DOCUMENTS.
  - 2 DECORATIVE LOUVER OF PVC CELLULAR. PROVIDE SAMPLE FOR FINAL SELECTION BY OWNER AND ARCHITECT.
  - 3 LIGHT FIXTURE ON WALL. COORDINATE WITH ELECTRICAL DOCUMENTS.
  - 4 GARAGE DOOR. VERIFY TYPE, FINISH, AND HARDWARE WITH OWNER.
  - 5 1/2" TYPE X GYPSUM BOARD SOFFIT ABOVE.
  - 6 REPLACE WITH DECORATIVE PAINTED WOOD SURROUND. GAS BURNING WITH ELEC1140 STARTER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
  - 10 METAL FLUE FOR GAS FIREPLACE.
  - 15 GAS RANGE 4 BURNER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
  - 18 BATHS. PROVIDE BATHROOM ACCESS PANEL AND TILE SURROUND. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS. COORDINATE WITH PLUMBING DOCUMENTS.
  - 19 MECHANICAL UNIT. COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS.
  - 20 TOILET. COORDINATE WITH PLUMBING DOCUMENTS.
  - 21 SINK. COORDINATE WITH PLUMBING DOCUMENTS.
  - 22 SHOWER. SHOWER ENCLOSURE TO BE TEMPERED GLASS WITH SWING DOOR OR OPTIONAL SLIDING DOOR. OWNER TO REVIEW AND APPROVE. COORDINATE WITH PLUMBING DOCUMENTS.
  - 27 REFRIGERATOR. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
  - 31 LIGHT FIXTURE TO BE CENTERED IN ROOM. COORDINATE ELECTRICAL DOCUMENTS.
  - 32 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DOCUMENTS.
  - 33 GAS LIGHT FIXTURE. COORDINATE WITH PLUMBING AND ELECTRICAL DOCUMENTS.
  - 37 WASHER AND DRYER. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS.
  - 38 DRINK DISPLAY WALL MOUNTED. PROVIDE BLOCKING IN WALL AS REQUIRED. COORDINATE WITH ELECTRICAL DOCUMENTS.
  - 40 WATER HEATER. COORDINATE WITH PLUMBING DOCUMENTS.
  - 41 DOWNSPOUT TO CONNECT TO STORM WATERLINE. COORDINATE WITH CIVIL DOCUMENTS.
  - 43 GARAGE DOOR OPENER WITH CHAIN ABOVE. COORDINATE WITH ELECTRICAL DOCUMENTS.
  - 45 MICROWAVE. COORDINATE WITH ELECTRICAL DOCUMENTS.
  - 46 DISHWASHER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
  - 40 PAT. COORDINATE WITH LANDSCAPE DOCUMENTS.
  - 91 PLANTING. COORDINATE WITH LANDSCAPE DOCUMENTS.
  - 92 PLANTING. COORDINATE WITH LANDSCAPE DOCUMENTS.
  - 93 BRICK PATIO. COORDINATE WITH LANDSCAPE DOCUMENTS.

- ### Consultants:
- Civil: Advanced Civil Design
  - Landscaping: Rieppenhoff Landscape
  - Structural: Kabi Associates
  - Mechanical: Custom Air
  - Electrical: Accurate Electric
  - Plumbing: Gray Mechanical
  - Allegation Engineering

Drawing Issue Dates  
PERMIT  
April 15th, 2016



North: Townhome  
31 E New England Avenue  
Worthington, Ohio 43085  
South: Townhome  
29 E New England Avenue  
Worthington, Ohio 43085

CITY OF WORTHINGTON  
AR 16-16  
DRAWING NO.

DATE 4-29-16

TOWNHOMES - FLOOR AND CEILING PLANS - SECOND

Consultants:

- Civil  
Advanced Civil Design  
4225 Newland Road  
Columbus, Ohio 43230
- Landscape  
Riepenhoff Landscape  
10000 State Route 161  
Hilliard, Ohio 43026
- Structural  
Kabil Associates  
6965 South Main Street  
Columbus, Ohio 43229
- Mechanical  
Custom Air  
327 West 10th Street  
Columbus, Ohio 43215
- Electrical  
Accurate Electric  
8815 Newland Road  
Columbus, Ohio 43230
- Plumbing  
Gray Mechanical  
8815 Newland Road  
Columbus, Ohio 43230
- Altimeter Engineering  
2841 Lincoln Avenue  
Hilliard, Ohio 43026

Drawing Issue Dates

PERMIT  
April 15th, 2016

LEGEND - SYMBOL

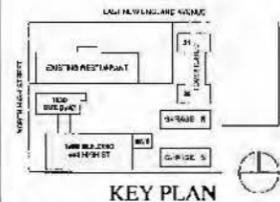
- # INDICATES KEY NOTE FOR THIS DRAWING ONLY. SEE LEGEND - KEY NOTES.
- ⊕ INDICATES CODED NOTES FOR THIS DRAWING ONLY. SEE LEGEND - CODED NOTES.
- MASONRY CONTROL JOINT
- 06 61 30 - GLAZING
- 0142 C - STONE GLAZING
- 0472 C - CAST STONE MASONRY
- 0601 V - CELLULAR PVC
- 0701 S - SHINGLES
- 0741 M - MANUFACTURED ROOF PANELS
- 0746 C - FIBER-CEMENT SIDING
- ⊖ 0850 L - VENT. COORDINATE ALL LOCATIONS WITH MECHANICAL DOCUMENTS.

LEGEND - KEYNOTES

|          |                           |
|----------|---------------------------|
| 06 90 00 | LOUVERS AND VENTS         |
| 0442 C   | STONE GLAZING             |
| 0472 C   | CAST STONE MASONRY        |
| 0554 D   | METAL DOWNSPOUT           |
| 0554 G   | METAL SLITTER             |
| 0661 V   | CELLULAR PVC              |
| 0741 M   | MANUFACTURED ROOF PANELS  |
| 0746 C   | FIBER CEMENT SIDING "LAP" |
| 0852 A   | ALUMINUM CLAD WOOD WINDOW |

CODED NOTES - TOWNHOMES

- 1 FOUNDATIONS. COORDINATE WITH STRUCTURAL DOCUMENTS.
- 2 DECORATIVE LOUVER OF PVC CELLULAR. PROVIDE SAMPLE FOR FINAL SELECTION BY OWNER AND ARCHITECT.
- 3 LIGHT FIXTURE ON WALL. COORDINATE WITH ELECTRICAL DOCUMENTS.
- 4 GARAGE DOOR. VERIFY TYPE, FINISH AND HARDWARE WITH OWNER.
- 5 1/2" TYPE X GYP PLUMB BOARD SHEET ABOVE
- 6 HESITABLE WITH DECORATIVE, PAINTED WOOD SHROUD. GAS RUNNING WITH ELECTRIC STARTER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- 10 METAL FLUE FOR GAS FIREPLACE.
- 13 GAS RANGE, 4 BURNER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- 16 SAT FLOOR. PROVIDE BATHROOM ACCESS PANEL AND TILE SURROUND. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS. COORDINATE WITH PLUMBING DOCUMENTS.
- 18 MECHANICAL UNIT. COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS.
- 19 TOILET. COORDINATE WITH PLUMBING DOCUMENTS.
- 21 SINK. COORDINATE WITH PLUMBING DOCUMENTS.
- 24 SHOWER. SHOWER ENCLOSURE TO BE TEMPERED GLASS WITH SWING DOOR OR OPTIONAL SLIDING DOOR. OWNER TO REVIEW AND APPROVE. COORDINATE WITH PLUMBING DOCUMENTS.
- 27 REFRIGERATOR. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- 31 LIGHT FIXTURE TO BE CENTERED IN ROOM. COORDINATE ELECTRICAL DOCUMENTS.
- 32 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DOCUMENTS.
- 39 GAS LIGHT FIXTURE. COORDINATE WITH PLUMBING AND ELECTRICAL DOCUMENTS.
- 37 WASHER AND DRYER. COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS.
- 38 DIGITAL DISPLAY WALL MOUNTED. PROVIDE BLOCKING IN WALL AS REQUIRED. COORDINATE WITH ELECTRICAL DOCUMENTS.
- 40 WATER HEATER. COORDINATE WITH PLUMBING DOCUMENTS.
- 41 DOWNSPOUT TO CONNECT TO STORM WATER LINE. COORDINATE WITH CIVIL DOCUMENTS.
- 42 GARAGE DOOR OPENER WITH CHAIN ABOVE. COORDINATE WITH ELECTRICAL DOCUMENTS.
- 45 MICROWAVE. COORDINATE WITH ELECTRICAL DOCUMENTS.
- 46 DISHWASHER. COORDINATE WITH ELECTRICAL AND PLUMBING DOCUMENTS.
- 50 GATE. COORDINATE WITH LANDSCAPE DOCUMENTS.
- 51 PLANTING. COORDINATE WITH LANDSCAPE DOCUMENTS.
- 52 FENCE. COORDINATE WITH LANDSCAPE DOCUMENTS.
- 53 BRICK PATIO. COORDINATE WITH LANDSCAPE DOCUMENTS.



KEY PLAN

North Townhome  
31 E New England Avenue  
Worthington, Ohio 43085

South Townhome  
29 E New England Avenue  
Worthington, Ohio 43085

CITY OF WORTHINGTON  
AR 106-16  
DRAWING NO.  
DATE 4-29-16

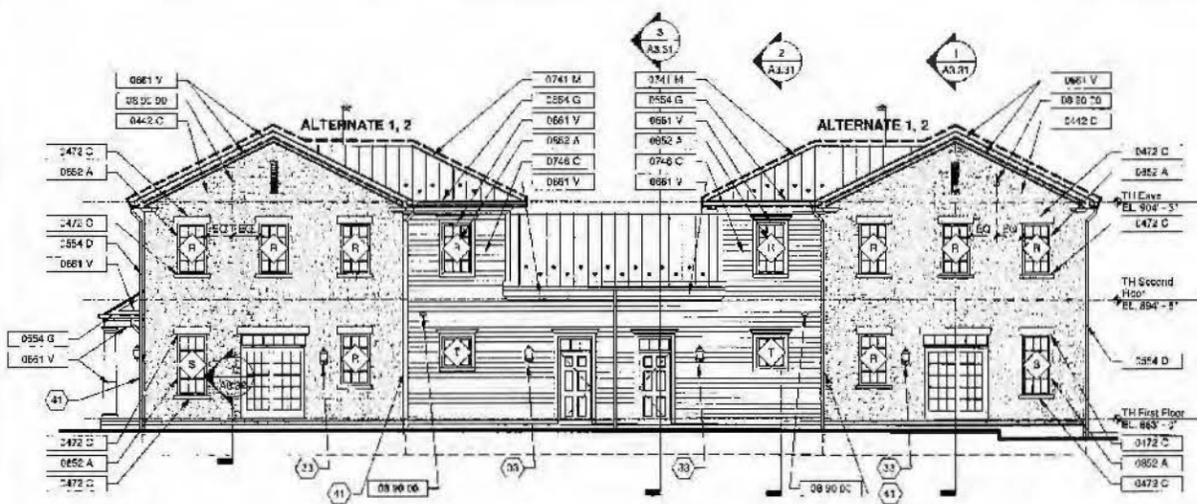
TOWNHOMES - EXTERIOR ELEVATIONS

Architectural

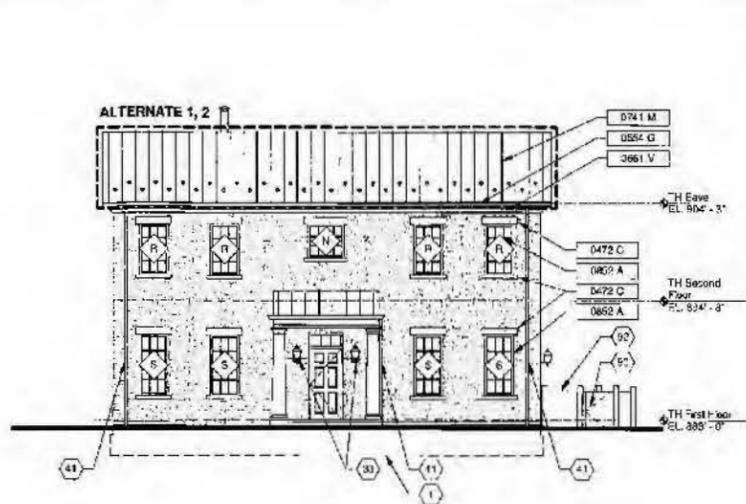
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April 15th, 2016

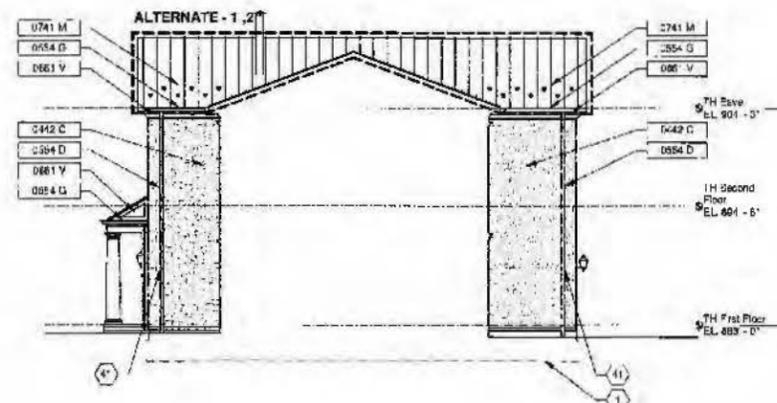
15070.20



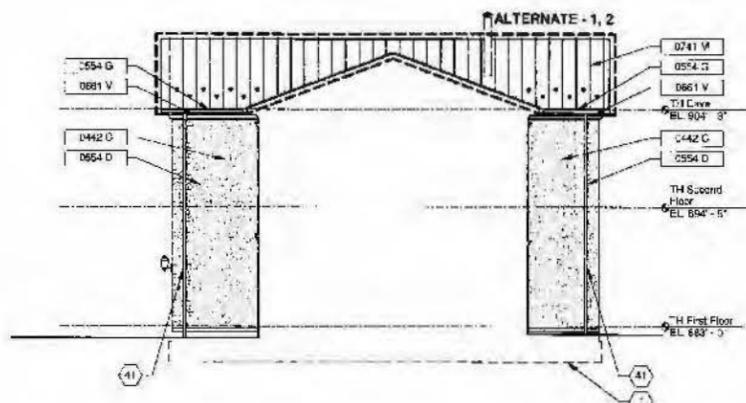
6 TOWNHOMES - EXTERIOR ELEVATION - WEST  
1/8" = 1'-0"



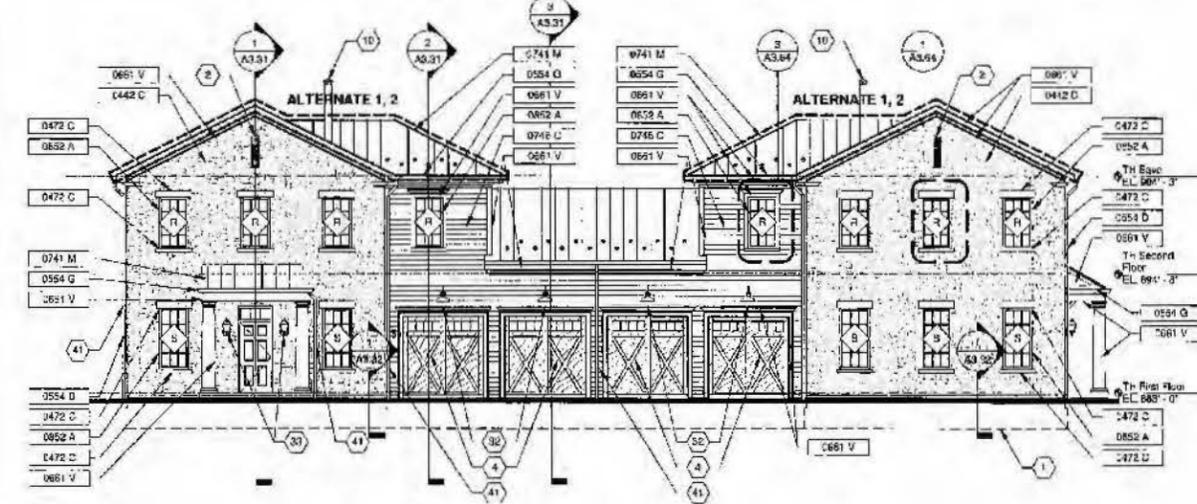
3 TOWNHOMES - EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"



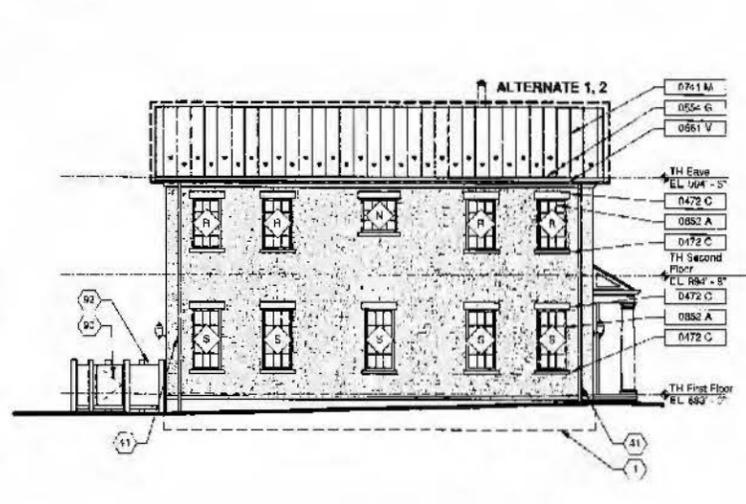
5 TOWNHOMES - EXTERIOR ELEVATION - PARTIAL - SOUTH  
1/8" = 1'-0"



2 TOWNHOMES - EXTERIOR ELEVATION - PARTIAL - NORTH  
1/8" = 1'-0"



4 TOWNHOMES - EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"



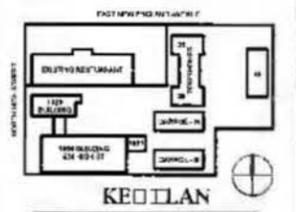
1 TOWNHOMES - EXTERIOR ELEVATION - SOUTH  
1/8" = 1'-0"

369 Marconi Boulevard T 614-628-0300  
Columbus OH 43215 F 614-628-0311  
schooley@twb.com

**CREATED BY**  
Civil  
Advanced Civil Designs  
220 North Star  
Columbus, Ohio 43215  
**LANDSCAPE**  
Landscape Architecture  
3770 Westpark Lane  
West Chester, Ohio 43081  
**STRUCTURAL**  
Kahl Associates  
200 West Broad Street, Suite 400  
Columbus, Ohio 43215  
**MECHANICAL**  
Custom Air  
1700 North Hill  
Columbus, Ohio 43215  
**ELECTRICAL**  
ATTORNEY WITNESS  
100 North Broad Street  
Columbus, Ohio 43215  
**PLUMBING**  
GRIFFIN  
1700 North Hill  
Columbus, Ohio 43215  
**ARCHITECT**  
Schooley Caldwell  
369 Marconi Boulevard  
Columbus, Ohio 43215

**DATE**  
04/15/2016

**TERMIN**  
ARCHITECTURE



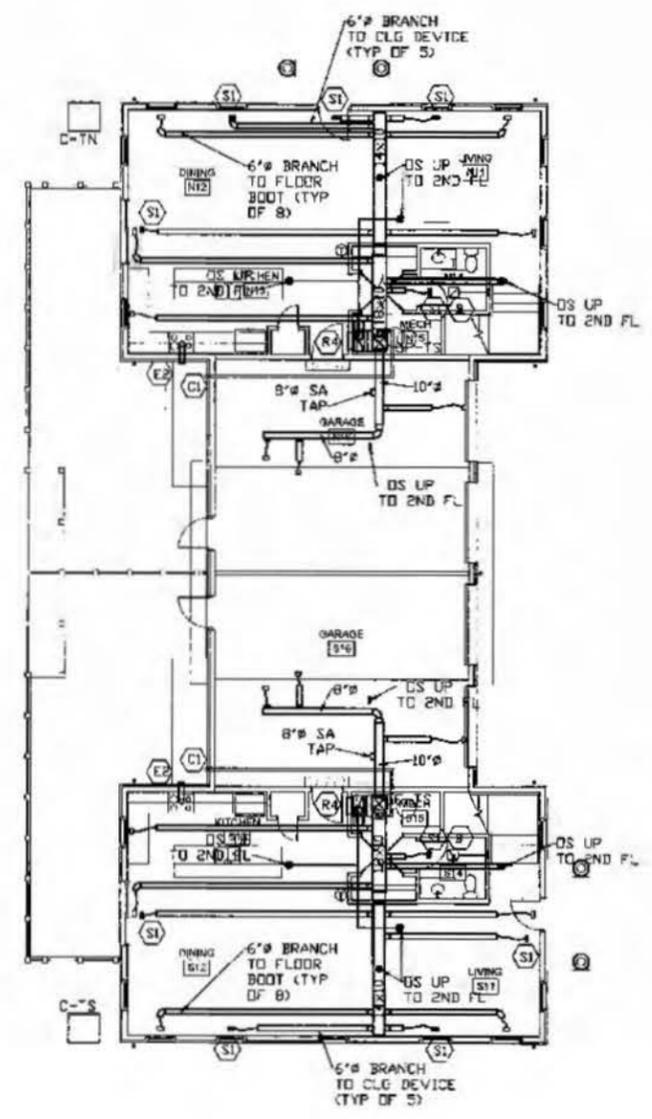
**NO BOUNDARY**

31 E New England Avenue  
Worthington, Ohio 43085

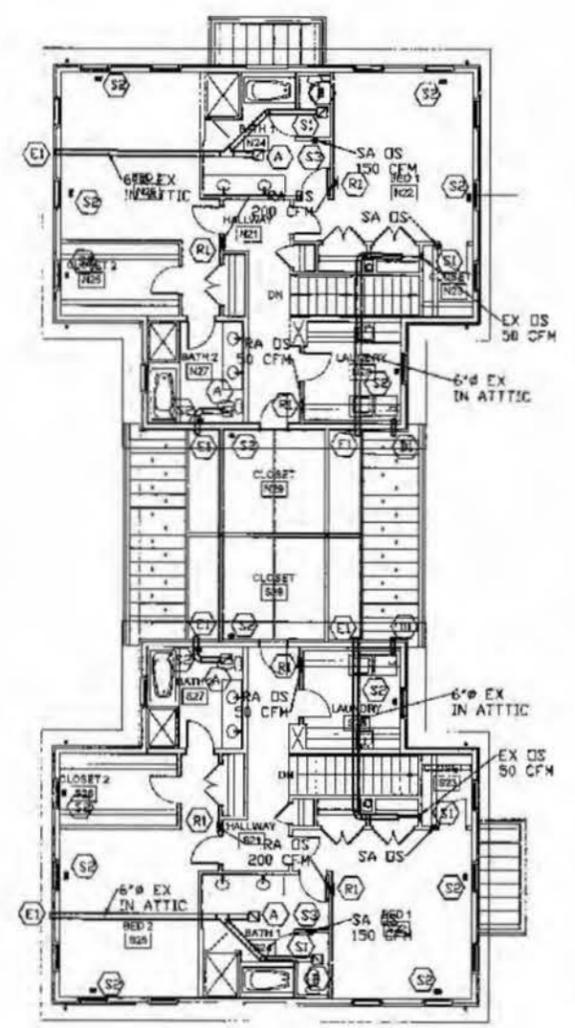
**SHARPLESS**  
29 E New England Avenue  
Worthington, Ohio 43085

**CITY OF WORTHINGTON**  
AR 1616-16  
**DRAWING NO.**  
**DATE** 4-29-16

TOWNHOMES - FIRST AND SECOND FLOOR  
HVAC  
**H3.11**  
04/15/2016  
15070.20



**HVAC PLAN** PLAN NORTH  
1/8"=1'-0" 1ST FLOOR



**HVAC PLAN** PLAN NORTH  
1/8"=1'-0" 2ND FLOOR

**PLAN NOTES:**

1. INSTALLATION FOR HVAC SHALL MEET DRC 2011.
2. RECTANGULAR PLENUM TO HAVE 1/2" LINER.
3. MAIN TRUNK DUCT SHOWN METAL SIZE, NO LINER REQUIRED.
4. BRANCHES WITH IN LIVING SPACE NO WRAP REQUIRED.
5. BRANCHES ABOVE GARAGE TO BE INSULATED TO AN R-8 VALUE INSULATION w/WRAPPED PIPE &/OR FLEX.
6. COORDINATE FANS, DEVICES, OVAL STACKS LOCATIONS WITH OTHER TRADES
7. SEE SHEET H2.0 FOR EQUIPMENT SCHEDULES
8. LEGEND  
RA - RETURN AIR  
SA - SUPPLY AIR  
EX - EXHAUST AIR  
OS - OVAL STACK  
⊙ - PROGRAMMABLE STAT  
⊕ - SEE SCHEDULES ON SHEET H2.0





City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Table with 2 columns: Field Name and Value. Fields include Case #, Date Received, Fee, Meeting Date, Filing Deadline, and Receipt #.

1. Property Location 6452 Bellbrook Pl

2. Present/Proposed Use

3. Zoning District

4. Applicant Mark Davis

Address 6452 Bellbrook Place, Worthington

Phone Number(s) 347-306-4025

5. Property Owner Mark Davis

Address 6452 Bellbrook Place, Worthington

Phone Number(s) 347-306-4025

6. Project Description deck replacement and expansion

7. Project Details:

a) Design Pressure treated Pines Deck

b) Color natural wood. (Pine)

c) Size 15' x 18'

d) Approximate Cost \$9,000 Expected Completion Date 6/7/16

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME: The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Applicant (Signature) [Signature]

Date 4-26-16

Property Owner (Signature) [Signature]

Date 4-26-16

Abutting Property Owners List for  
6452 Bellbrook Pl.

Anand & Sandhya Ramachandran  
Michael Bowman  
Resident  
Cynthia Evans  
Takis & Beverly Laios  
Lowell Fox

6464 Bellbrook Pl.  
243 Radio City Blvd.  
6440 Bellbrook Pl.  
6441 Bellbrook Pl.  
6453 Bellbrook Pl.  
6467 Bellbrook Pl.

Worthington, OH 43085  
Columbus, OH 43235  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085  
Worthington, OH 43085

## **SUPPORTING STATEMENT**

6452 Bellbrook Place

Proposal: Deck Replacement/Expansion

I, Mark Davis, owner of 6452 Bellbrook Place would like to replace the original deck attached to the rear of my house with a new larger wooden deck. The expansion would extend the deck out on the far back side by 5 feet. The only other change would be to raise the current 8' x 8' stepped down section to be at the same level as the rest of the deck to eliminate potential accidents. All other areas of the deck would remain similar to the original shape and style. See attached image for an example of what the construction would look like.

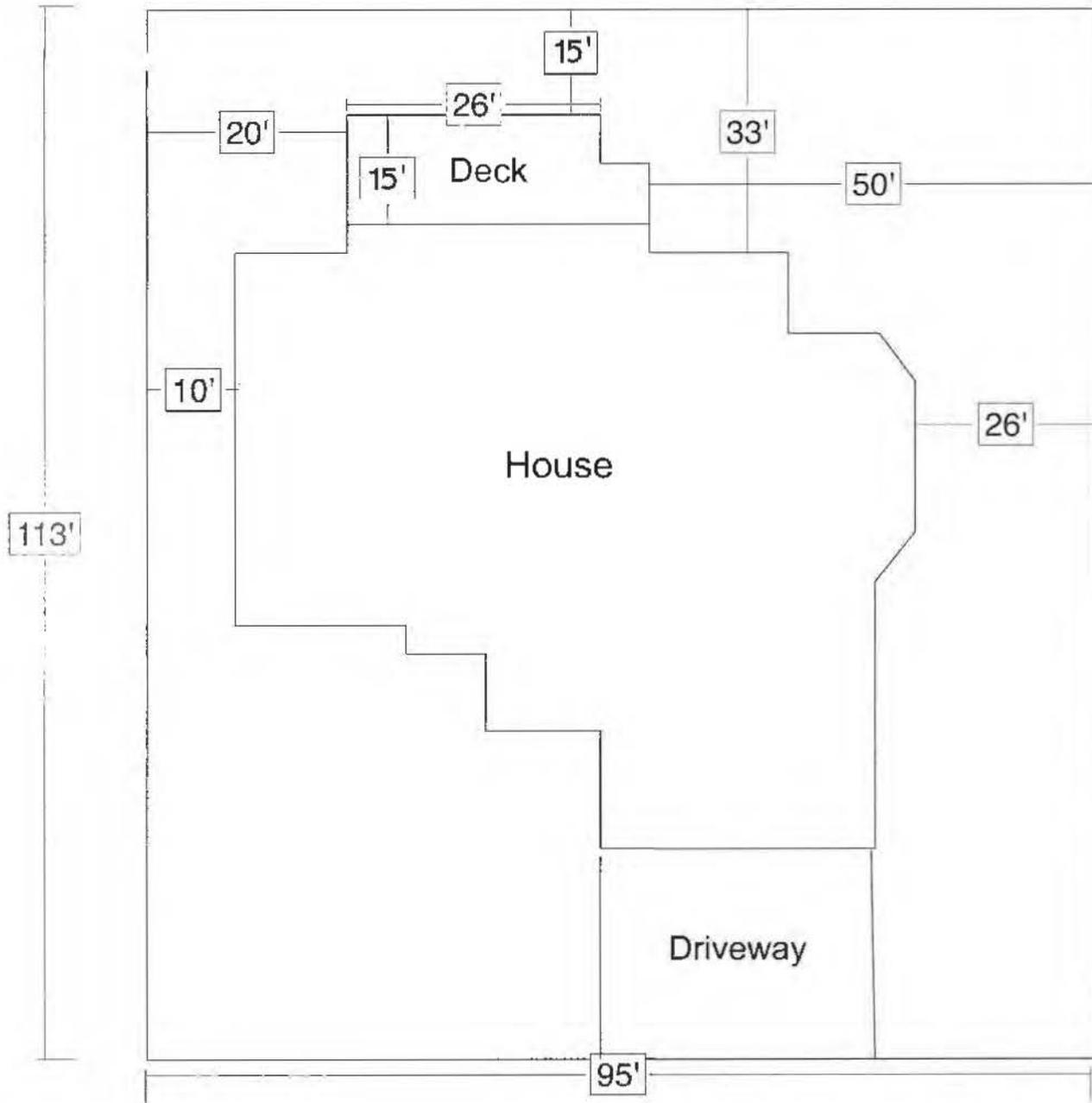
Thank you,

Mark Davis

# 6452 Bellbrook Pl.



100-006196 03/06/2014

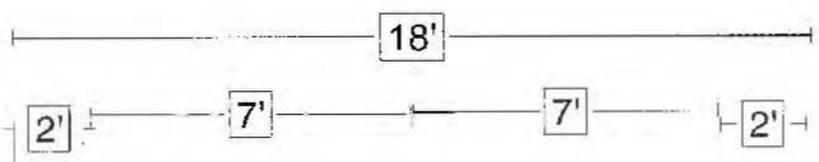


CITY OF WORTHINGTON  
 AR 67-16  
 DRAWING NO.

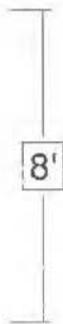
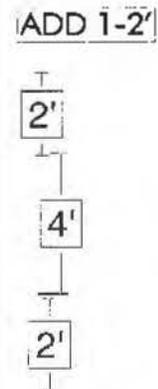
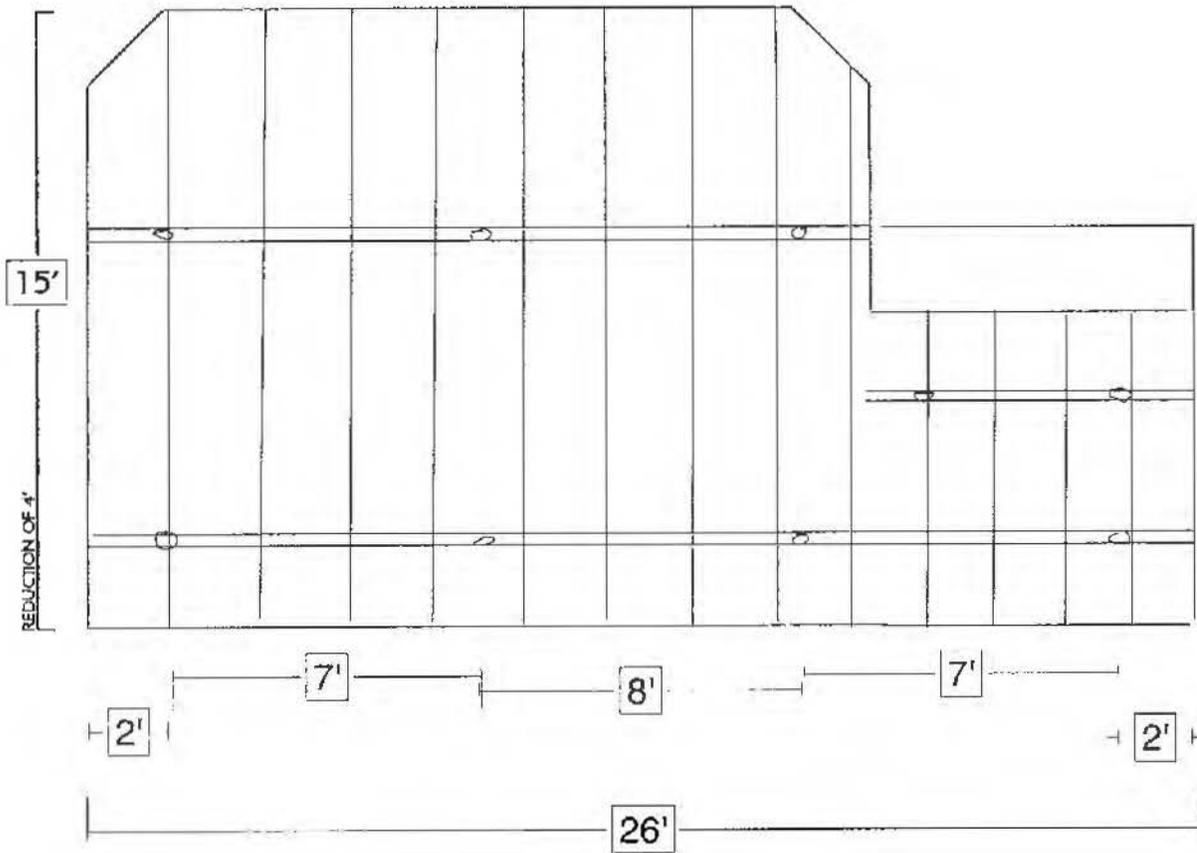
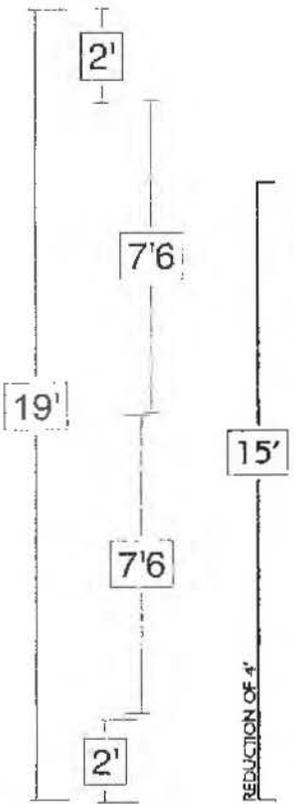
DATE 4-29-16

Davis Deck  
 6452 Bellbrook Pl.  
 Site Map

# Joist Layout



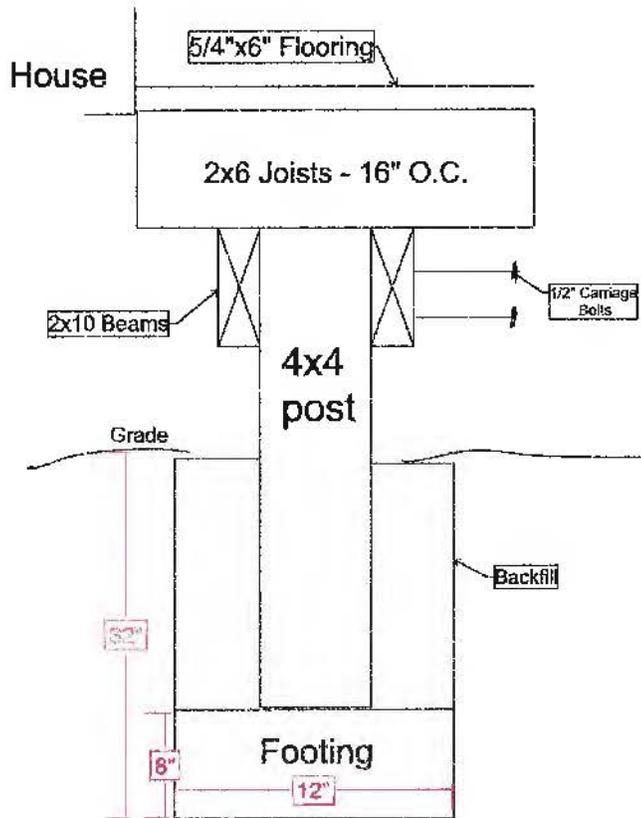
- NOTES**
1. All material pressure treated pine
  2. All fasteners galvanized
  3. All beams 2x10
  4. All joists 2x6 - 16" o.c.



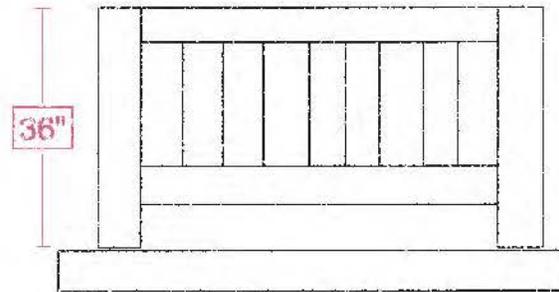
CITY OF WORTHINGTON  
*AR 67-16*  
 DRAWING NO.  
 DATE 4-29-16

Davis Deck  
 6452 Bellbrook Pl.  
 Layout & Notes

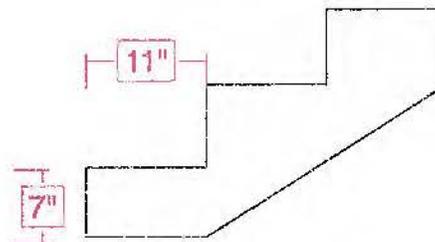
# Frame / Footer Detail



# Handrail



# Stairs



CITY OF WORTHINGTON  
AR 67-16  
DRAWING NO.

DATE 4-29-16

Davis Deck  
6452 Bellbrook Pl.  
Detail



\* example of construction / color

DAVIS  
6452 Bellbrook Place

CITY OF WORTHINGTON  
AR 67-16  
DRAWING NO.  
DATE 4-29-16



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application *minor revision*

*Amend 162-16*

|                 |                  |
|-----------------|------------------|
| Case #          | <i>AR 168-16</i> |
| Date Received   | <i>4-29-16</i>   |
| Fee             | <i>\$2</i>       |
| Meeting Date    | <i>5-12-16</i>   |
| Filing Deadline | _____            |
| Receipt #       | _____            |

1. Property Location *687 EVENING ST.*

2. Present/Proposed Use *SINGLE FAMILY DWELLING*

3. Zoning District *R-10*

4. Applicant *SEAN KOCHERAN*

Address *351 W. SOUTH ST. WORTH, OH 43085*

Phone Number(s) *(614) 679-3863*

5. Property Owner *JOE & SHELLY STOTZER*

Address *687 EVENING ST.*

Phone Number(s) *(614) 743-6899*

6. Project Description *REVISION TO FRONT ELEVATION*

7. Project Details:

a) Design \_\_\_\_\_

b) Color \_\_\_\_\_

c) Size \_\_\_\_\_

d) Approximate Cost \_\_\_\_\_ Expected Completion Date *11/16*

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

*[Signature]*  
 Applicant (Signature)

*4/29/16*  
 Date

*[Signature]*  
 Property Owner (Signature)

*4/29/16*  
 Date



# R.A.S. Construction

**Supporting Statement  
RAS Construction, Inc.  
351 W. South St., Worthington, OH 43085  
614-679-3863**

4/29/16

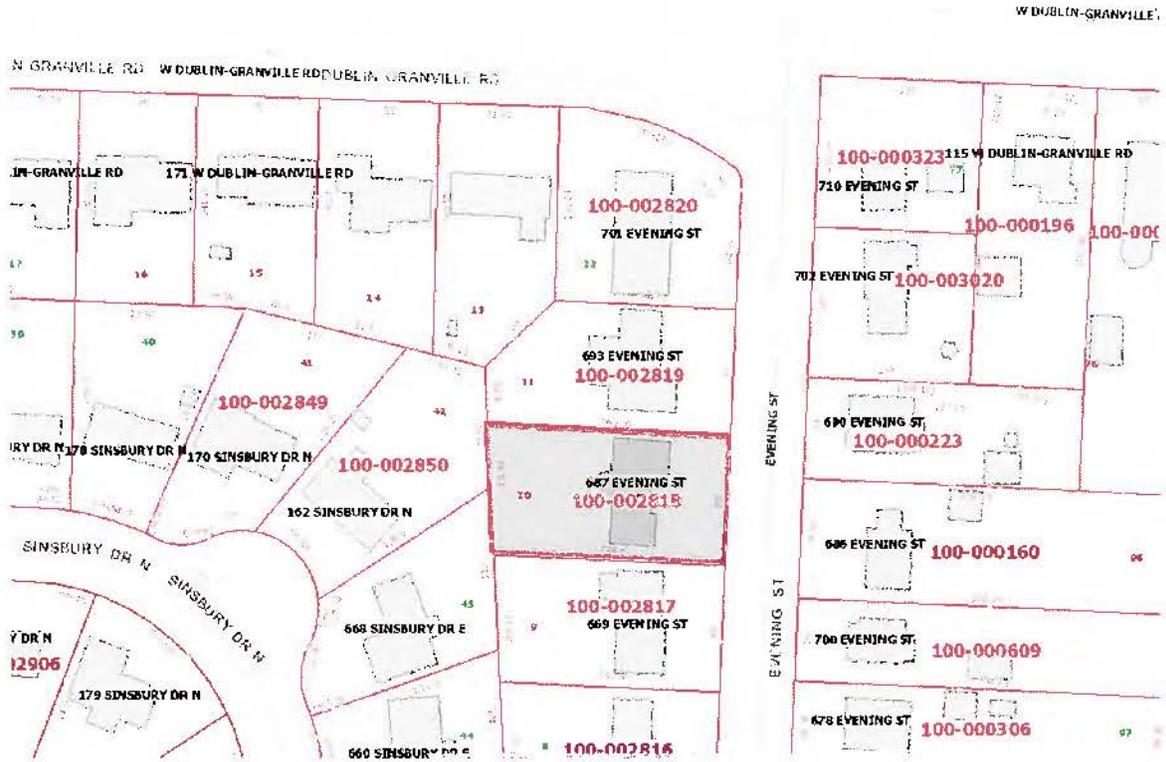
To Whom It May Concern,

Based on the feedback from the ARB meeting 4/28/16 the following changes have been per the board recommendations:

1. The window boxes have been removed and 2 ea. double casements installed on the existing front gable wall.
2. The porch projection has been reduced to be 1 foot behind the existing front gable wall.
3. The standing seam accent on the porch eyebrow has been removed and replaced with the matching asphalt shingle roof.
4. The board and batten detail on the porch eyebrow has been changed to a simple shadow box detail using 1x hardi trim and will be painted white.
5. The board and batten detail has been removed from the front wall and the existing brick will remain.
6. The cedar columns have been specified to allow them to weather to a natural gray color.
7. The window panel on the garage door has been changed to rectangular windows instead of the proposed arched windows.

Respectfully Submitted,  
Sean Kocheran

# 687 Evening St.



100-002818 04/09/2014

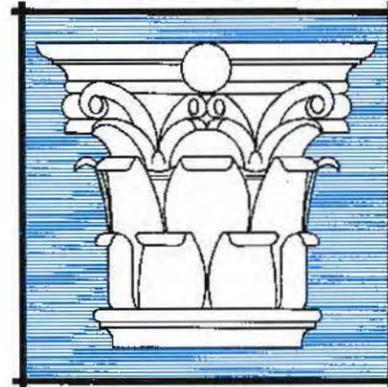
# Renovation and Addition for : Joe and Shelly Stotzer

687 Evening Street  
Worthington, Ohio 43085

| INDEX OF DRAWINGS |                                  |
|-------------------|----------------------------------|
| SHT.              | DRAWING TITLE                    |
| ①                 | PROPOSED SITE PLAN               |
| 2                 | EXISTING FLOOR PLAN              |
| ③                 | PROPOSED FLOOR PLAN              |
| ④                 | PROPOSED EAST & NORTH ELEVATIONS |
| ⑤                 | PROPOSED WEST & SOUTH ELEVATIONS |
| 6                 | PROPOSED TYPICAL WALL SECTION    |
| ⑦                 | PROPOSED PORCH SECTION           |

○ - REVISED ARB REVIEW 4/29/2016

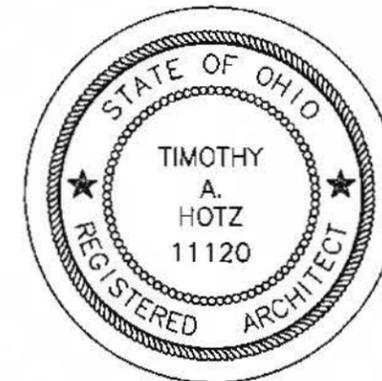
**timothy a. hotz**



**architect**

ARCHIVAL DRAWINGS FOR MODERN BUILDINGS

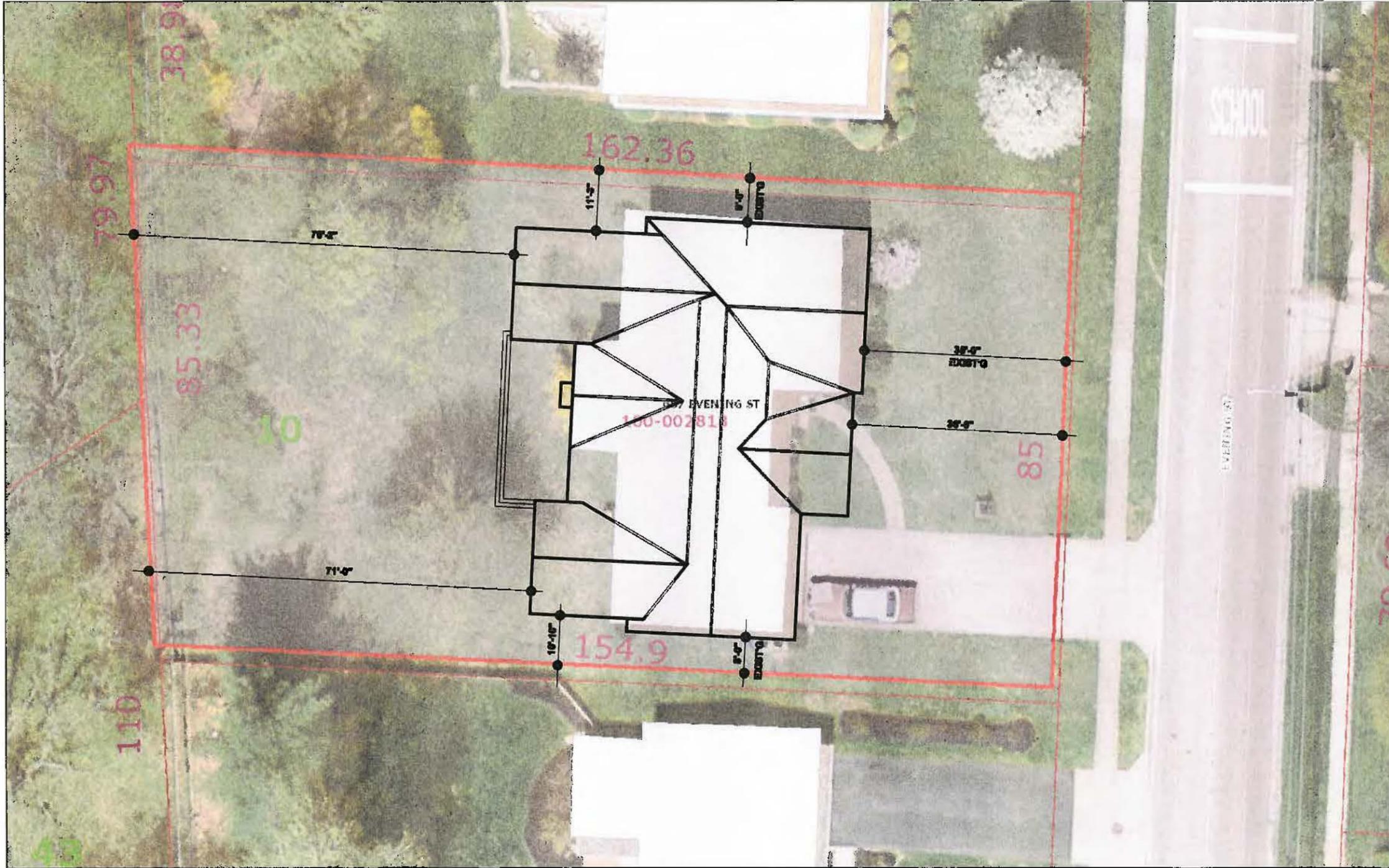
1821 WAGNER ROAD BUTLER, OHIO 44822  
(419) 898-4823 ARC - 951120  
timothyhotz@gmail.com



TIMOTHY A. HOTZ EXPIRES 12/31/2017

CITY OF WORTHINGTON  
AR 68-16  
DRAWING NO.

DATE 4-29-16



**PROPOSED SITE PLAN**

**timothy a. hotz**  
 architect  
 ARCHITECT, LICENSED FOR HOUSE BUILDING  
 1401 WALKER ROAD WYLLIE, OHIO 43085  
 614-898-4000 740-911100  
 timothy@timothyhotz.com



TIMOTHY A. HOTZ EXPIRES 12/31/2017

I hereby certify that I am a duly licensed and registered architect in the State of Ohio and that I am the author of the design and construction documents herein. I am not providing any professional services to the client under this seal.

PROJECT:

Renovation and Addition for:  
**Joe and Shelly Stotzer**  
 667 Evening Street  
 Worthington, Ohio 43085

ARS REVISED 4/29/2016

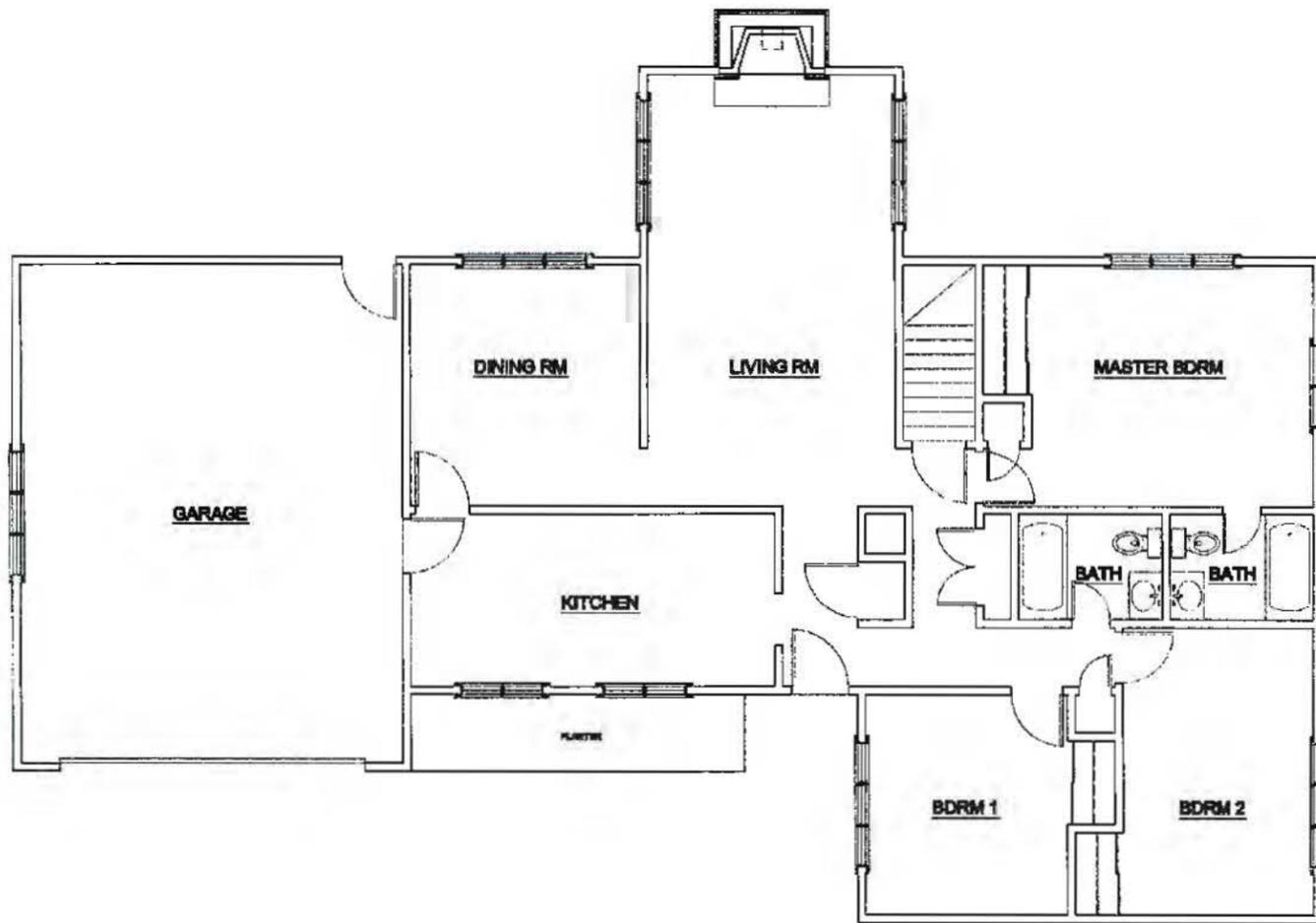
DATE:

APRIL 10, 2016

SHEET:

**1**

CITY OF WORTHINGTON  
 AR 68-16  
 DRAWING NO.  
 DATE 4-29-16

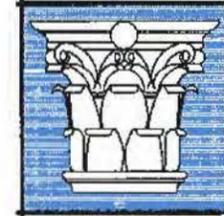


**EXISTING FLOOR PLAN**

SCALE: 1/8" = 1'-0"

2,073 S.F. EXISTING

timothy a. hotz



architect

ARCHITECT, ENGINEER FOR DESIGN BUILDERS  
1011 WOODS ROAD SUITE 400 COLUMBUS, OHIO 43260  
614.882.4200 TOLL-FREE 800-527-2222  
timothy@hotz.com

SEAL:



TIMOTHY A. HOTZ EXPIRES 12/31/2017

THIS DOCUMENT AND ANY INFORMATION CONTAINED HEREIN IS THE PROPERTY OF TIMOTHY A. HOTZ ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF TIMOTHY A. HOTZ ARCHITECT IS STRICTLY PROHIBITED. THE USER AGREES TO HOLD TIMOTHY A. HOTZ ARCHITECT HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DOCUMENT.

PROJECT:

Renovation and Addition for:  
**Joe and Shelly Stotzer**  
687 Evening Street  
Worthington, Ohio 43085

DATE:

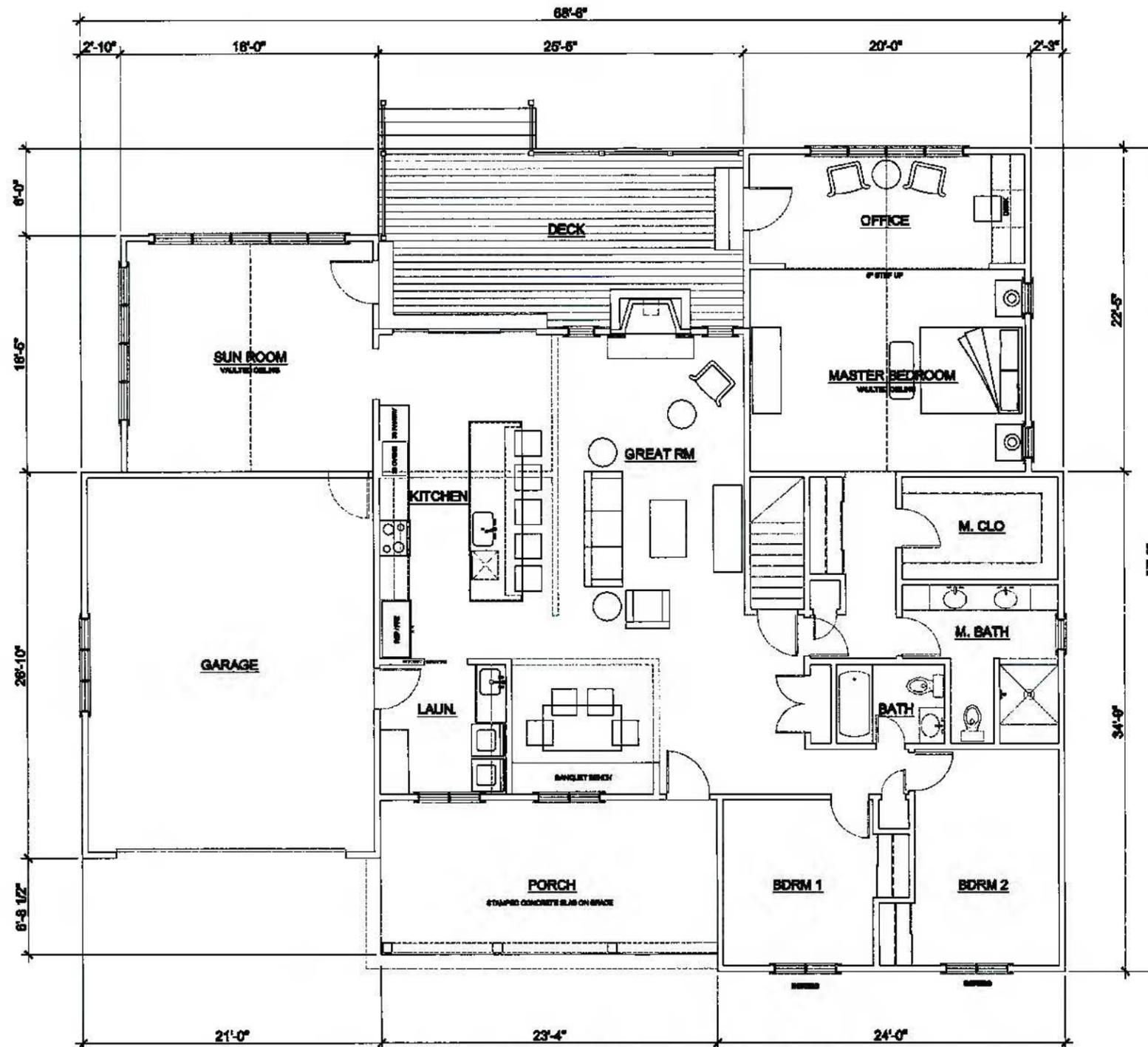
APRIL 10, 2016

SHEET:

2

CITY OF WORTHINGTON  
DRAWING NO. AR 68-16

DATE 4-29-16

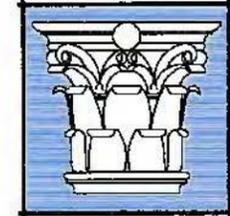


**PROPOSED FLOOR PLAN**

SCALE : 1/8" = 1'-0"

2,073 S.F. EXISTING  
 862 S.F. ADDITION  
 228 S.F. PORCH  
 273 S.F. DECK

timothy a. hotz



architect  
 ARCHITECTURAL DRAWINGS FOR RESIDENTIAL BUILDINGS  
 1925 WASHINGTON DRIVE, CINCINNATI, OHIO 45219  
 (513) 692-4843 FAX (513) 692-4844  
 timothy@tahotz.com

SEAL :



TIMOTHY A. HOTZ EXPIRES 12/31/2017

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PROJECT:

Renovation and Addition for :  
**Joe and Shelly Stotzer**  
 687 Evening Street  
 Worthington, Ohio 43085

ARS REVISED 4/28/2016

DATE :

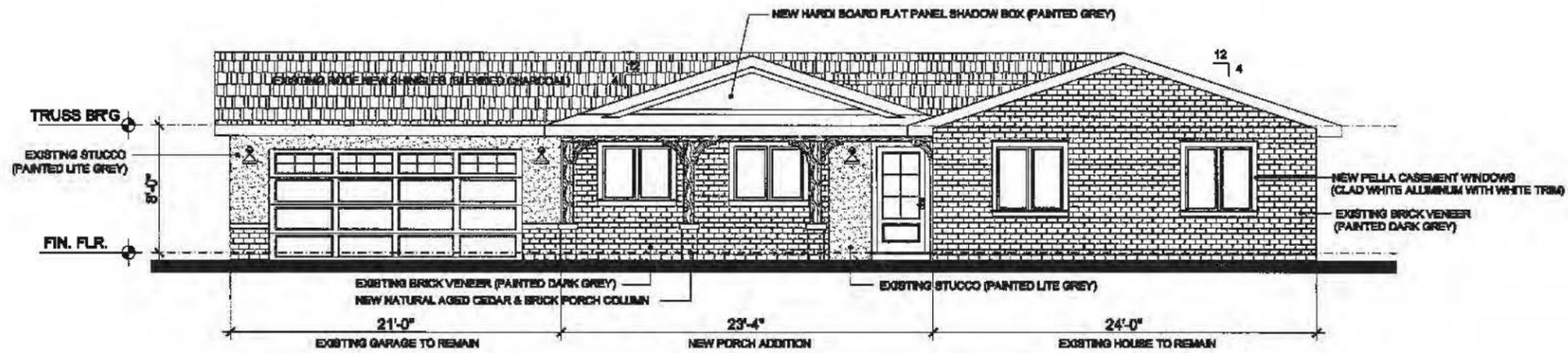
APRIL 16, 2016

SHEET :

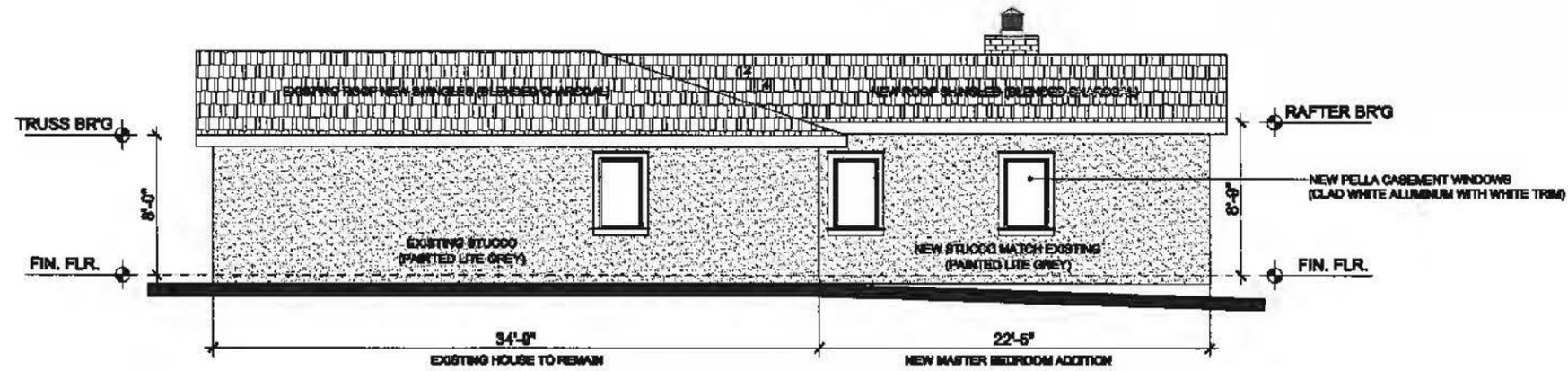
3

CITY OF WORTHINGTON  
 DRAWING NO. AR 608-16

DATE 4-29-16



**PROPOSED EAST ELEVATION**  
SCALE : 1/8" = 1'-0"



**PROPOSED NORTH ELEVATION**  
SCALE : 1/8" = 1'-0"

timothy a. hotz



**architect**  
ARCHITECT LICENSE NO. 11120  
1871 WILSON ROAD BUTLER OHIO 43003  
(614) 885-4000 FAX (614) 885-4000  
tim@timothyhotz.com

SEAL:



TIMOTHY A. HOTZ EXPIRES 12/31/2017

I hereby certify that the above described work was prepared by me or under my direct supervision and that I am a duly licensed and registered architect in the State of Ohio. I am not providing any services to the public which are outside the scope of my license. I am not providing any services to the public which are outside the scope of my license. I am not providing any services to the public which are outside the scope of my license.

PROJECT:

**Renovation and Addition for :**  
**Joe and Shelly Stotzer**  
687 Evening Street  
Worthington, Ohio 43085

ARB REVISED 4/28/2016

DATE:

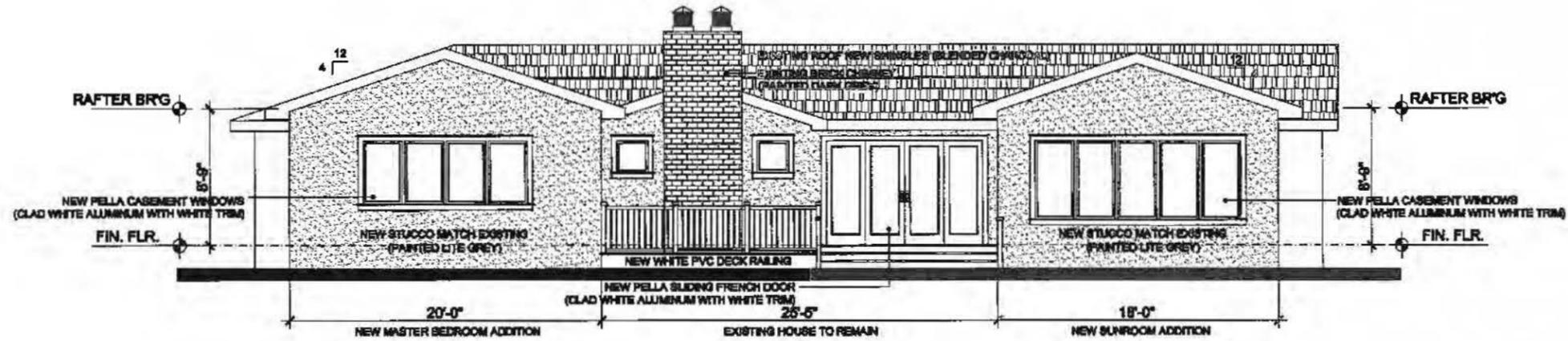
APRIL 16, 2016

SHEET:

**4**

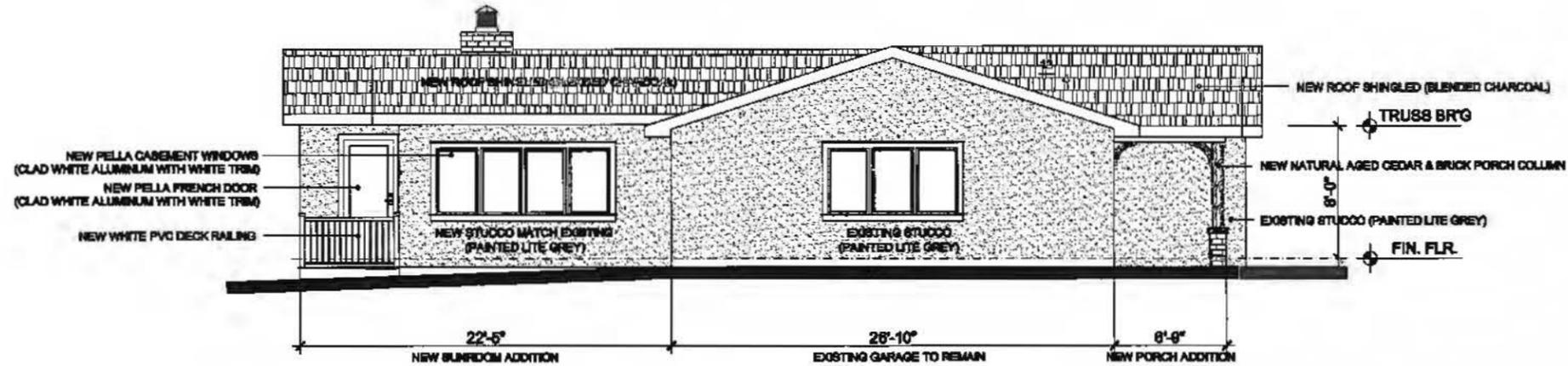
CITY OF WORTHINGTON  
DRAWING NO. **AR 68-16**

DATE **4-29-16**



**PROPOSED WEST ELEVATION**

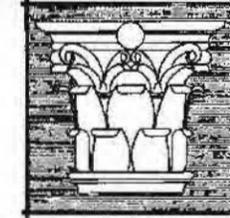
SCALE : 1/8" = 1'-0"



**PROPOSED SOUTH ELEVATION**

SCALE : 1/8" = 1'-0"

timothy a. hotz



architect  
 ADDRESS: 10000 WOODBURN RD., WORTHINGTON, OHIO 43085  
 (614) 899-4553 FAX: (614) 899-4553  
 t.a.hotz@att.net

SEAL:



TIMOTHY A. HOTZ EXPIRES 12/31/2017

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PROJECT:

Renovation and Addition for:  
**Joe and Shelly Stotzer**  
 687 Evening Street  
 Worthington, Ohio 43085

ARB REVISED 4/28/2016

DATE:

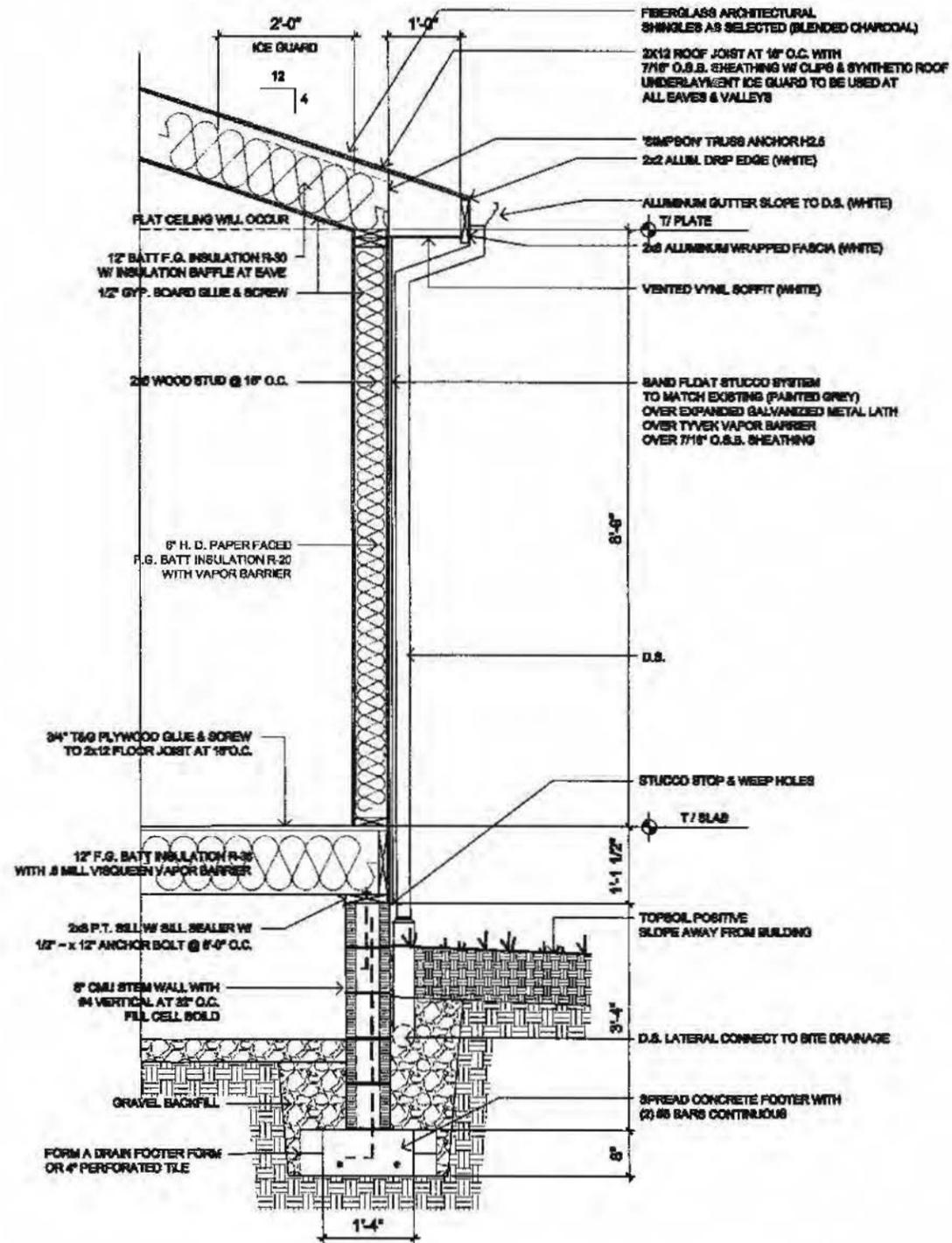
APRIL 16, 2016

SHEET 1

5

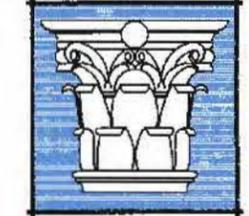
CITY OF WORTHINGTON  
 AR 68-16  
 DRAWING NO.

DATE 4-29-16



1 TYPICAL NEW WALL SECTION

timothy a. hotz



architect  
 ARCHITECTS ASSOCIATES FOR DESIGN BUILDERS  
 1021 W. BROADWAY SUITE 2000 CLEVELAND, OHIO 44113  
 (216) 525-4827 FAX (216) 525-4828  
 timothy@hotz.com

SEAL:



TIMOTHY A. HOTZ EXPIRES 12/31/2017

THIS SEAL AND ANY OTHER SEAL OR INSTRUMENTS OF OFFICE ARE TO BE USED ONLY BY THE REGISTERED ARCHITECT WHOSE NAME IS THEREON. ANY OTHER USE IS UNLAWFUL. ANY ARCHITECT WHOSE SEAL OR INSTRUMENTS OF OFFICE ARE USED IN VIOLATION OF THESE RULES SHALL BE SUBJECT TO THE PENALTIES PROVIDED IN THE ARCHITECTURE ACT. THE ARCHITECTURE BOARD HAS THE AUTHORITY TO TAKE ANY ACTION NECESSARY TO ENFORCE THESE RULES. TIMOTHY A. HOTZ, ARCHITECT

PROJECT:

Renovation and Addition for:  
**Joe and Shelly Stoizer**  
 687 Evening Street  
 Worthington, Ohio 43085

DATE:

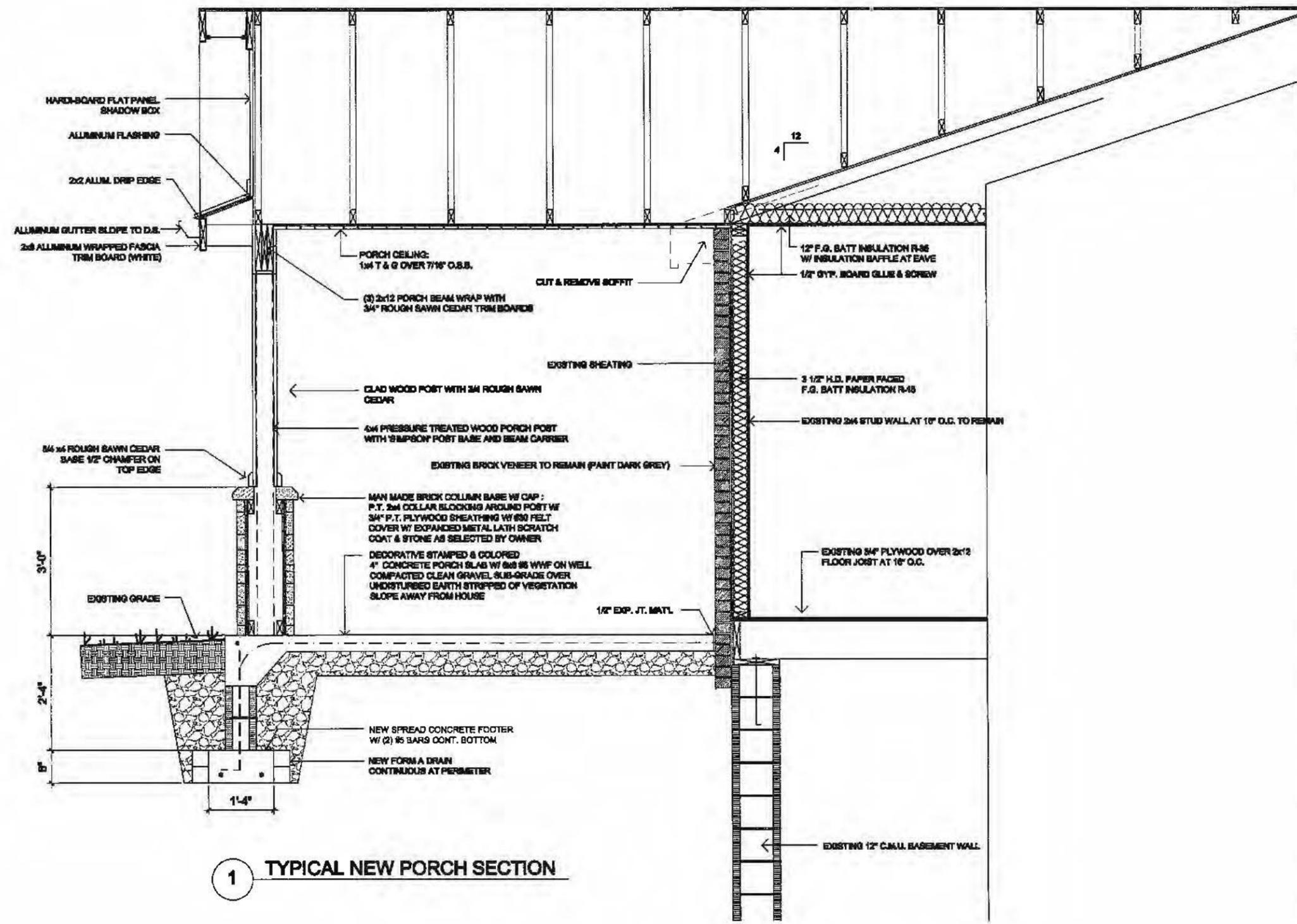
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SHEET:

6

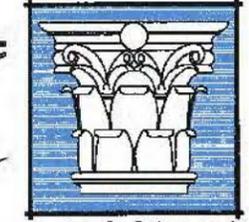
CITY OF WORTHINGTON  
 AR 68-16  
 DRAWING NO.

DATE 4-29-16



1 TYPICAL NEW PORCH SECTION

timothy a. hotz



architect  
 ARCHITECTS FOR HOME BUILDERS  
 1001 W. MAIN ST. SUITE 1000 COLUMBUS, OHIO 43260  
 (614) 865-4323 FAX (614) 865-4324  
 t.hotz@taha.com



TIMOTHY A. HOTZ EXPIRES 12/31/2017

PROJECT:

Renovation and Addition for:  
**Joe and Shelly Stotzer**  
 687 Evening Street  
 Worthington, Ohio 43085

APR 28 2016

DATE:

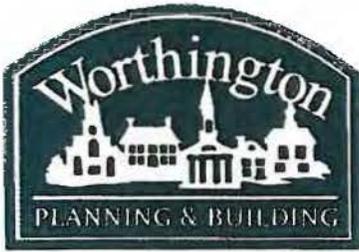
APRIL 18, 2016

SHEET:

7

CITY OF WORTHINGTON  
 AR 68-16  
 DRAWING NO.

DATE 4-29-16



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

|                 |          |
|-----------------|----------|
| Case #          | AR 69-16 |
| Date Received   | 5-2-16   |
| Fee             |          |
| Meeting Date    | 5-12-16  |
| Filing Deadline |          |
| Receipt #       |          |

- Property Location 187 E. DUBLIN GRANVILLE RD
- Present/Proposed Use RESIDENTIAL
- Zoning District \_\_\_\_\_
- Applicant JAMES AND JULIA MILLER  
 Address 187 E. DUBLIN GRANVILLE RD  
 Phone Number(s) 614-204-1202
- Property Owner JAMES AND JULIA MILLER  
 Address 187 E. DUBLIN GRANVILLE RD  
 Phone Number(s) 614-204-1202
- Project Description TAKE DOWN FRONT PORCH ROOF

**7. Project Details:**

- Design WILL JUST BE SIDING TO TIE IN W/ CURRENT SIDING DESIGN
- Color SAME AS CURRENT
- Size \_\_\_\_\_
- Approximate Cost \_\_\_\_\_ Expected Completion Date ASAP

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
 Applicant (Signature)

5/2/2016  
 Date

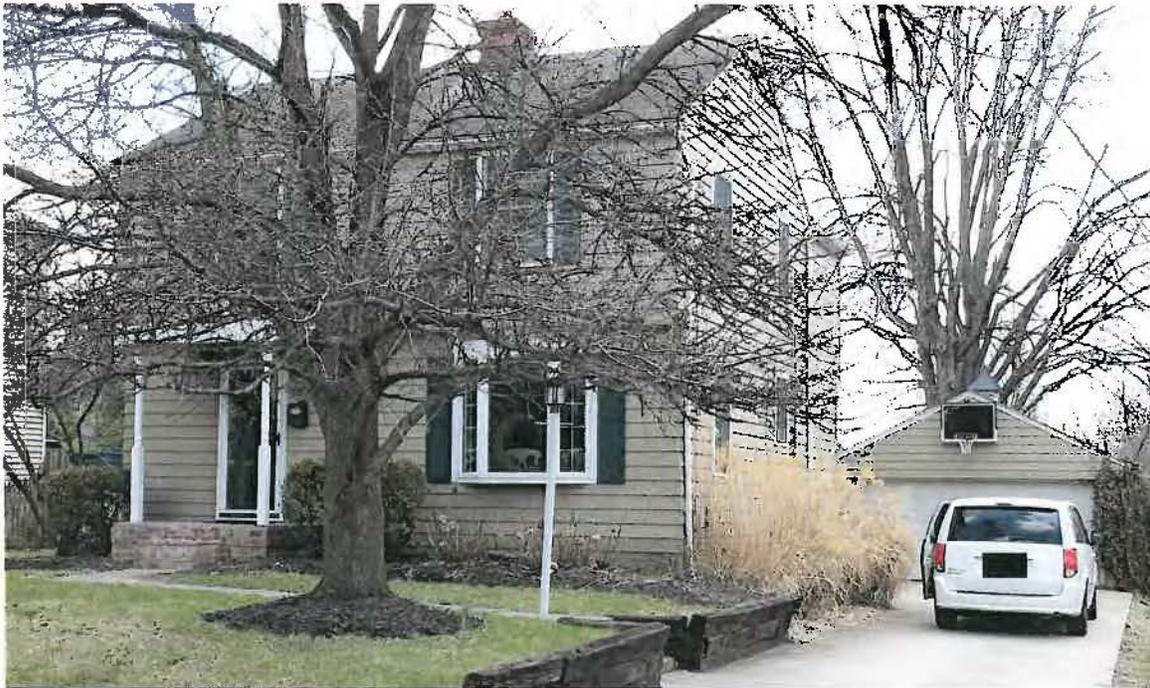
[Signature]  
 Property Owner (Signature)

5/2/2016  
 Date

Abutting Property Owners List for  
187 E. Granville Rd.

|                  |            |                         |                        |
|------------------|------------|-------------------------|------------------------|
| Andrew Hartwick  |            | 178 E. Granville Rd.    | Worthington, OH 430885 |
| Michael Aljancic |            | 201 E. New England Ave. | Worthington, OH 430885 |
| David Robinson   |            | 195 E. Granville Rd.    | Worthington, OH 430885 |
| Resident         |            | 705 Plymouth St.        | Worthington, OH 430885 |
| Landon Harrison  |            | 701 Plymouth St.        | Worthington, OH 430885 |
| Scott Potter     | Jill Welch | 181 E. Granville Rd.    | Worthington, OH 430885 |

# 187 E. Granville Rd.



100-000478 04/09/2014



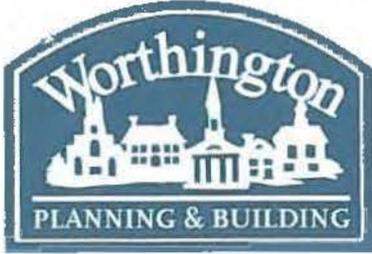
CITY OF WORTHINGTON  
AR 109-16  
DRAWING NO.  
DATE 5-2-16



187

CITY OF WORTHINGTON  
AR 100-16  
DRAWING NO.  
DATE 5-2-16

← SAMPLE ATTACHED



# Amendment to Development Plan Application

|                 |             |
|-----------------|-------------|
| Case #          | ADP 03-16   |
| Date Received   | 4-29-16     |
| Fee             | \$50        |
| Meeting Date    | 5-12-16     |
| Filing Deadline | Kept 6/9/16 |

- Property Location 100<sup>WEST</sup> OLD Wilson Bridge ROAD
- Present Use & Proposed Use Institutions & offices
- Present & Proposed Zoning C-3
- Applicant SCOTT McMANIS Pick of the Letter Signs & Graphics  
 Address 1003 Walsingham Ct. - Westerville, OH. 43081  
 Phone 614.523.3742 office - call 614.406.5373
- Property Owner DONALD R. KANNEY COMPANY  
 Address 470 OLD WORTHINGTON ROAD, STE 100 WESTERVILLE, OHIO 43082  
 Phone 614.540.2404
- Project Description Update & Restore current monument sign MAKE into a multi-tenant sign
- Variances Requested TO Add Stucco Finish w/ accent pieces will require making cabinet slightly larger.

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
Applicant (Signature)

4-26-2016  
Date

[Signature] Property Manager  
Property Owner (Signature)

4-29-2016  
Date

MPC Approval Date:

City Council Approval Date:

Abutting Property Owners List for  
100 Old Wilson Bridge Rd.

|   |                               |                       |
|---|-------------------------------|-----------------------|
| Worthington Industries Inc.                   | 200 Old Wilson Bridge Rd.     | Worthington, OH 43085 |
| Edwin Popper Tr.                              | 539 Old Farm Rd.              | Columbus, OH 43213    |
| The Conservatory of Piano, Inc                | 60 Old Wilson Bridge Rd.      | Worthington, OH 43085 |
| Worthington Square Venture L Tom Carter       | 7227 N. High St.              | Worthington, OH 43085 |
| Worthington Square Acquisition LLC            | 555 Metro Place N., Suite 600 | Dublin, OH 43017      |
| Is-Can Ohio X LLLP                            | 2600 Corporate Center Dr., St | Columbus, OH 43231    |
| Pick of the Letter Signs & Graç Scott McManis | 1003 Walsingham Ct.           | Westerville, OH 43081 |



**PICK OF THE  
LETTER  
GRAPHICS**

4-28-2016

**Supporting Statement:**

Proposal to Restore and Update the look and condition of the existing monument sign located at 100 Old Wilson Bridge Road – Worthington, Ohio 43085. (old photo's attached).  
WEST

This is currently a aluminum cabinet that has been repainted a few times over the years and is starting to look it's age. It looks worn and tired.

The overall Current sign is 67.5" in width x 50" tall.

The Proposed new size after modifications is 75.5" Wide x 53.5" tall.

The proposal is to wrap the entire cabinet with a hdu foam accent and add a stucco look Finish. The owner would also like to make this a multi-tenant sign. (Attached drawing).

It will be much more cost effective to wrap and refinish the existing cabinet, rather than remove cabinet and reset new foundations, etc.

This process is a tried and true remedy and many sign manufacturers are building their brand pre-fabricated monument signs in such a manner.

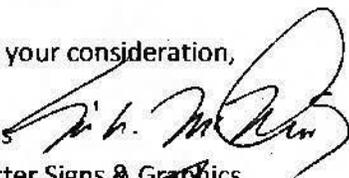
The end result is a stucco look finish that has a hard polymer shell with flexible characteristics to handle temperature weather change.

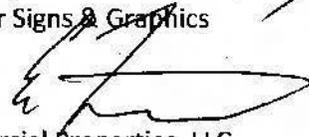
We feel this proposal is consistent with the look of the building and the look of other multi-tenant And monument signs in the Worthington office use districts. ( Attached photo's of other signs).

We have provided a sample of the foam wrap material with the stucco finish.

We feel this will make a professional and complimentary addition to the area.

Thank you for your consideration,

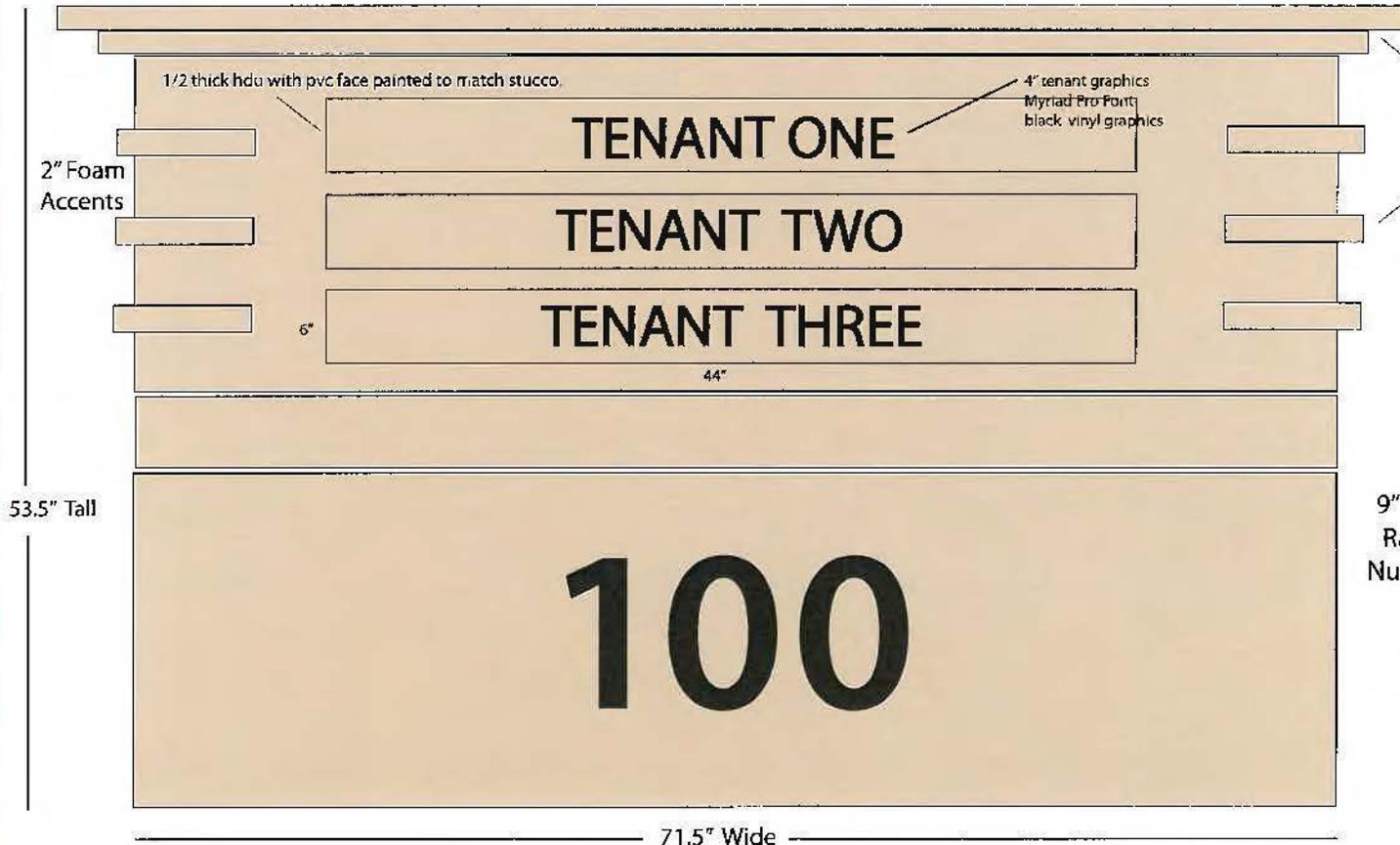
Scott McManis   
Pick of the Letter Signs & Graphics

Evan Fracasso,   
Triangle Commercial Properties, LLC  
Donald R. Kenney & Company

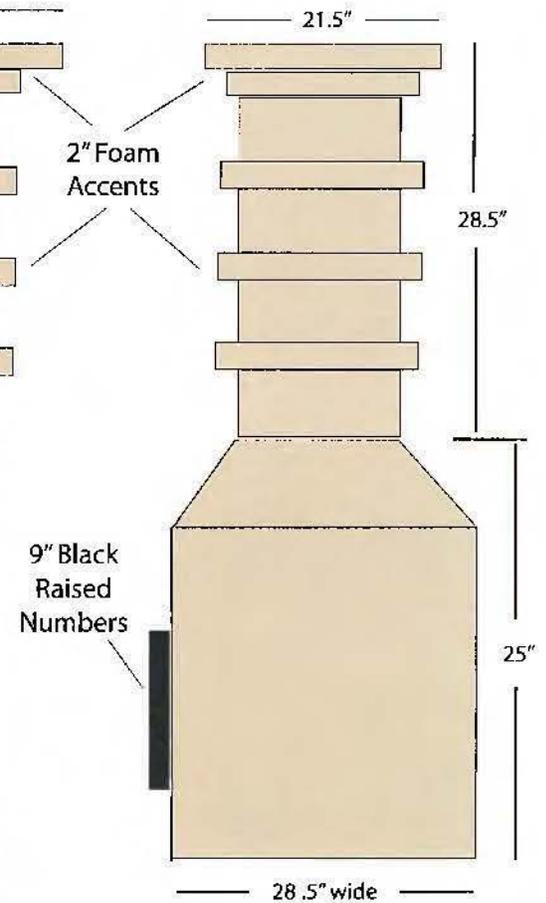


### Front View

75.5" Wide



### End View



Concept 4-15-2016

Paint & Foam Option with hdu foam stucco finish on all.  
Stucco finish Color to be consistent with building color.

by Pick of the Letter Signs & Graphics

CITY OF WORTHINGTON  
ADP 03-16  
DRAWING NO.  
DATE 4-29-16

50" TALL FROM GROUND GRADE

current sim  
67 1/2"

100

CITY OF WORTHINGTON  
ADP 03-16  
DRAWING NO.  
DATE 4-29-16



CITY OF WORTHINGTON  
ADP 03-16  
DRAWING NO.  
DATE 4-29-16



Poured/stone/concrete

STUCCO  
PRE-FAB



Proposed  
Location

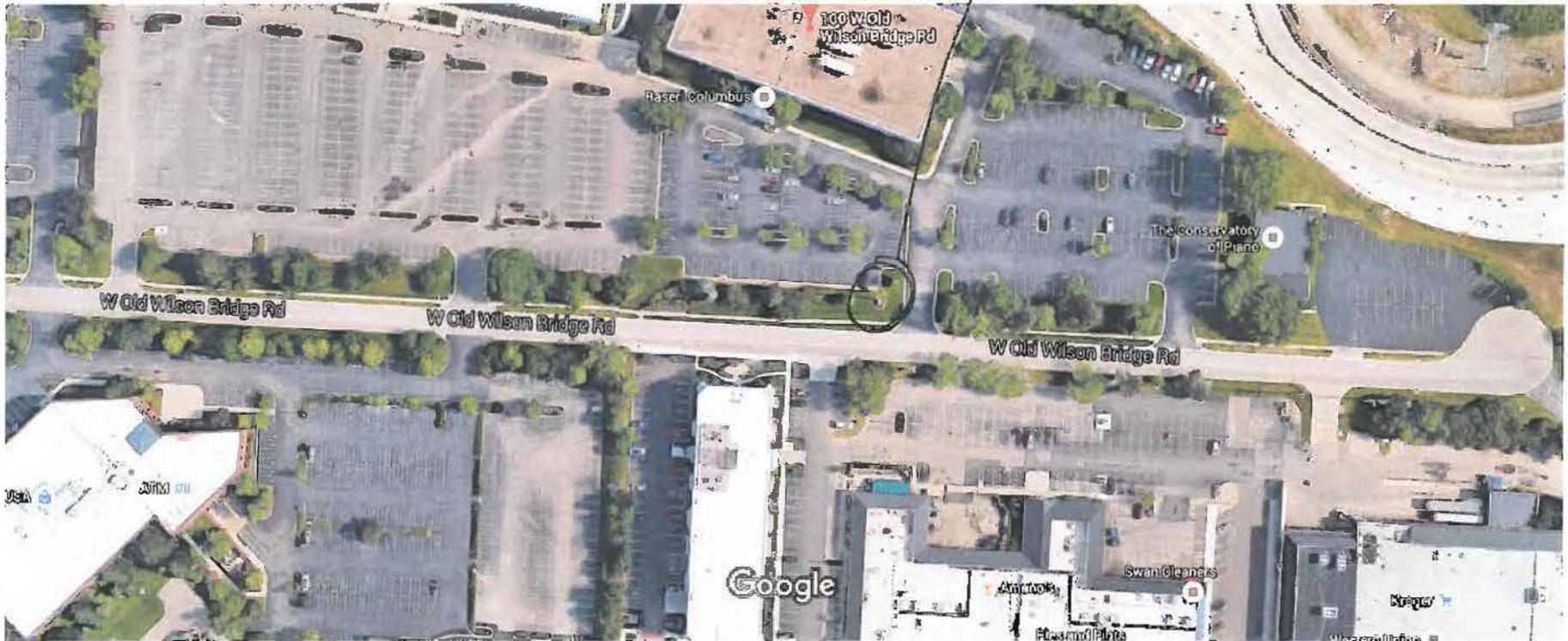


CITY OF WORTHINGTON  
ADP 03-11  
DRAWING NO.

DATE 4-29-16

Google Maps

Existing Sign Location



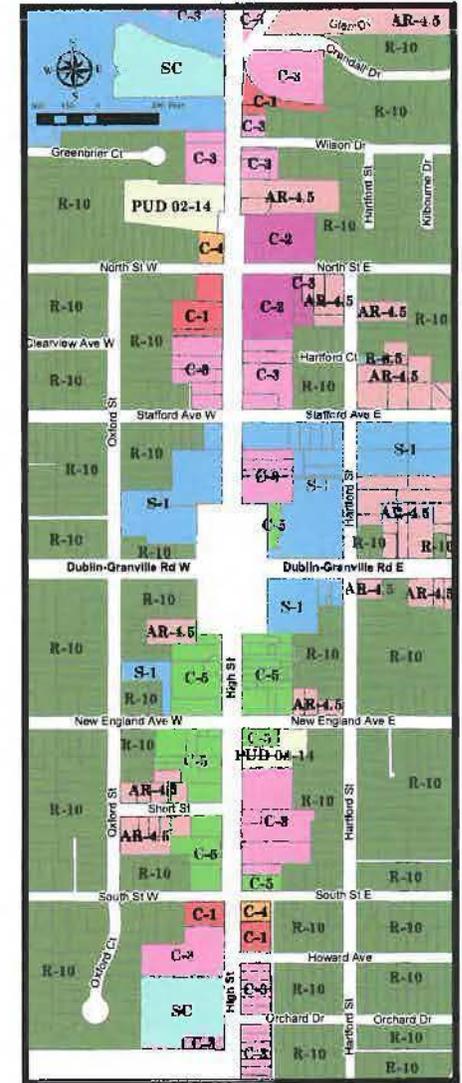
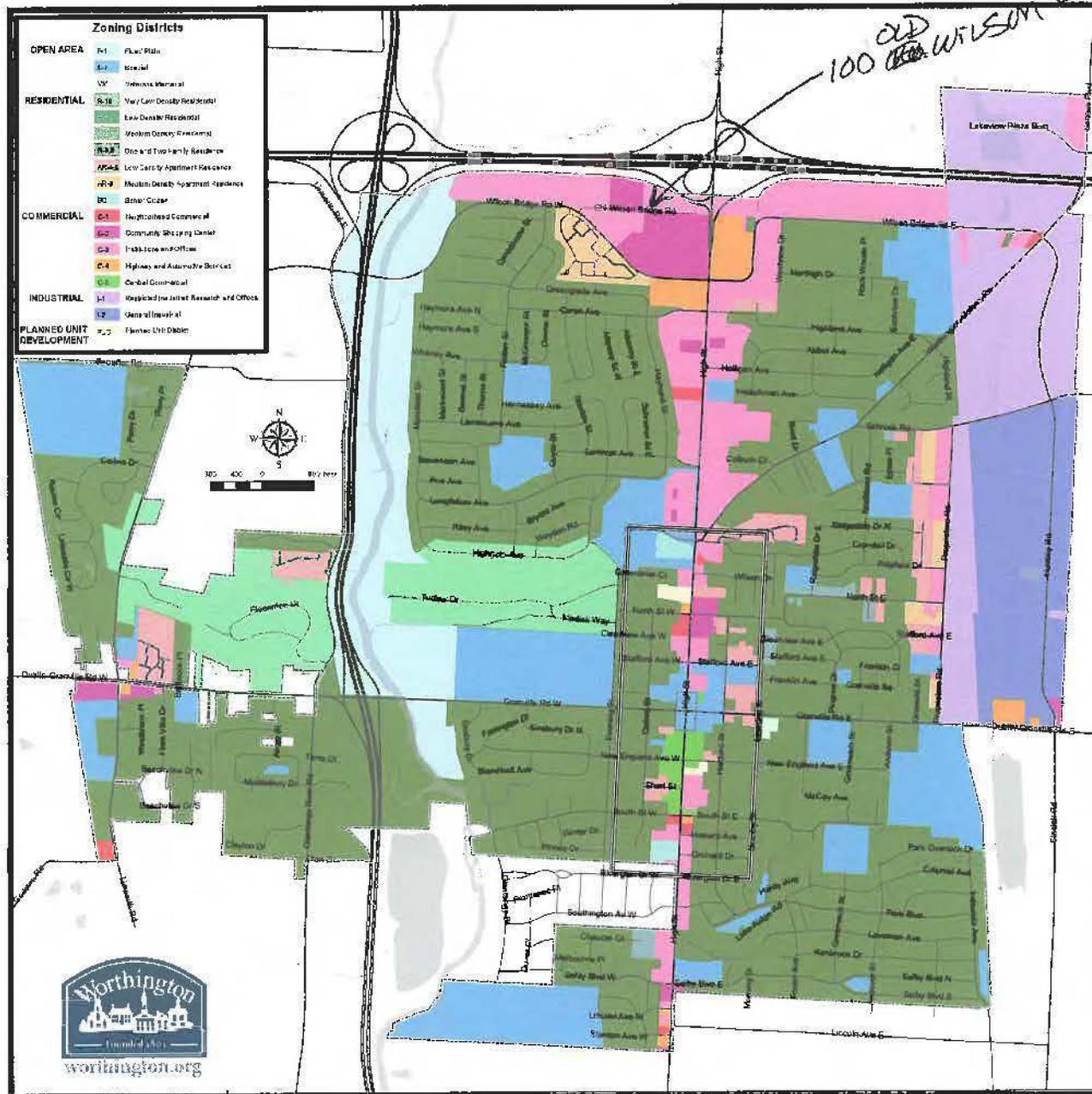
Imagery ©2016 Google, Map data ©2016 Google 100 ft

Google Maps

CITY OF WORTHINGTON  
ADP 03-16  
DRAWING NO.

DATE 4-29-16

# ZONING MAP CITY OF WORTHINGTON, OHIO



This is a computer-generated version of the official zoning map. Last Updated: 5/13/2015. For more information, visit the City of Worthington Planning Department.

**CITY OF WORTHINGTON**  
**ADP 03-16**  
**DRAWING NO.**  
**DATE 4-29-16**